



**City of Kingston  
Information Report to Heritage Kingston  
Report Number HK-17-060**

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**To:** Chair and Members of Heritage Kingston  
**From:** Lanie Hurdle, Commissioner, Community Services  
**Resource Staff:** Paige Agnew, Director, Planning, Building & Licensing Services  
**Date of Meeting:** November 15, 2017  
**Subject:** Heritage Pre-Consultation Application  
**Address:** 305-323 Rideau Street (P18-1246)  
**File Number:** F32-018-2017

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**Executive Summary:**

The subject property at 305-323 Rideau Street, known as the Bailey Broom Factory, contains an L-shaped, former industrial building, built in 1894 with additions added circa 1909.

The owners have requested a pre-consultation meeting with Heritage Kingston prior to advancing an application for a full Heritage Permit. Under Clause 16 of the Procedural By-Law for Heritage, By-Law Number 2013-141, the Director of Planning, Building & Licensing may pre-consult with the Committee where deemed necessary due to the complexity of the alteration proposed.

The owner would like to restore and reuse the brick office and wing portions of the building fronting Cataraqui Street. The concrete wing, adjacent to Rideau Street, is proposed to be largely removed. A portion of the concrete walls of the Rideau Street wing are to be retained and incorporated into two new steel structures/shelters. Extensive landscaping is also proposed throughout the property. A future phase of the proposal includes the construction of a nine (9) unit residential townhouse block adjacent to the heritage building to the north, fronting onto Rideau Street. Detailed design plans related to this phase of the project have not yet been finalized.

Feedback from the Committee will be provided to the applicant so as to guide the subsequent submission of a full Heritage Permit application.

**Recommendation:**

This report is for consultation purposes.

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**Authorizing Signatures:**

ORIGINAL SIGNED BY COMMISSIONER

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**Lanie Hurdle, Commissioner, Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

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**Gerard Hunt, Chief Administrative Officer**

**Consultation with the following Members of the Corporate Management Team:**

Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Denis Leger, Commissioner, Corporate & Emergency Services	Not required
Mark Van Buren, Acting Commissioner, Transportation & Infrastructure Services	Not required

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**Options/Discussion:****Proposal/Background**

The subject property at 305-323 Rideau Street, known as the Bailey Broom Factory, is located on the east side of Rideau Street, at the corner of Rideau and Cataraqui Street. The L-shaped, former industrial building was built in two stages beginning with the brick wing along Cataraqui Street in 1894, while the corner office building and concrete wing along Rideau Street were added circa 1909.

The property was acquired by the City through tax arrears and was subsequently sold to the current owner in 2016. Through the Agreement of Purchase and Sale with the City, the owner is required to restore the existing heritage building prior to commencing with further development of the property.

The owner would like to restore and reuse the brick office and wing portions of the building fronting onto Cataraqui Street. These portions of the building are to be repurposed for office space, meeting room and a café with a patio. Masonry, roofing and all structural matters are to be repaired and/or replaced as needed. New windows and doors are proposed where existing units cannot be repaired. Some existing window openings are to be enlarged to accommodate more light into the building.

The concrete wing, adjacent to Rideau Street, is proposed to be largely removed. A portion of the concrete walls are to be retained and incorporated into two new steel structures/shelters; the larger one for bicycle storage and the smaller for waste receptacles. These two structures are to flank the automotive entrance into the property. Extensive landscaping is proposed throughout the property, including surface treatment that reflects and interprets the location of the footprint of the former concrete wing.

A future phase of the proposal includes the construction of a nine (9) unit residential townhouse block, adjacent to the heritage building to the north, fronting onto Rideau Street. These buildings will be three storeys tall with rear yard parking accessed by a private lane from Rideau Street. Detailed design plans related to this phase of the project have not yet been finalized.

The applicant has provided concept plans for the proposed renovation/restoration of the Bailey Broom Factory, which have been included as Exhibit C.

The applicants have requested a pre-consultation meeting with Heritage Kingston prior to advancing a full Heritage Permit application. Under Clause 16 of the Procedural By-Law for Heritage, By-Law Number 2013-141, the Director of Planning, Building & Licensing may consult with the Committee where deemed necessary due to the complexity of the alteration proposed. This report is for information purposes. Feedback from the Committee will be provided to the applicant so as to guide the subsequent submission of a full Heritage Permit application.

**Reasons for Designation**

The property was designated under Part IV of the *Ontario Heritage Act* through By-Law Number 2015-19 in 2015 and it is subject to the terms of a heritage conservation easement. This

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property's cultural heritage value is reflected largely through its association with the Bailey family and well-known architect, William Newlands, and its contribution in supporting and acting as a gateway for the industrial character of Catarauqui and Rideau Streets. The cultural heritage attributes include the following:

- Central office section, designed by W. Newlands;
- The simple, functional qualities of the brick wing along Catarauqui Street;
- The visibility and legibility of these attributes from Rideau and Catarauqui Streets; and
- The visual relationship to other historic industrial buildings in the area.

The designating by-law has been included as Exhibit B.

### **Previous Approvals**

None on file

### **Comments from Agencies and Business Units**

The subject application was circulated to internal departments for review. These departments have provided the following comments (summarized by heritage staff) for Committee consideration:

**Building Division:** A Building Permit will be required for the alteration to the existing structure as well as proposed residential development. Building Code compliance will be evaluated when more detailed drawings are available. Development and Impost fees would be applicable to the existing commercial redevelopment (it appears to have been unoccupied for a minimum of 5 years) as well as each residence. The current fees for commercial are \$17.91/square foot of gross floor area, excluding water meter fees. The current residential fees are dependent on the number of bedrooms per dwelling unit. This number can be clarified if additional details are provided. Lighting cannot be directed onto neighbouring properties.

**Engineering Department (general):** There is no concern with the future Heritage Permit. The concept plan in general looks acceptable. The proposed works will be subject to Site Plan Control and other planning applications that Engineering will review for further technical detail. At Site Plan Control, grading and servicing plans will be required, prepared by a qualified professional. The applicant should be aware that no new encroachments will be approved within the right-of-way. The residential units are abutting the property line, so the applicant should ensure that no foundations, steps, etc. are located on the City right-of-way. If the residential units are planned to be privately owned, and separate services are proposed, this will require a large amount of road works. An off-site construction agreement would be required for this. This will be confirmed through Site Plan Control. The submitted drawing shows a sidewalk along Rideau Street. This sidewalk must be 1.5 metres wide. The applicant should be aware of the North King's Town secondary plan which is underway. Technical studies from this project may lead to changes to the road networks in this area.

