



**City of Kingston
Information Report to Heritage Kingston
Report Number HK-17-061**

To: Chair and Members of Heritage Kingston
From: Lanie Hurdle, Commissioner, Community Services
Resource Staff: Paige Agnew, Director, Planning, Building & Licensing Services
Date of Meeting: November 15, 2017
Subject: Heritage Pre-Consultation Application
Address: 411 Wellington Street (P18-520)
File Number: F32-019-2017

Executive Summary:

The property at 411 Wellington Street, being the site of the former J.E. Horton Public School, is currently vacant and is the subject of a proposal for redevelopment.

The owners have requested a pre-consultation meeting with Heritage Kingston prior to advancing an application for a Heritage Permit. Under Clause 16 of the Procedural By-Law for Heritage, By-Law Number 2013-141, the Director of Planning, Building & Licensing may pre-consult with the Committee, where deemed necessary, due to the complexity of the alteration proposed.

The owners of the subject property are proposing a retirement community/campus comprised of a three-storey apartment style residence containing 145 units and a 16 unit two-storey terraced row house fronting onto Wellington Street (Exhibit C - Concept Plans). Detailed design plans related to the appearance of the new buildings (i.e. material, colour, arrangement of openings, etc.) have not yet been finalized.

Feedback from the Committee will be provided to the applicant so as to guide the subsequent submission of a Heritage Permit application.

Recommendation:

This report is for consultation purposes.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

Lanie Hurdle, Commissioner, Community Services

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

Gerard Hunt, Chief Administrative Officer

Consultation with the following Members of the Corporate Management Team:

Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Denis Leger, Commissioner, Corporate & Emergency Services	Not required
Mark Van Buren, Acting Commissioner, Transportation & Infrastructure Services	Not required

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Options/Discussion:**Proposal/Background**

The subject property at 411 Wellington Street, being the former location of the J.E. Horton Public School, is currently vacant (Exhibit A – Context Map) and is the subject of a proposal for redevelopment. The former school was closed in 2013 and the building was demolished in 2017 through Heritage Permit Number P18-078-2016. The property is located on the north side of Wellington Street in the Barriefield Heritage Conservation District (Exhibit B - Property Inventory Evaluation).

The new owners of the subject property are proposing a retirement community/campus, which includes a three-storey (12,646 square metre) apartment style residence containing 145 units and a 16 unit two-storey terraced row house fronting onto Wellington Street (Exhibit C - Concept Plans). The new three-story C-shaped building is to be set to the rear (northeast side) of the subject property and accessed by a private driveway from Wellington Street. The new two-storey row house is proposed to screen the new residence from the public realm. All parking will be located to the rear of the row house and will be framed by the C-shaped building. A large open space is proposed along the western half of the property, including the formalization of and improvement to the commonly used pathway connecting Wellington Street to St. Mark's Anglican Church.

Detailed design plans related to the appearance of the new buildings (i.e. material, colour, arrangement of openings, etc.) have not yet been finalized. A Heritage Impact Statement has been requested in order to evaluate the conformity of this proposal to the policies of the Village of Barriefield Heritage Conservation District Plan.

Official Plan and zoning by-law amendments and Site Plan Control applications will be required for this proposal. No subdivision of the property is proposed.

The applicants have requested a pre-consultation meeting with Heritage Kingston prior to advancing a full Heritage Permit application. Under Clause 16 of the Procedural By-Law for Heritage, By-Law Number 2013-141, the Director of Planning, Building & Licensing may consult with the Committee, where deemed necessary, due to the complexity of the alteration proposed. This report is for information purposes. Feedback from the Committee will be provided to the applicant so as to guide the subsequent submission of a Heritage Permit application.

Reasons for Designation

The property is part of the Barriefield Heritage Conservation District (HCD), designated pursuant to Part V of the *Ontario Heritage Act*. It is noted as a 'non-heritage' property for the purposes of the policies and guidelines of the Village of Barriefield Heritage Conservation District Plan. The Property Inventory Evaluation has been included as Exhibit B.

Section 4.5.5 of the HCD Plan includes specific policies related to the future development of this property including: the requirement for a Heritage Impact Statement; the need to adequately locate new parkland; the need to respect the existing built form and cultural heritage value of the

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District; and the need to respect the existing grid pattern of the streets. The subject property also plays an important role in the conservation of two significant historic views of St. Mark's Church. These views must be conserved, particularly from specified "vantage points" as outlined in Section 4.8.7 of the Plan.

Previous Approvals

P18-062-2010	Addition of new portable.
P18-051-2013	Removal of sun shelter.
P18-071-2013	Removal of two portable buildings.
P18-078-2016	Demolition of existing school building(s).

Comments from Agencies and Business Units

The subject application was circulated to internal departments for review. These departments have provided the following comments (summarized by Heritage staff) for Committee consideration:

Building Division: More detailed comments relating to the proposed construction will be provided when technical drawings are made available. No comments based on the modelling provided. Development and impost charges would be applicable for the proposed development; credits may be available depending on the date the demolished structure was vacated and when the proposal is submitted for a Building Permit. Any proposed lighting may not be directed onto neighbouring properties.

Engineering Department (general): There are no objections with a future Heritage Permit. This site would be subject to various other planning applications that would be subject to further technical review by the Engineering Department. Grading and Servicing Plans prepared by a qualified professional will be required through Site Plan Control. A sidewalk will be required along the street frontage of this property for the proposed development.

