



**City of Kingston
Report to Heritage Kingston
Report Number HK-19-044**

To: Chair and Members of Heritage Kingston
From: Lanie Hurdle, Interim Chief Administrative Officer
Resource Staff: Paige Agnew, Director, Planning, Building & Licensing Services
Date of Meeting: September 18, 2019
Subject: Application for Heritage Permit under the *Ontario Heritage Act*
Address: 67 Sydenham Street P18-1199
File Number: P18-026-2019

Executive Summary:

The subject property at 67 Sydenham Street is located on the east side of Sydenham Street, and includes the entire west half of the block between William and Earl Streets. The property is known as the Annandale apartment complex, which includes the 1848 Carruthers Villa and the 1927 apartment building. The subject property is included in the Old Sydenham Heritage Conservation District (HCD), designated pursuant to Part V of the *Ontario Heritage Act*.

An application for alteration under Section 42 of the *Ontario Heritage Act*, File Number P18-026-2019, has been submitted to request heritage approval to erect an educational interpretative display panel along Earl Street on their property. The panel will be 1.8 metres by 0.8 metres in size, angle-mounted on two 0.9 metre tall metal posts. The design (by Annie Dalton Design Network of Perth) will incorporate archival photographs, text, timeline and maps to tell the story of the property. No illumination is proposed. Detailed description of the proposal, a site plan and photographs of the proposed location have been included in the submission.

This application was deemed complete on August 26, 2019. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 24, 2019.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff have no concerns with the proposed scope of work, subject to the conditions outlined herein.

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Recommendation:

That Heritage Kingston supports Council's approval of the following:

That alterations to the property at 67 Sydenham Street, be approved in accordance with the details described in the application (File Number P18-026-2019), which was deemed complete on August 26, 2019, with said alterations to include the erection of an approximately 1.8 metre by 0.8 metre, non-illuminated, interpretive display panel; and

That the approval of the alterations be subject to the following conditions:

1. The applicant shall amend the proposed sign area of the new sign to be no greater than 0.18 square metres, or obtain an exemption from the Sign By-Law through clause 6.2 of By-Law Number 2009-140, as amended, as necessary;
2. The applicant shall obtain a Sign Permit;
3. The applicant shall obtain an Encroachment Permit, as necessary;
4. The applicant shall ensure utility locates are completed before any excavation or re-grading; and
5. The applicant is encouraged to provide details of the finalized sign content and design to Heritage Planning staff, to review with the Heritage Properties Working Group, to ensure accuracy and to provide comments.

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Authorizing Signatures:

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

Lanie Hurdle, Interim Chief
Administrative Officer

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Acting Commissioner, Community Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required
Deanne Roberge, Acting Commissioner, Corporate Services	Not required

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Options/Discussion:**Description of the Application**

The subject property at 67 Sydenham Street is located on the east side of Sydenham Street, and includes the entire west half of the block between William and Earl Streets. The property is known as the Annandale apartment complex, which includes the 1848 Carruthers Villa, designed by architect William Coverdale, the 1873 additions by architect Robert Gage, and the 1927 apartment and 1928 Annex buildings, designed by local architect Colin Drever.

An application for alteration under Section 42 of the *Ontario Heritage Act*, File Number P18-026-2019, has been submitted to request heritage approval to erect an educational interpretative display panel (sign) along Earl Street on their property. The panel will be 1.8 metres (72 inches) by 0.8 metres (32 inches) in size, angle-mounted on two 0.9 metres (36 inch) tall metal posts on a concrete base. The design (by Annie Dalton Design Network of Perth) would incorporate archival photographs, text, timeline and maps to tell the story of the property. No illumination is proposed. The new sign is to be located at the foot of one of the large willow trees, just inside the stone and iron fence line along Earl Street on the south side of the property. A section of an existing hedge row is to be removed to allow room for the installation; however, the iron and stone wall will not be affected.

Detailed description of the proposal, a site plan and photographs of the proposed location have been included in the submission and attached as Exhibit C.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

This application was deemed complete on August 26, 2019. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 24, 2019.

Reasons for Designation

The subject property is included in the Old Sydenham HCD created pursuant to Part V of the *Ontario Heritage Act* in 2015. The Property Inventory Evaluation rates this property as "significant" to the District. The Inventory includes the following summary:

"The complex appears always to have been conceived, true to Utopian modernism, as a comprehensive and 'health giving' landscape with the buildings set within gardens with recreational activities on-site... along Earl that the sense of the site as a 'Court' of garden apartments is most intact. Along this elevation, as well the turn of the (20th) century, the fence is still in place (though much deteriorated) with its stone knee wall, piers of early decorative concrete and wrought and cast iron fencing. The fine gates at the entrances to the Annex were added at that time to harmonize with the earlier fence..."

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The description of the value of this property, as outlined in the Inventory, is attached in Exhibit B.

Cultural Heritage Analysis

The Annandale apartment complex is a prominent landmark in the area and one of the earliest “high rises” in the City. It contributes to the heritage character and history of the Old Sydenham HCD.

This application proposes to install an educational interpretive display along the Earl Street frontage of the subject property; easily accessible to the public but on private property. For the purposes of heritage conservation policy review and by-law interpretation, this type of installation is considered a “sign”.

The assessment of this application is summarized below through references to the relevant sections of the Old Sydenham Heritage Area HCD Plan.