**Engineering Department (noise):** A noise feasibility study will be required for zoning/OP and a detailed study for site plan, the study is to address potential impacts on the proposed development due to stationary and/or transportation sources in the vicinity. The study is to

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include potential impacts associated with the future Wellington Street Extension (this location is identified as an area which may require attenuation in the Wellington Street Environmental Assessment) as well as potential impacts on sensitive land uses in the vicinity due to stationary and/or transportation noise sources associated with the proposed development. The study is to be prepared by a qualified individual with experience in environmental acoustics and is to demonstrate compliance with NPC 300.

Engineering Department (stormwater): At the detail design stage, a stormwater management report will be required which demonstrates with calculations and documentation that the post-development flows do not exceed with pre-development flows.

Environment Division: The proponent should be notified that for any proposed lot which would include residential uses, or with zoning for potential future residential uses, we will require a copy of a Record of Site Condition(s) submitted to the Province, signed by the Qualified Person who prepared it, along with a copy of all supporting studies; as per Ontario Regulation 153/04 (as amended).

Forestry: A Tree Inventory and Preservation Plan, prepared by an ISA Certified Arborist, will be required at the time of Site Plan Control (SPC). Trees on adjacent properties in close proximity to property limits should be noted but not necessarily part of the inventory. A Landscape Plan will be required at the time of SPC with a focus on tree canopy reestablishment/development.

Kingston Hydro: Two new hydro poles for the line rebuild on Rideau Street are proposed. The pole to the south will need an anchor toward the bicycle storage. Kingston Hydro will require a load calculation for each of the four buildings (or lots). Removals of existing electrical services (if required) will need to be coordinated with Utilities Kingston; a service request is required for removals. The applicant will need to submit a service request to a services advisor at Utilities Kingston. If the lots are to be severed, each lot will require a separate service and service request. Maximum service size from Kingston Hydro secondary is 400A at 120/240V single phase or 120/208V three phase. Service sizes greater will require primary feed from Kingston Hydro's 5kV distribution system along with a 4 x 4 metre area for a pad mounted transformer. A pad mounted transformer will require an area approximately 4 metres x 4 metres. The 4 metre x 4 metre areas will need to be shown on the site plan drawings. In the concept plan, trees are shown along Rideau Street; trees will not be permitted in this area as there is a power line at this location. All structures are to maintain a minimum clearance of 3 metres from overhead lines.

Licensing and Enforcement Division: No comments.

Parks: Cash-in-Lieu of Parkland is required for the development (approximately \$40,000 to \$60,000 following confirmation of land value). Based on the proposed development, approximately 167.9 square metres is required for parkland dedication. We will need a market appraisal by a certified appraiser that reflects any new Official Plan or zoning amendments. A Landscape Plan by a landscape architect is required at site plan. Suggest buffering between the commercial and residential land use proposed. Tree Inventory is required at site plan.

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Planning Division: The subject property is located in the special “B1.207’ Three to Six-Family Dwelling Zone” in Zoning By-Law Number 8499, and is designated as part of the Inner Harbour special ‘Residential’ policy area in the City’s Official Plan 2010. Applications for Official Plan and zoning by-law amendments and Site Plan Control will be required. This area is also subject to the North King’s Town Secondary Plan project, which may have future planning policy implications.

Real Estate: The owners are subject to all sections/terms of the Agreement of Purchase and Sale with the City of Kingston, including the restriction that no new development will be permitted on the vacant lands until the existing building is restored. Completion of all restoration works on the heritage building is required by September 30, 2020.

Transportation Services: No comments.

Utilities Kingston: More information would be required; however, general comments are as follows:

- Utilities Kingston will require a servicing report (or brief) for the proposed development assessing required and available fire flows, water design estimated loading and capacity evaluation as well as an evaluation of available existing sanitary capacity at the street and estimated loading on the immediate downstream sewer.
- Utilities Kingston will require a servicing plan showing any existing and proposed services. As per City of Kingston by-laws, only one service is permitted per property. Any existing services not being retained are required to be abandoned at the main(s).
- For industrial, commercial and institutional developments, a control manhole must be provided at the private side of the property line for the purpose of effluent sampling under the Municipal Industrial Strategy for Abatement (M.I.S.A) to the satisfaction of the City and Utilities Kingston. The manhole is to be constructed to approved Ontario Provincial Standards Drawings (OPSD) and allow for 24/7 access to Utilities Kingston personnel.
- The submission of a Sewer Use By-Law Schedule A is also required for industrial, institutional or commercial developments.
- A Gas Load summary should be filled out and submitted to a Utilities Kingston Service Advisor as well as provided with the application.
- The applicant is encouraged to contact the Utilities Kingston Conservation Department to discuss their development and inquire as to whether there are any water and electricity conservation incentives and energy saving options available.

### **Heritage Kingston**

The Committee’s comments have been compiled and attached as Exhibit D - Consolidated Comments from Heritage Kingston Members.

### **Existing Policy/By-Law:**

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

*Ontario Heritage Act*, R.S.O. 1990, C. O.18. (Province of Ontario)

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By-Law Number 2013-141 Procedural By-Law for Heritage

Designation By-Law Number 2015-19

**Notice Provisions:**

Not applicable

**Accessibility Considerations:**

Not applicable

**Financial Considerations:**

Not applicable

**Contacts:**

Paige Agnew, Director, Planning, Building & Licensing Services 613-546-4291 extension 3252

Greg Newman, Manager, Policy Planning 613-546-4291 extension 3289

Ryan Leary, Senior Planner, Heritage 613-546-4291 extension 3233

**Other City of Kingston Staff Consulted:**

The application has been circulated to internal departments for review and comment.