Engineering Department (noise): A noise feasibility study will be required at the time of the future development application. The study will need to address potential impacts on the development due to stationary and/or transportation noise sources in the vicinity and potential impacts on sensitive land uses in the vicinity due to stationary and/or transportation noise sources associated with the proposed development. The study is to be prepared by a qualified individual with experience in environmental acoustics and is to demonstrate compliance with NPC 300.

Engineering Department (stormwater): A stormwater management report will be required through the review of a development application. The report must demonstrate, with supporting calculations and documentation, that the post-development flows do not exceed the pre-development flows.

Engineering Department (traffic): A Traffic Impact Study will not be required.

Environment Division: No comments.

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Forestry: A Tree Inventory/Preservation Plan, as per the Tree By-Law, Site Plan Control (SPC) guidelines and the Barriefield Village Heritage Conservation Plan will be required. A landscape plan will also be required at the time of the SPC.

Kingston Hydro: Kingston Hydro will need further details of concept at application stage. Kingston Hydro will be completing an economic evaluation to determine the capital contribution by the customer to bring three phase power along Main Street and Wellington Street to the site. The Wellington Street portion of the distribution will be underground from Main Street.

Licensing and Enforcement Division: No comments.

Parks: Parkland conveyance or parkland easement is required for this development. Parkland is only accepted if the land has a large frontage with a more traditional shape. A different parkland configuration with a smaller frontage can be accepted provided that there is public access to a larger park space. We need to know what the applicant would like to convey to the City to satisfy parkland requirements during zoning and site plan. At site plan, a landscape plan prepared by a landscape architect is required. Also at site plan, we would be interested to know the proposed grades of the site and park space due to the significant grades in the area.

Planning Division: The subject property is located in the special "I-8' Institutional Zone" in Zoning By-Law Number 32-74, and is designated 'Residential' in the City's Official Plan 2010. Applications for Official Plan amendment, zoning by-law amendment and Site Plan Control will be required.

Public Works Operations: No objections to this proposal. Public Works will be circulated future development applications and will offer comment.

Real Estate: No comments.

Solid Waste: No comments.

Transportation Services: Transit service for this site is concentrated along Highway 15 to the east. Transportation Services is supportive of internal pathways and a sidewalk section along the frontage of the site to provide future accessible connections to the transit service.

Utilities Kingston: No comments.

Heritage Kingston

The Committee's comments have been compiled and attached as Exhibit D - Consolidated Comments from Heritage Kingston Members. These comments will be provided to the applicant and discussed as a formal Heritage Permit application is advanced through the municipal review and approval process.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

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Ontario Heritage Act, R.S.O. 1990, C. O.18. (Province of Ontario)

By-Law Number 2013-141 Procedural By-Law for Heritage

Village of Barriefield Heritage Conservation District Plan

Notice Provisions:

Not applicable

Accessibility Considerations:

Not applicable

Financial Considerations:

Not applicable

Contacts:

Paige Agnew, Director, Planning, Building & Licensing Services 613-546-4291 extension 3252

Greg Newman, Manager, Policy Planning 613-546-4291 extension 3289

Ryan Leary, Senior Planner, Heritage 613-546-4291 extension 3233

Other City of Kingston Staff Consulted:

The application has been circulated to internal departments for review and comment.

Exhibits Attached:

Exhibit A Context Map

Exhibit B Property Inventory Evaluation for 411 Wellington Street

Exhibit C Conceptual Plans, Prepared by Applicant

Exhibit D Consolidated Comments from Heritage Kingston Members

Context Map



Name:

Address: 411 Wellington Street

Property Number:
1011090090075000000

Lot: CON EGCR E PT LOT 20



Property Type:	Institutional
Era/Date of Construction:	1953
Architect/Builder:	Not known
Building style/Influence:	Mid-century modern
Materials:	Brick
Number of Bays:	Multiple
Roof Type	Flat
Building Height:	Two storey
Alterations:	1968 rear addition, portables added (1993-2010), sun shelter added (2003), garbage enclosure constructed (1993), fencing added (1992/2004).
Landscape/setting:	Large open lawn, Specimen trees, Front screening hedges, asphalt drive
Heritage Value:	Non-heritage

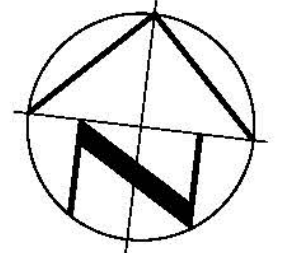
Description of Historic Place:

The property at 411 Wellington Street is located on the north side of Wellington Street in the Barriefield Heritage Conservation district. The property contains a two storey T-shape brick building with multiple bays. The school was constructed in 1953 and added to in 1968. It closed in 2014.

Heritage Value:

The former J.E. Horton Public School was constructed in 1953, on land purchased by the School Board from His Majesty the King in 1951. The land was granted by the Crown to John Grant in 1811. James Grant, likely a descendant, sold an acre of the property to Richard Davis in 1818, and 97 acres to Robert Moore in 1819. In 1828 Davis sold 1/5 of an acre to Moore. At some point, Robert MacDonald came to own 125 acres of the lot (instruments not shown in land registry records) but in 1844 sold the land to the Ordnance department. An 1842 map shows the north part of the lot and the part of the adjacent lot where the church was built as a possible location of a military redout. It

does not appear that this was ever constructed. In 1855, a lime kiln operation was reportedly located on the property. Aside from small severances, the property was owned by the Crown from 1844 until the mid-20th century purchase by the school board. The school served Barriefield and the surrounding area of the former Pittsburgh Township until 2014 when it was declared surplus by the school board and closed.



Project North
 Certificate of Practice Number: 4338
 4 General Street, Suite 206, Kingston, ON K7K 1Z7
 Tel: 613 541 9776 Fax: 613 541 0804
 mail@szaarch.com www.szaarch.com

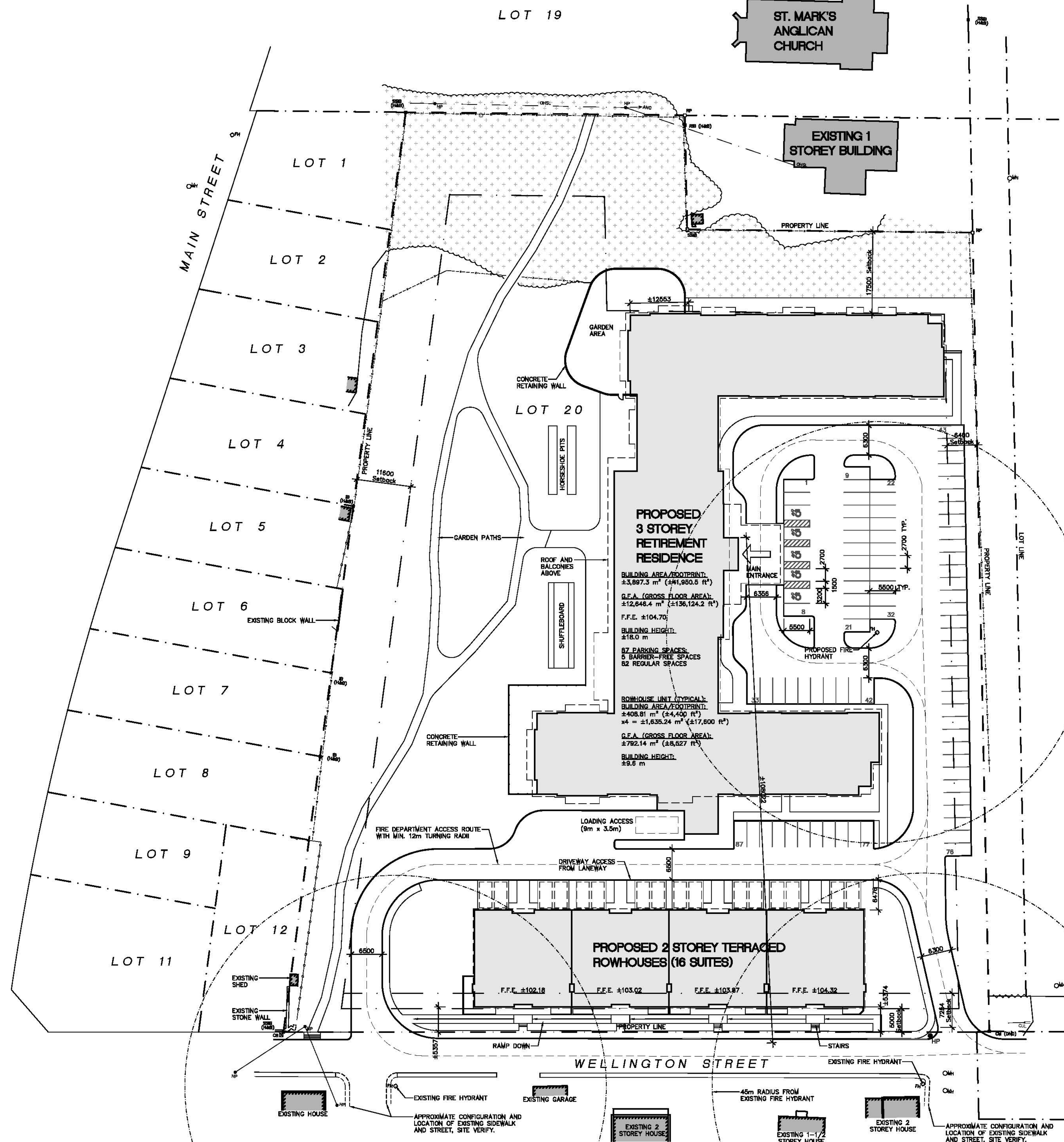
This is a copyright drawing and design and shall not be used, reproduced or related without written permission. The contractor shall check and verify all dimensions and report all errors and omissions to the architect prior to commencing work. These drawings are not to be used for construction without the approval of the Architect. It is the responsibility of the Contractor.

Drawing Legend

- PROPERTY LINE
- - - LOT LINE
- - - CHAIN LINK FENCE
- - - BOARD FENCE
- - - WIRE FENCE
- HP HYDRO POLE
- MH MANHOLE
- FH FIRE HYDRANT