**Exhibits Attached:**

Exhibit A Context Map and Property Photos

Exhibit B Designation By-Law for 305-323 Rideau Street

Exhibit C Conceptual Plans, Prepared by Applicant

Exhibit D Consolidated Comments from Heritage Kingston Members

# Context Map



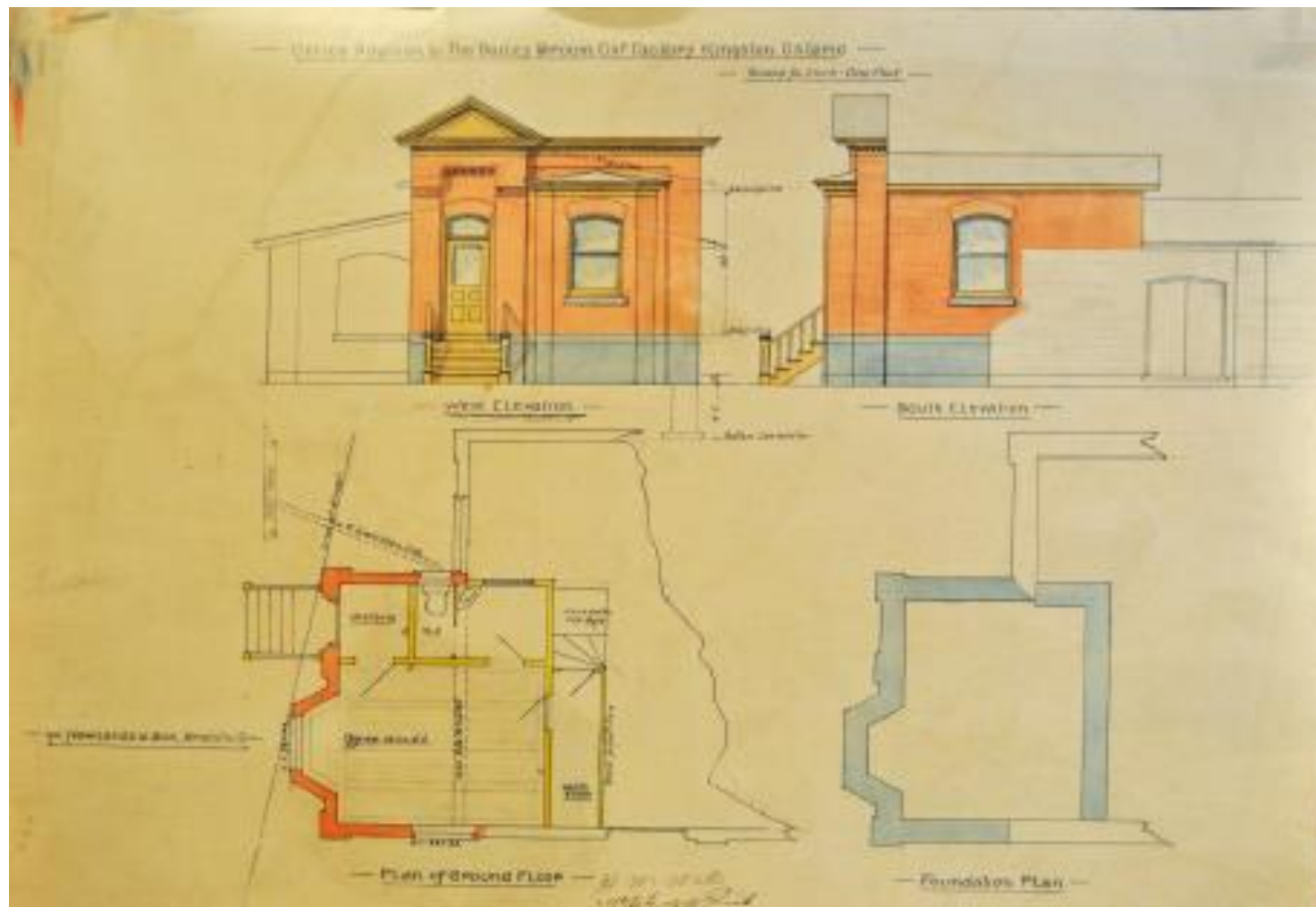




Looking east from Rideau Street



Looking north from Cataraqui Street



Undated plan by William Newlands for the Bailey Broom Factory office (Queen's archives)

**By-Law Number 2015-19****A By-law To Designate Bailey Broom Factory At 305-323 Rideau Street To Be Of Cultural Heritage Value And Interest Pursuant To The Provisions Of The *Ontario Heritage Act* (R.S.O. 1990, 0.18)****Passed:** March 25, 2015

**Whereas** Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18 authorizes the Council of a Municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of cultural heritage value and interest; and

**Whereas** Council consulted with its Municipal Heritage Committee on November 24, 2014, and has approved the designation of a property located at 305-323 Rideau Street (Part of Lot 13, Registered Plan B3 now designated as Part 2 on Plan 13R-20924, being part of PIN 36001-0129 LT, City of Kingston); and

**Whereas** a notice of intention to designate the property was published in the *Kingston Whig-Standard*, which is a newspaper having general circulation in the municipality, on February 3, 2015; and

**Whereas** no notice of objection to the proposed designation was served to the Clerk of the Corporation of the City of Kingston.

**Therefore be it resolved that** the Council of the Corporation of the City of Kingston hereby enacts as follows:

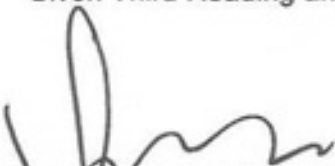
1. To designate as being of cultural heritage value and interest the following property in the City of Kingston: 305-323 Rideau Street, also known as the Bailey Broom Factory, more specifically described in Schedule A attached hereto and forming part of this By-law;
2. A copy of the designating by-law shall be registered against the property affected in the land registry office. The City Clerk is hereby authorized to cause a copy of this By-law to be served on the owner (City of Kingston) of the land described in Schedule A hereto and on The Ontario Heritage Trust and to cause notice of the passing of this By-law to be published in the *Kingston Whig-Standard*;
3. For the purpose of interpretation the term 'Maintenance' will include the following:  
  
"Maintenance means routine, cyclical, non-destructive actions, necessary to slow the deterioration of a Protected Heritage Property, including the following: periodical inspection; property cleanup; gardening and repair of landscape features; replacement of broken glass in windows; minor

exterior repairs, including replacement of individual asphalt shingles where there is little or no change in colour or design; repainting where there is little or no change in colour; re-pointing areas of wall space under 1.5 square metres; caulking and weatherproofing."