411 Wellington Street, Retirement Home, Site Statistics Table

Provision	Zoning By-law Requirement (R3)	Current Concept Plan
Permitted Use(s)	Residential - an apartment dwelling house - a boarding house - a row dwelling house Non-Residential - a public use	- an apartment dwelling house - a row dwelling house (RH)
Number of Units (main building)	N/A	145
Number of Units (Horizontal Multiple Dwelling)	N/A	16
Lot Area (min)	(i) Apartment dwelling house: 205m ² per unit (29,725m ² @ 145 units) (ii) Apartment dwelling house: 35m	173m ² per unit (25,085m ² @ 145 units) 150.7m
Lot Frontage (min)	(i) Apartment dwelling house: 7.5m, + 10% of the amount exceeding 10.5m (ii) Other uses: 7.5m	(i) 8.25m (@ 18m height) (ii) RH: 5m
Front Yard Depth	(i) Apartment dwelling house: 10.5m, + 15% of the amount exceeding 10.5m (ii) Other uses: 3m	(i) 11.6m (@ 18m height, west side); 6.4m (east side) (ii) 3m
Interior Side Yard Width (min)	(i) Apartment dwelling house: 10.5m, + 15% of the amount exceeding 10.5m (ii) Other uses: 7.5m	(i) 17.5m (ii) 6.4m
Rear Yard Depth (min)	(i) Bachelor dwelling unit: 58.5m ² (ii) 1 bedroom unit: 75m ² (iii) 2 bedroom unit: 88m ² (iv) >2 bedrooms: 92m ² , plus 14m ² per bedroom in excess of 2	None required.
Dwelling Unit Area (min)	(i) Apartment dwelling house: 45% (ii) Other uses: 30%	53.4%
Landscaped Open Space (min)	12m	18.0m
Height of Building (max)	Min. distance between opposing walls in a court: 22m	>22m
Courts	No requirement for this use.	1 space
Loading Spaces (9m x 3.5m with vertical clearance of 4m)	A privacy yard shall be provided adjoining each exterior wall of every dwelling unit with a minimum width in accordance with the following: - in the case of a wall containing a first storey living room window: 10.5 metres, provided that where the yard adjoins a direct line or vehicular driveway, the minimum width shall be 7.5 metres. - in the case of a wall containing a first storey habitable room window other than a living room window: 7.5 metres, provided that where the yard adjoins a vehicular driveway, the minimum width shall be 6 metres.	Site Specific Exemption
Privacy Yards	An unobstructed yard, clear of any public pedestrian access, shall be provided adjoining the window of every first storey dwelling unit in an apartment dwelling house. Such yard shall extend not less than 3.5 metres from any portion of the window. For the purpose of this Section, a window shall be considered to be located on the first storey if any part of the glazing is less than 2.5 metres above the adjacent finished grade.	
Parking	1 per dwelling unit.	- Parking space size: 6.5m x 2.7m - 0.6 spaces per unit - 2 retirement home suites count as 1 dwelling unit - Retirement Home Suite: Shall be defined as a habitable space designed for living and sleeping consisting of studios, one or two bedrooms, private bathroom and separate entrance from a common hall, and a kitchenette which may include convenience facilities but without full cooking facilities.
Accessible Parking	Accessible parking spaces are provided at a rate of 4% of the required parking spaces. A minimum of one Type A (Van accessible) accessible space required, rounded up to the nearest whole number. Equal numbers of Type A (Van accessible) and Type B are required. If an odd number is required, the additional space may be either type. Accessible parking is not required for single detached and semi-detached houses, duplexes, triplexes, town houses, and row houses that do not have shared parking arrangements.	5 provided.
Amenity Area (m ²)	N/A [there is a City-wide ZBA application that will set a requirement of 18.5m ² per unit. This may be in effect by the time we submit.]	97.8m ² per unit (14,153.67 m ² @ 145 units)



1 Proposed Site Plan
 A010 1:500

DRAFT
PRELIMINARY
 NOT FOR CONSTRUCTION

C	ISSUED FOR REZONING	28 SEPT, 2017
B	ISSUED FOR CLIENT REVIEW	12 SEPT, 2017
A	ISSUED FOR CLIENT REVIEW	14 JUL, 2017

Project Description Date
 Project: Barriefield Retirement Residence

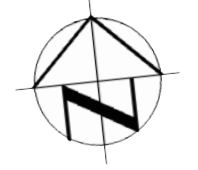
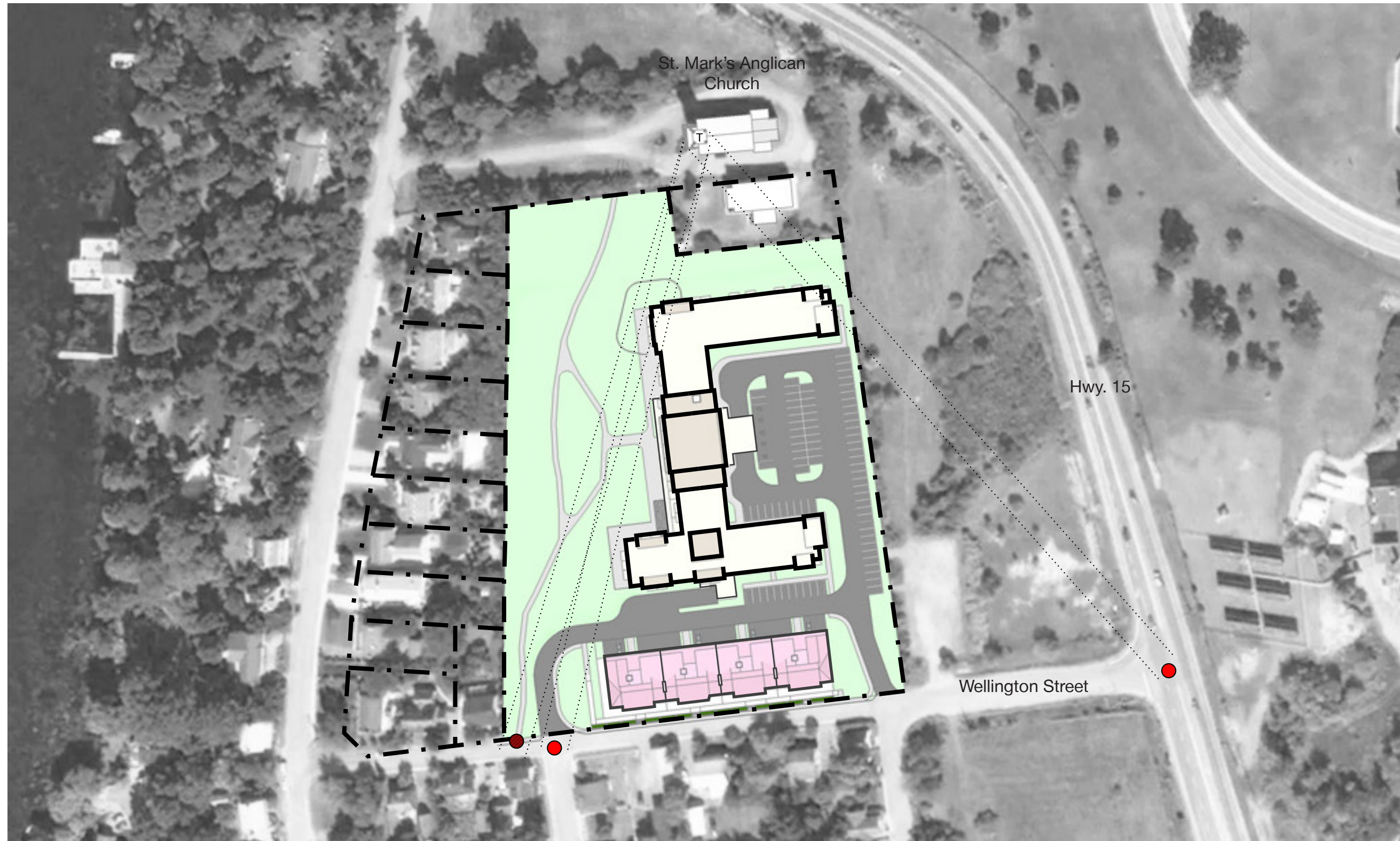
Location
 Wellington and Drummond Streets
 Barriefield, Kingston, ON

Client
 Reichmann Seniors Housing Dev. Corp.
 22 St. Clair Avenue East, Suite 1200
 Toronto, ON

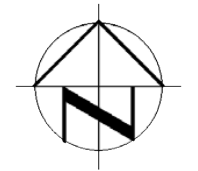
Drawing
 Proposed Site Plan

Drawn by AJ, JS	Date 28 Sept, 2017
File Name 16090 - SP01e	Scale As Noted
Client Project #	Drawing Number
Project # 16090	Revision # A010