4. The City reserves the right to install a designated property plaque or interpretive panel; and
5. This By-Law shall come into force and take effect on the date of its passing.

Given First and Second Readings January 27, 2015

Given Third Reading and Passed March 25, 2015

  
\_\_\_\_\_  
John Bolognone  
City Clerk

  
\_\_\_\_\_  
Bryan Paterson  
Mayor



**Schedule A**  
**Description and Reasons for Designation**  
**305-323 Rideau Street**

**1. Legal Description**

Civic Address: 305-323 Rideau Street  
Lot/Concession: Part of Lot 13, RP B3, now designated as Part 2 Plan 13R-20924,  
City of Kingston  
Property Number: PIN 36001-0129 LT

**2. Introduction and Description of Property**

The property at 305-323 Rideau Street is an irregular-shaped parcel located at the northeast corner of Cataragui and Rideau streets in the City of Kingston. The only structure on the property is a one-storey, L-shaped building comprising three parts: a brick office facing onto Rideau Street; a brick warehouse/workshop extending east along Cataragui Street; and a poured-concrete warehouse/workshop extending north along Rideau Street.

The building has recently become known as the "Bailey Broom Factory". It was built in stages between 1894 and 1911, while the property was owned by the Imperial Oil Company (1890-99), its subsidiary the Queen City Oil Company (1899-1903) and the Bailey Broom Company (1903-1923). The brick warehouse/workshop was built by Imperial Oil in 1894. The brick office and the concrete warehouse/workshop were built c1909 by the Bailey Broom Company. The office portion was designed by W. Newlands & Son, Architects. Builders/trades included: McKelvey & Birch (tin and plumbing); Harry W. Watts (contractor), and R. N.F. McFarlane.

**3. Statement of Cultural Heritage Value/Statement of Significance:**

The cultural heritage value of the Bailey Broom Factory lies in its architectural design, its historical value and its contextual value.

The property associated with the Bailey Broom factory has historical value because it includes the office section of the building, built circa 1909, a representative example of Queen Anne Revival style as applied to a commercial storefront.

The property has associative value because of its affiliation with the Bailey Broom Company, a local broom manufacturing company founded in 1903, and its principals, Samuel R. Bailey, John M. Hughes and William J. Lee. The Bailey Broom Company owned and operated a factory here from 1903 to 1923, adding the office section and the concrete wing. The Baileys were in the broom-making business is a good illustration of

the type of small industrial enterprise that thrived in Kingston during the late 19<sup>th</sup> and early 20<sup>th</sup> centuries.

Samuel Bailey was the son of William and nephew of Benjamin Bailey, both of whom operated broom companies at other locations in Kingston from at 1863 to 1903. Samuel was a broom maker from 1885 to 1909 and later became a town councillor and member of various city committees.

The office section was designed by W. Newlands & Son, Architects c1910-11. William Newlands practised from 1882 to 1926, primarily in Kingston, and designed many commercial and industrial buildings. The Bailey Broom Factory exhibits many features typical of Newland's designs and is an example of his work in a modest industrial/commercial setting.

This property has important contextual value because it is one of several late-19<sup>th</sup> century or early 20<sup>th</sup> century industrial buildings in the area surrounding Cataraqui Street and bounded by Rideau Street and the Cataraqui Rivers. It is important in supporting the industrial character of the area. Because of its location at the corner and Cataraqui Streets, its brick construction and its distinctive architecture, it acts as a visual and geographical gateway to the area.

#### **4. Cultural Heritage Attributes**

The heritage attributes essential to the cultural heritage value or interest of this property is the former Bailey Broom Company building. Key elements of the building include:

- the central office section designed by William Newlands in a modest Queen Anne Revival style, including: its asymmetrical form and projecting and receding planes; the parapetted front elevation with prominent, dentilled cornice and pediment; the gabled roof ; the projecting side-hall entrance with corbelled piers and arch; the entrance door with glazed and fielded panels; the three-sided bay with pyramidal roof and prominent cornice; and the segmental-arched door and window openings topped with brick voussoirs;
- the brick construction and concrete and stone foundations of the office section;
- the simple, functional qualities of the brick wing along Cataraqui Street, including its brick construction, rhythmic bays marked by brick piers, random-coursed stone foundation, and low-sloped gable roof;
- the visibility and legibility of its heritage attributes from Rideau Street and Cataraqui Street;

- its visual relationship to other late-19<sup>th</sup> century and early 20<sup>th</sup> century industrial buildings in the area, including the former National Grocers Building and the former Dominion Cotton Mill, both on Cataragui Street.



October 11, 2017

The Concept Plan for the site is to develop it in two phases. The first phase provides for the adaptive reuse of the Bailey Broom Factory building and the second introduces residential townhouses on the northern portion of the site.

The first phase will involve work to the existing buildings to allow for RAW Design's office, co-working office/meeting room and café with parking. The conservation approach for the building restoration and rehabilitation responds directly to the existing condition of the long vacant buildings. A recent building assessment found: the Office Addition in sound condition, the Concrete Wing in very poor condition and the Original Factory building varying from very poor to sound condition. The conservation approach therefore is to restore the Office Addition, rehabilitate the Original Factory and to retain a fragment of the Concrete Wing for interpretive purposes. The proposed new design interventions for the Original Factory aim to respect the existing proportions, form and organization of the architecture, in combination with upgrading the functionality and sustainability of the building. The retention of the lower wall of the Concrete Wing, sufficient to understand the historic evolution and footprint of the Bailey Broom Factory, provides an engaging interpretive remnant and entry point along Rideau Street that also screens parking, bicycle and waste storage facilities.

The second phase of work will involve the development of nine three and a half storey residential townhouses with associated access and parking. In keeping with heritage best practice, the design seeks to be visually compatible, yet distinct from, the industrial character and architecture of the Bailey Broom Factory.