Exhibit C



Project North



True North

- Sightline
- Adjusted Sightline

Main Street

Drummond Street

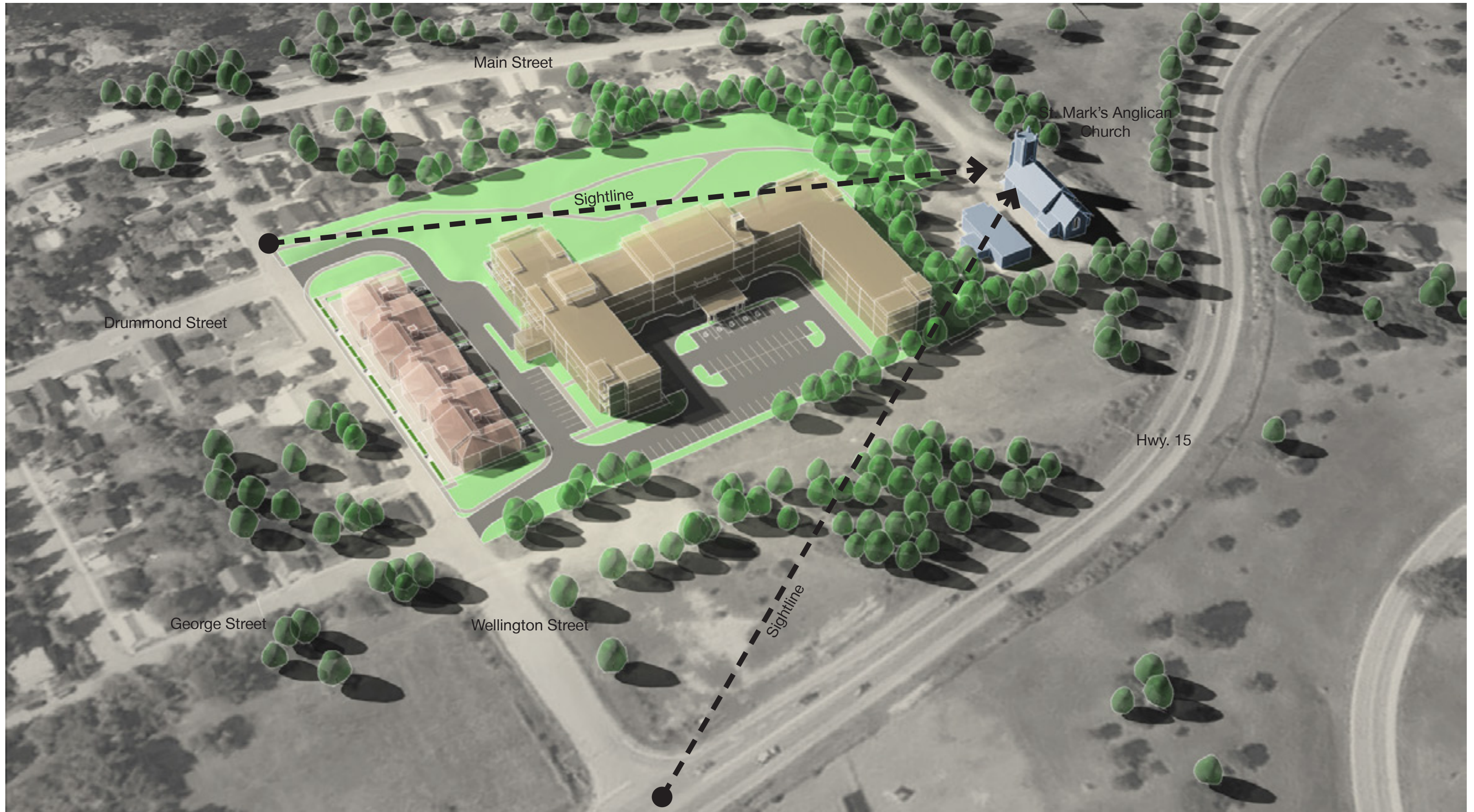
George Street

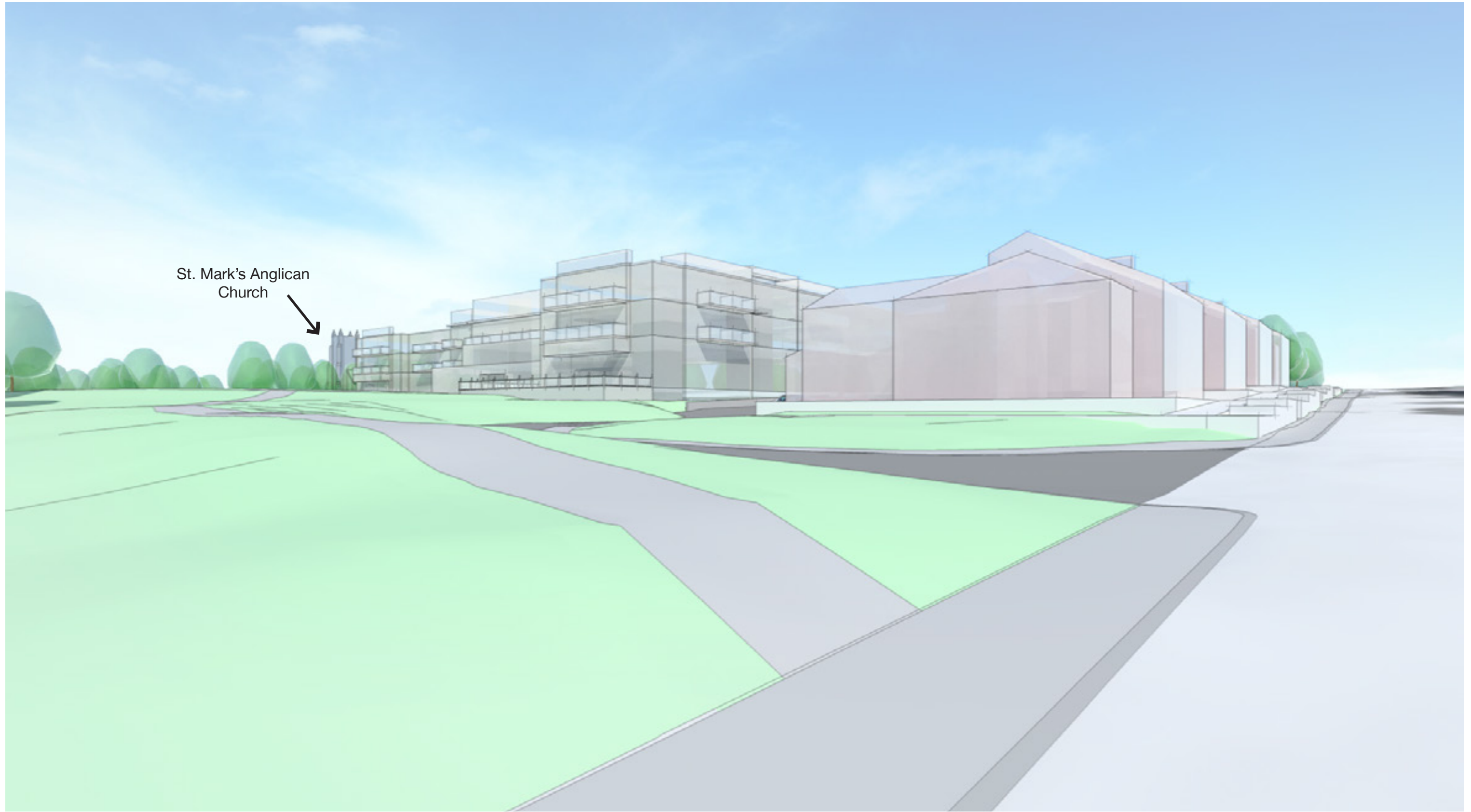
Wellington Street

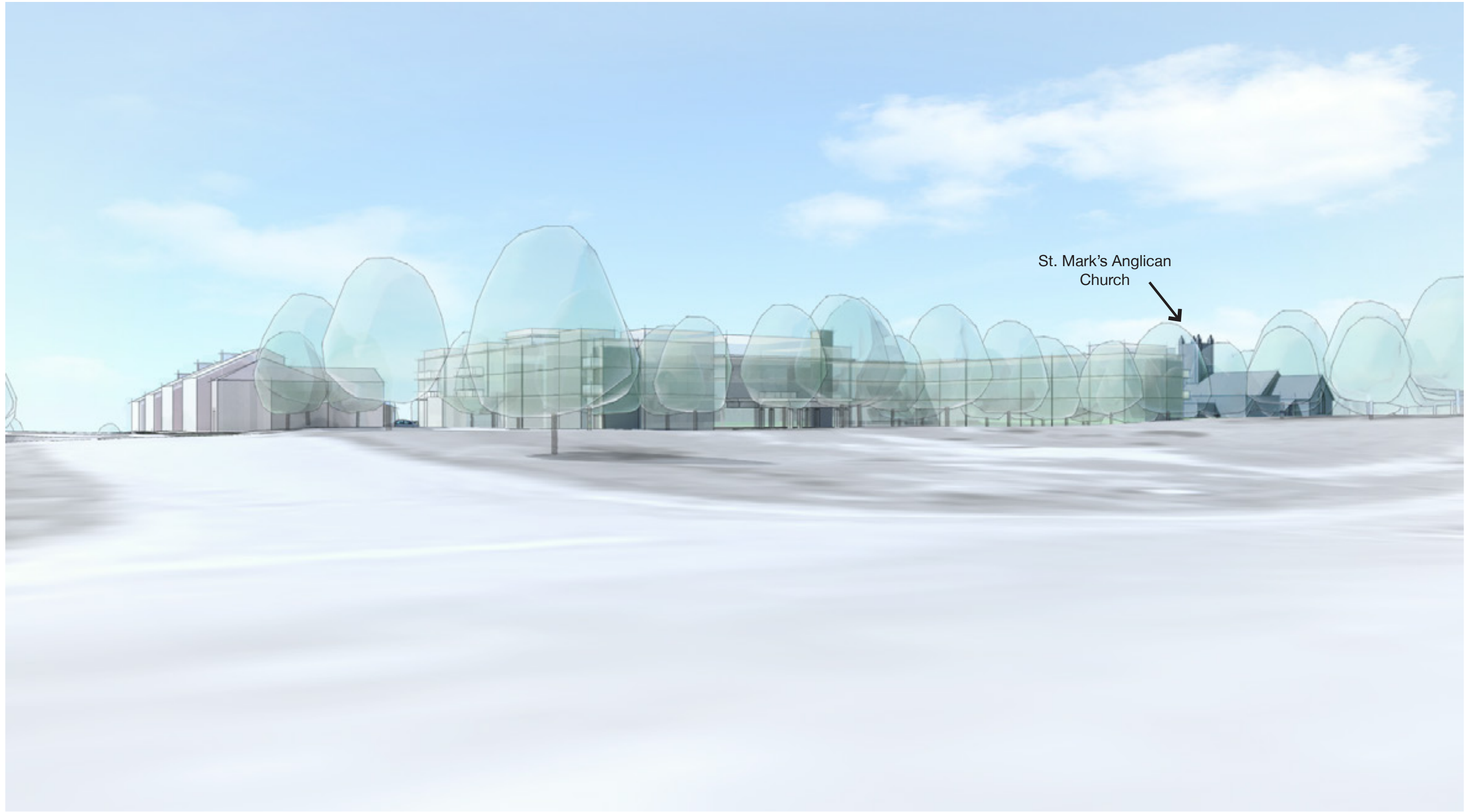
Hwy. 15

St. Mark's Anglican Church









Heritage Kingston

Summary of Input from the Technical Review Process

F32-019-2017

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Councillor Peter Stroud	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councillor Liz Schell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Patricia Fiori	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Carl	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Peter Goheen	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Mac Gervan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sherman Hill	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Catherine Hyett	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Meghan Kerrigan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jamie McKenzie-Naish	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	October 2, 2017
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	<input type="text" value="Liz Schell"/>
Application Type:	Pre-Consultation
File Number:	F32-019-2017
Property Address:	411 Wellington ST

Description of Proposal:

The applicants would like to gain preliminary comments from Heritage Kingston regarding their conceptual plans for the redevelopment of the former J.E. Horton Public School site. The subject property is located at 411 Wellington Street in the Barriefield Heritage Conservation District, which was designated under Part V of the Ontario Heritage Act. The school building and accessory structures