**Alexandra Rowse** | MEdes (Planning), BAH (Geography)  
**ERA Architects Inc.** 10 St. Mary Street, Suite 801  
Toronto, ON, M4Y 1P9



# BAILEY BROOM FACTORY

Project No.: 15021  
 Date: September 26, 2017  
 ISSUED FOR HERITAGE CONCEPT

### ARCHITECTURAL DRAWINGS

- A000 COVER PAGE
- A010 OBC HISTORY AND FIRE SIMULATION CONSIDER
- A020 ASSEMBLY, NOTES AND ABBREVIATIONS
- A030 ROOM, FINISH AND FIXTURE SCHEDULES
- A040 WINDOW AND DOOR SCHEDULES
- A100 SITE PLAN
- A130 RESTORATION PLAN
- A200 FOUNDATION PLAN
- A201 GROUND FLOOR PLAN
- A202 ROOF PLAN
- A400 ELEVATIONS
- A500 BUILDING SECTIONS
- A501 BUILDING SECTIONS
- A701 PLAN DETAILS
- A702 SECTION DETAILS

### PROJECT CONSULTANTS

**STRUCTURAL, ELECTRICAL,  
 MECHANICAL AND CIVIL ENGINEER**

WSP  
 1224 Gardiners Road, Suite 201  
 Kingston, ON K7P 5G2  
 (613)854-0208

### LANDSCAPE ARCHITECT

UrbanDesign  
 171 East Liberty Street, Unit 206  
 Toronto, ON M5K 3P6  
 (416)236-3335

### HERITAGE ARCHITECT

SEA Architects Inc.  
 10 St. Mary Street, Suite 801  
 Toronto, ON M4B 1P9  
 (613)476-2220

### ARCHITECT

**RAW**

405-317 ADELAIDE STREET WEST  
 TORONTO CANADA M5V 1P9  
 +1 416 599 9729  
 WWW.RAWDESIGN.CA

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ISSUED RECORD  
 DATE: 09/26/17  
 BY: [Signature]

REVISION RECORD  
 NO.

TITLE NORTH PROJECT NORTH

**RAW**  
 405-317 ADELAIDE STREET WEST  
 TORONTO CANADA M5V 1P9  
 +1 416 599 9729  
 WWW.RAWDESIGN.CA

15021  
 BAILEY BROOM  
 FACTORY

COVER

A000

**Public Utility Data**

Utility Description	Service/Standard	Existing	Proposed
Water	600 mm 1500 mm 1500 mm	1000 mm	1000 mm
Sanitary	400 mm 600 mm 600 mm	1000 mm	1000 mm
Storm	600 mm 1000 mm 1000 mm	1000 mm	1000 mm
Gas	600 mm 1000 mm 1000 mm	1000 mm	1000 mm
Electric	600 mm 1000 mm 1000 mm	1000 mm	1000 mm
Telecom	600 mm 1000 mm 1000 mm	1000 mm	1000 mm
Other			
Lighting			
Fire Alarm			
Security			
Other			

**PROJECT STATS**



**KEY PLAN**

SCALE: NA REF: DMS

**LEGEND**

- LIGHT BOLLARD
- TRAFFIC BOLLARD
- FIRE HYDRANT AND VALVE
- STORM WATER LINE
- SANITARY LINE
- WATER MAIN
- BARRICADE-FREE PARKING SPACE
- CLEAR-CUT TO PROPERTY STANDARD
- FIRE DEPT. CONNECTION
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- BELL NOCTURNAL
- BARRICADE-FREE EXIT/REMOVAL OF OBSTRUCTION
- ACCESS ROUTE MARK
- ELECTRICAL TRANSFORMER SERVICES STANDARDS
- LIGHT POLE
- HYDRO POLE
- SPOT DASHED TYPE TO BE DEMOLISHED
- ACCESS ROUTE ON NO PARKING AND PROHIBITED LINES FOR MUNICIPALITY

- TEMPORARY SNOW STORAGE AREA
- SITE MANAGEMENT
- OFF-SITE LANDSCAPING IN CONTRACT
- PAINTED TRAFFIC LINES
- LIFT MARKERS
- GRASS
- CLEAR STONE STEP AT BUILDING PERIMETER
- TRAFFIC CALM
- CENTER MARK
- SPOT
- 66 DOWNSPOUT (ground discharge)
- 600 SAN WATER UNDER GYM CONNECT
- 400 H2O 6000 (water in park)
- CONCEPTUAL FUTURE WORK
- NORTH ARROW

**SITE PLAN LEGEND**

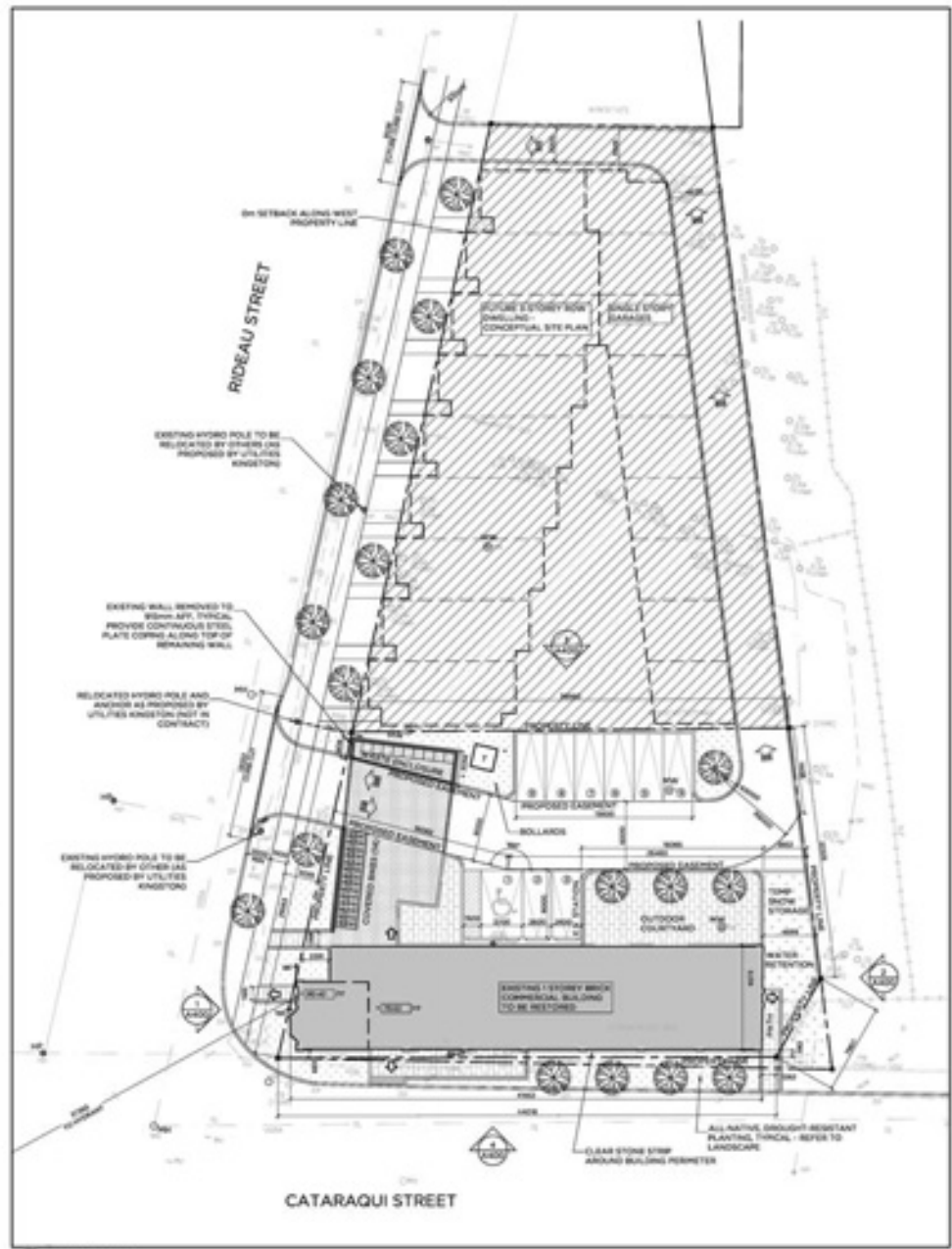
**RESIDENTIAL BIKE PARKING TYP:**

"SHARK UP" BY MADRAX  
 - THREE, FIVE, SEVEN OR NINE HORIZONTAL SPACES PER UNIT

- VERTICAL DIMENSION FOR ALL AT LEAST 1.8M

**BIKE PARKING SPECIFICATION**

SCALE: NA REF: DMS



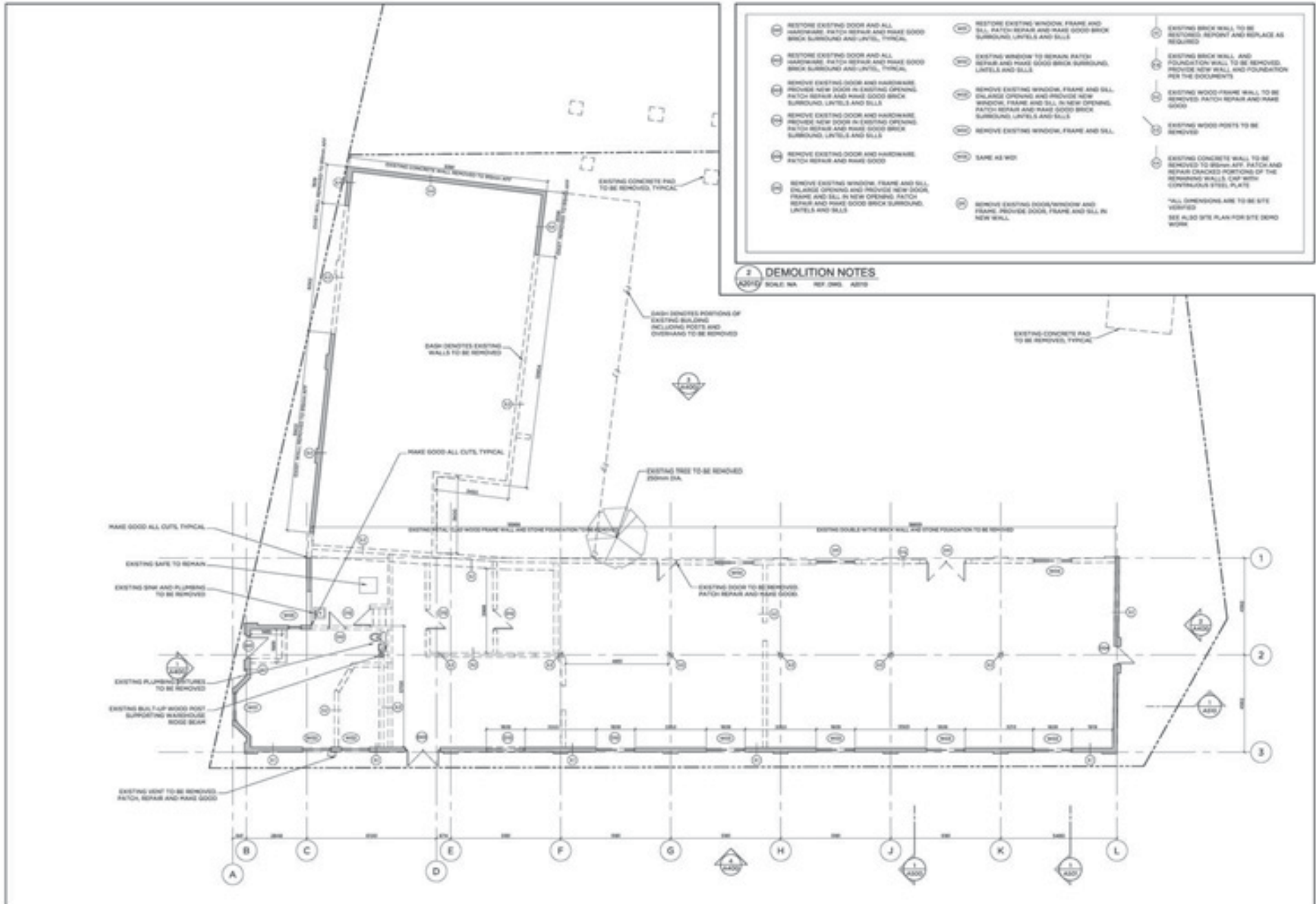
**SITE PLAN**

SCALE: 1:200 REF: DMS

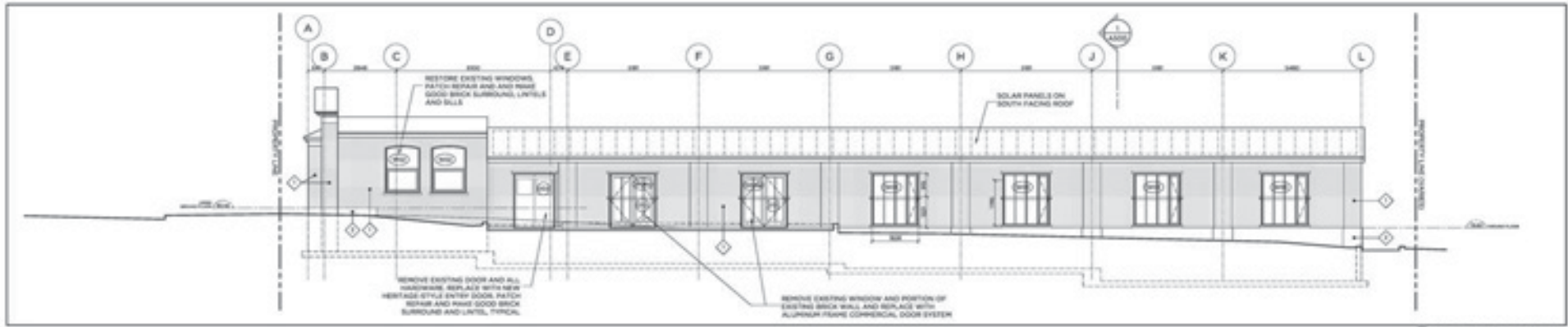
**REVISION RECORD**

NO.	DATE	DESCRIPTION
01		ISSUED FOR PERMITS