were demolished earlier this year through Heritage Permit P18-078-2016. The redevelopment proposal includes a three-storey (12,646 square metre) retirement residence containing 145 units, and a 16 unit, 2 storey terraced row house fronting onto Wellington Street. Rezoning and site plan control applications will also be required.

Comments for Consideration on the Application:

The proposed buildings are wildly different from what is allowed under the Barriefield Heritage District guidelines.

A huge apartment house and 16 townhouses is not sympathetic to the area.

I believe a nursing home could be built under the present zoning? – but this is a huge residence for retired people with market rates.

I can't see this moving ahead at all.



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	October 4, 2017
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	<input type="text" value="Paul Carl"/>
Application Type:	Pre-Consultation
File Number:	F32-019-2017
Property Address:	411 Wellington ST

Description of Proposal:

The applicants would like to gain preliminary comments from Heritage Kingston regarding their conceptual plans for the redevelopment of the former J.E. Horton Public School site. The subject property is located at 411 Wellington Street in the Barriefield Heritage Conservation District, which was designated under Part V of the Ontario Heritage Act. The school building and accessory structures were demolished earlier this year through Heritage Permit P18-078-2016. The redevelopment proposal includes a three-storey (12,646 square metre) retirement residence containing 145 units, and a 16 unit, 2 storey terraced row house fronting onto Wellington Street. Rezoning and site plan control applications will also be required.