02		ISSUED FOR PERMITS
03		ISSUED FOR PERMITS
04		ISSUED FOR PERMITS
05		ISSUED FOR PERMITS
06		ISSUED FOR PERMITS
07		ISSUED FOR PERMITS
08		ISSUED FOR PERMITS
09		ISSUED FOR PERMITS
10		ISSUED FOR PERMITS





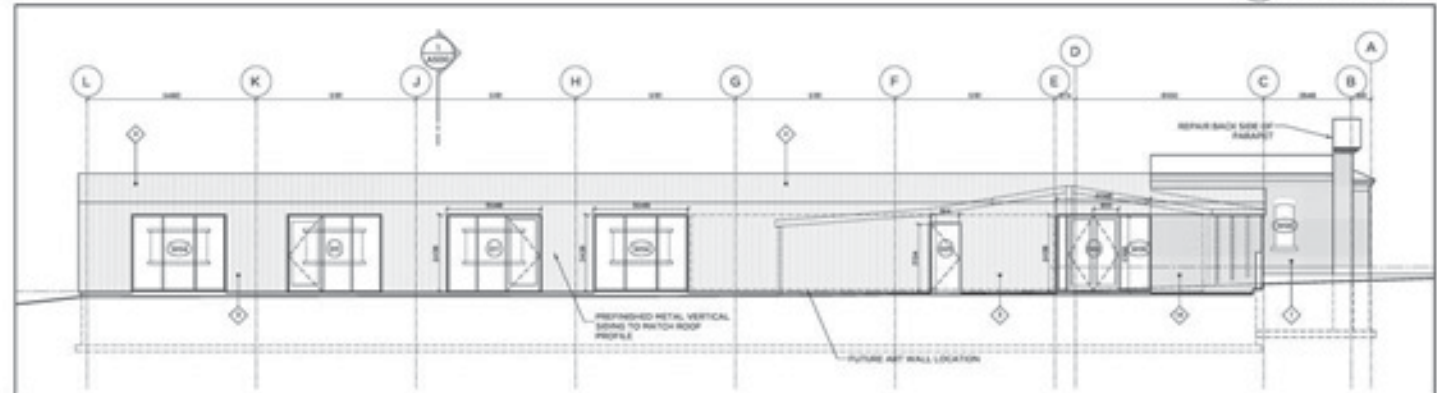
© 2007 Bailey Broom Factory/RAW Engineering Inc. 15021 - 15021 - DEMOLITION PLAN.dwg  
September 26, 17 3:45:12 PM



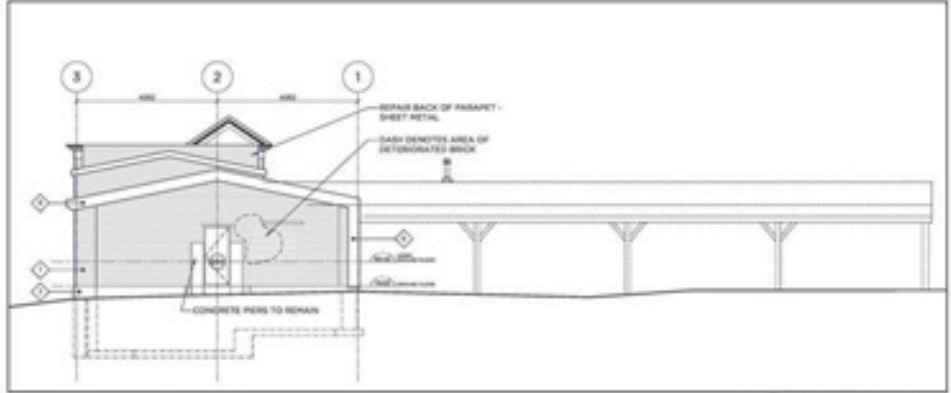
4 SOUTH ELEVATION  
A400 SCALE 1/8" = 1'-0" REF. 0404