Comments for Consideration on the Application:

I would like to hear from the Barriefield Community before saying more if they are supportive of this. As this seems to be a very large project for the community to have and to me does not seem to fit with the current Barriefield housing density.



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	October 9, 2017
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	<input type="text" value="Donald Taylor"/>
Application Type:	Pre-Consultation
File Number:	F32-019-2017
Property Address:	411 Wellington ST

Description of Proposal:

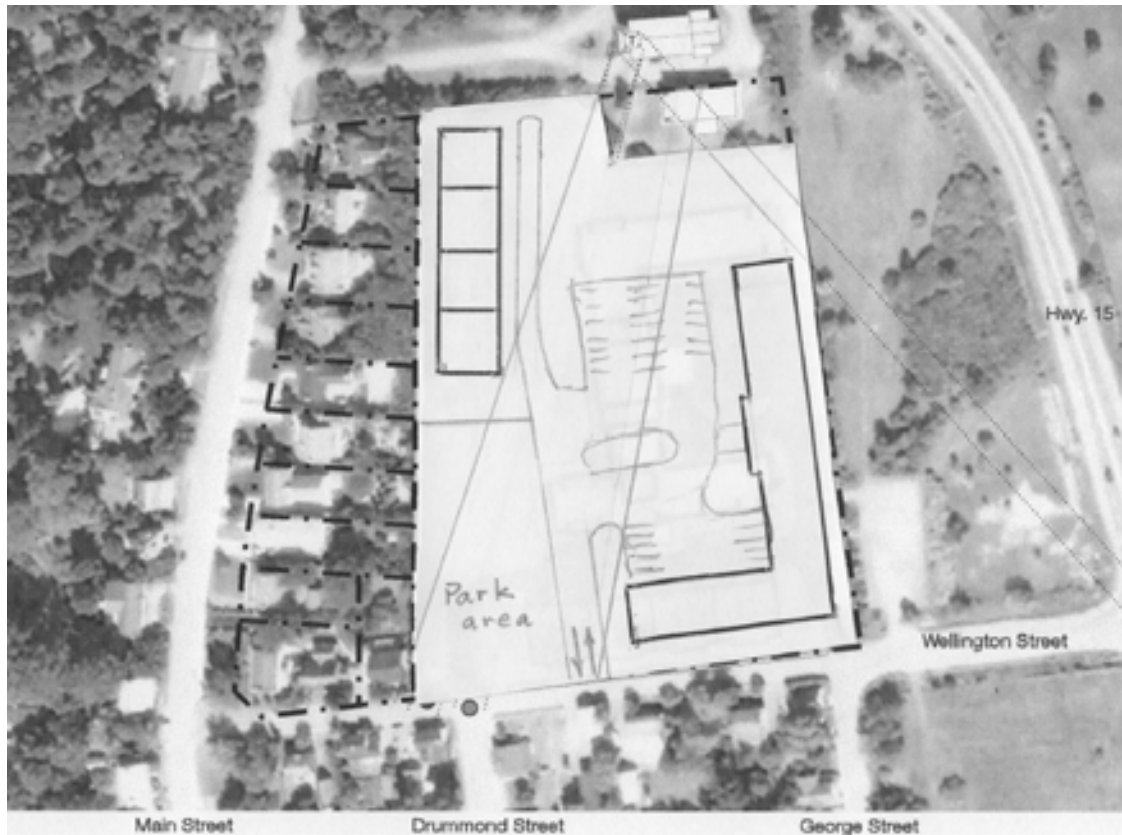
The applicants would like to gain preliminary comments from Heritage Kingston regarding their conceptual plans for the redevelopment of the former J.E. Horton Public School site. The subject property is located at 411 Wellington Street in the Barriefield Heritage Conservation District, which was designated under Part V of the Ontario Heritage Act. The school building and accessory structures were demolished earlier this year through Heritage Permit P18-078-2016. The redevelopment proposal includes a three-storey (12,646 square metre) retirement residence containing 145 units, and a 16 unit, 2 storey terraced row house fronting onto Wellington Street. Rezoning and site plan control applications will also be required.

Comments for Consideration on the Application:

Thanks for the opportunity for Heritage Kingston members to view and comment on these conceptual plans. I expect that there will be considerable input from the Barriefield Village Association, from the public, and from city planning and heritage staff before detailed plans are presented.

Heritage Kingston will be concerned with protecting heritage views relative to Barriefield village and views of St Mark's church. The applicants appear to be conscious of the need to limit the scale and massing of new buildings to protect these views. The site plan attempts to achieve these objectives, but it appears that the view of the church from Wellington Street will be mostly blocked by the north wing of the apartment building. I hope that other building configurations can be considered, recognizing that many restrictions and requirements are involved in the site plan, and every plan has positives and negatives. As an example I have sketched a different arrangement of buildings that would provide a more extensive view of the church from Wellington Street

and from a small park area there. In this plan the housing footprint is the same, while the apartment block footprint is slightly smaller.



My other concern is limiting the height of new buildings to prevent them from overpowering those in the village. The two-storey height of the row houses and the three-storey height of the apartment block seem reasonable, but the actual heights must be carefully controlled. It is surprising that the apartment buildings are planned to be 18 metres high. That's close to 60 feet, which I would have supposed appropriate for a five-storey building. Surely 12 metres should be adequate, and additional superstructures for mechanical services should be avoided by locating them in the basement. For the row housing, their height should be consistent with the District Plan guidelines for height from grade to ridge.