**ELEVATION MATERIALS LEGEND**

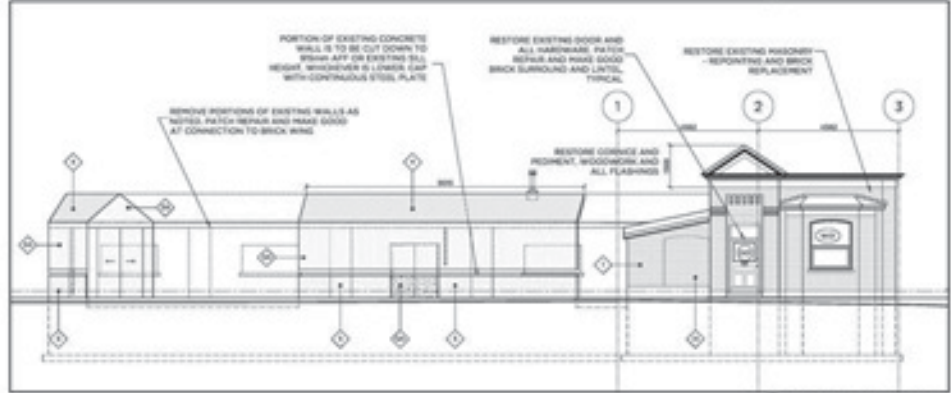
◆ PROPOSED PRE-FINISHED METAL FASCIA	◆ EXISTING BRICK MASONRY REPAIR-REPORTING AND SELECT BRICK REPLACEMENT
◆ PROPOSED BRICK MASONRY TO MATCH EXISTING	◆ EXISTING LIMESTONE FOUNDATION REPAIR-REPORTING AND SELECT REPLACEMENT
◆ EXISTING LIMESTONE FOUNDATION REPAIR-REPORTING AND SELECT REPLACEMENT	◆ PROPOSED PRE-FINISHED METAL CLADDING
◆ PROPOSED PRE-FINISHED METAL CLADDING - PERFORATED	◆ PROPOSED PRE-FINISHED METAL CLADDING - PERFORATED
◆ PROPOSED PRE-FINISHED METAL ROOFING	◆ EXISTING CONCRETE REPAIR
◆ EXISTING CONCRETE REPAIR	◆ PROPOSED ARCHITECTURAL FINISH CONCRETE



3 NORTH ELEVATION  
A400 SCALE 1/8" = 1'-0" REF. 0404



2 EAST ELEVATION  
A400 SCALE 1/8" = 1'-0" REF. 0404



1 WEST ELEVATION  
A400 SCALE 1/8" = 1'-0" REF. 0404

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DESIGNER: RICHARD  
OWNER: BAILEY BROOM FACTORY  
ARCHITECT: RICHARD  
DATE: 04/04/2014  
SCALE: 1/8" = 1'-0"

REVISIONS: NONE

TITLE NORTH PROJECT NORTH

**RAW**  
222-017 450-A/08 STREET WEST  
TORONTO, CANADA M5T 1W4  
TEL: 416 291 8175  
WWW.RAWARCHITECTS.CA

15021  
BAILEY BROOM  
FACTORY

ELEVATIONS

1/8" = 1'-0"  
A400

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# Heritage Kingston

## Summary of Input from the Technical Review Process

F32-018-2017

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Councillor Peter Stroud	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Liz Schell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patricia Fiori	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Carl	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Peter Goheen	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Mac Gervan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sherman Hill	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Catherine Hyett	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Meghan Kerrigan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jamie McKenzie-Naish	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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City of Kingston  
216 Ontario Street  
Kingston, Ontario  
Canada, K7L 2Z3

Website: [www.cityofkingston.ca](http://www.cityofkingston.ca)

TTY: Dial 613-546-4889

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Date:	September 28, 2017
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	<input type="text" value="Peter Stroud"/>
Application Type:	Pre-Consultation
File Number:	F32-018-2017
Property Address:	305-323 RIDEAU ST

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Description of Proposal:

The applicants are seeking pre-consultation comments on a proposed restoration/adaptive reuse plan for the former Bailey Broom Factory building at 305-323 Rideau Street. The property is designated under Part IV of the Ontario Heritage Act and is subject to a heritage conservation easement. The conceptual plans include the restoration and reuse of the brick office and factory portion of the building fronting Cataragui Street, the removal of the concrete wing adjacent to Rideau Street, and the construction of nine residential townhouse units adjacent to the heritage building to the north, along Rideau Street. Formal Heritage and Planning Act applications will be submitted at a later date.

Comments for Consideration on the Application:

Acknowledging the challenges that this site contains, I am hopeful that a good balance can be achieved between heritage preservation and whatever new construction is needed to successfully rejuvenate the site through adaptive re-use.



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Date:	October 4, 2017
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	<input type="text" value="Donald Taylor"/>
Application Type:	Pre-Consultation
File Number:	F32-018-2017
Property Address:	305-323 RIDEAU ST

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Description of Proposal:

The applicants are seeking pre-consultation comments on a proposed restoration/adaptive reuse plan for the former Bailey Broom Factory building at 305-323 Rideau Street. The property is designated under Part IV of the Ontario Heritage Act and is subject to a heritage conservation easement. The conceptual plans include the restoration and reuse of the brick office and factory portion of the building fronting Cataragui Street, the removal of the concrete wing adjacent to Rideau Street, and the construction of nine residential townhouse units adjacent to the heritage building to the north, along Rideau Street. Formal Heritage and Planning Act applications will be submitted at a later date.

Comments for Consideration on the Application:

The proposed renovation and development plans for the Bailey Broom property recognize its heritage qualities and have my support. The original brick building is to be renovated and will not be spoiled by unsympathetic additions or overwhelmed by adjacent tall buildings. While the existing concrete wing along Rideau St will be largely removed, it was a later addition and it is primarily its scale rather than its fabric that needed protection. One suggestion for that section would be to keep the wall at a greater height - this would better retain the existing scale and provide more screening for the bicycle and recycling areas. Likewise while the proposed 3 storey row housing appears reasonable, care must be taken so that its actual height and massing do not overwhelm the heritage buildings - 2 or 2.5 stories would be more desirable.





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Date:	October 2, 2017
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	<input type="text" value="Liz Schell"/>
Application Type:	Pre-Consultation
File Number:	F32-018-2017
Property Address:	305-323 RIDEAU ST

---

Description of Proposal:

The applicants are seeking pre-consultation comments on a proposed restoration/adaptive reuse plan for the former Bailey Broom Factory building at 305-323 Rideau Street. The property is designated under Part IV of the Ontario Heritage Act and is subject to a heritage conservation easement. The conceptual plans include the restoration and reuse of the brick office and factory portion of the building fronting Cataragui Street, the removal of the concrete wing adjacent to Rideau Street, and the construction of nine residential townhouse units adjacent to the heritage building to the north, along Rideau Street. Formal Heritage and Planning Act applications will be submitted at a later date.

Comments for Consideration on the Application:

I have no comments at this point.

Since the whole property is designated – the townhouse plan becomes very important in terms of sympathetic heritage design – even if that means cutting edge glass and concrete, which I could agree to there.