Section 2.0 (Statement of Objectives)

Section 2.2 provides a Statement of Cultural Heritage Value or Interest for the entire District. This statement includes a value statement as well as a list of heritage attributes, which are those physical components of the District that express its cultural heritage value. Additionally, Section 2.3 of the Plan provides a description of the sub-areas and their heritage attributes. This proposal is located in the ‘Beyond Bagot’ sub-area and its attributes are described in Section 2.3.3. Through the evaluation of this proposal, staff find that the proposal conserves the heritage attributes of the District and those of the Beyond Bagot sub-area.

Section 2.5 (Designation Goals and Objectives) speaks to the goals and objectives for the District as a whole, Heritage Buildings, Landscapes and Streetscapes, and Land Use. The application supports the goals as presented in the District Plan, specifically in relation to the goals for Landscape/Streetscape (2.5.3), which states “To maintain and enhance the visual, contextual and functional character to the Old Sydenham streetscape and public realm...”.

Lastly, this proposal complies with the policies for the District and Landscapes/Streetscapes as outlined in Sections 2.6.1 and 2.6.3. The proposal will maintain the distinct heritage character of Old Sydenham and the alterations proposed in this application are being undertaken in accordance with the policies and guidelines of the District Plan.

Section 7.0

Section 7 of the Old Sydenham HCD Plan establishes a policy framework for the consideration of “Public and Private Landscapes”. The street trees and landscaping of the space between buildings and the streets are an important part of the streetscape and character of the Old Sydenham HCD. The proposal has been considered against these policies as summarized below.

Section 7.2 notes that “there is considerable variety in private front yard and municipal boulevard landscape treatments throughout the district, the characteristics of which should be retained and used as a basis for new treatments.”

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Section 7.4 directs that "... stone and iron fences, stone walls and gateposts, hedges and other historic forms of enclosure are heritage attributes of the district and should be conserved." While the proposal includes the removal of a portion of the existing hedgerow along Earl Street, no change to the stone and iron fence are proposed. The existing hedgerow along Earl Street is approximately 30 metres long. The section to be removed will be approximately 2 metres long. This will allow visibility and access to the proposed display panel and improve visibility and understanding of the iron and stone fence. The contribution of this fence and hedgerow on the heritage character of the District are being conserved and enhanced, thus the intent of Section 7.4 is being met.

Section 7.7, which is titled "Signage and Street Furniture", does not provide any specific guidance with respect to the design, size or placement of signage. It only notes that "commemorative or interpretative signage proposed to be placed within the municipal right-of-way shall be subject to the guidelines of the District Plan as well as the City of Kingston Sign By-Law (By-Law Number 2009-140), and By-Law Number 2004-107 "A By-Law to Protect the City's Highways from Unauthorized Encroachment"..."

While the new sign will be located entirely on private property (not the municipal right-of-way), staff have nonetheless reviewed its location and size against the various broad policies of the District Plan, as noted previously. The design of the new sign will be simple, non-illuminated and located so as not to detract from the heritage attributes of the District. Further, staff have included conditions of approval to require compliance with the City's sign and encroachment by-laws.

It should be noted that while the new sign is supportable from a heritage impact perspective, the City's Sign By-Law does not permit signs of this size in a residential zone. The proponents will need to reduce the size of the sign face area to no greater than 0.18 square metres (2 square feet) or apply for relief from the Sign By-Law. This requirement has been included as a condition of *Heritage Act* approval.

Conclusion

In summary, the proposed alterations will improve the public's understanding and appreciation of the subject property, while not detracting from the heritage attributes or cultural heritage value of this part of the Old Sydenham HCD.

Heritage Planning staff are of the opinion that the proposal conforms to the intent, goals and policies of the HCD Plan and will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan and Parks Canada's 'Standards and Guidelines for the Conservation of Historic Places in Canada'. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the City so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations.
- Achieve Standards 9 and 12 (Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada): Make any interventions needed to preserve

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character-defining elements physically and visually compatible with the historic place. Create new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Previous Approvals

P18-078-2017 Willow tree removal
P18-046-2018 Restoration of concrete gate posts

Comments from Departments and Agencies

This application was circulated to a number of internal departments who provided the following comments:

Building Division: Drawings are required for review. The proposed sign will be required to comply with the sign by-law and all provisions for a ground sign. The proposed sign is in a residential zone and is not permitted as per the sign by-law, an appeal of the by-law may be made to the Appeals Committee; an application can be made through [DASH](#).

Kingston Hydro: There are underground electrical circuits in the vicinity of the proposed commemorative panel; the applicant is reminded to obtain locates for any excavations.

Planning Division: The subject property is designated 'Residential' in the City's Official Plan. It is zoned in the 'Three to Six-Family Dwelling Zone B' in Zoning By-Law Number 8499. A church is a permitted use in the B Zone. A standalone sign is not considered a building or structure for the purposes of zoning.

Utilities Kingston: Utilities Kingston has no concerns. Locates should be obtained by contacting Ontario One Call.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the [DASH](#) system. The Committees' comments have been compiled and attached as Exhibit D.

No concerns were received from responding members. One member recommended that the Committee review the final design of sign content to check accuracy. In the past, the Heritage Properties Working Group has reviewed the design and content of educational interpretive displays when their installations were required by the City through a *Planning Act* application. In this case, the sign is a privately funded and organized initiative on private property. The Committees' role is to review the heritage impacts of the proposed sign, not necessarily to govern its content. However, given the wealth of experience and knowledge available to the applicant through the Heritage Properties Working Group, staff have included a discretionary condition that encourages the applicant to consider bringing their final layout plans to the Working Group for review and comment.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

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Ontario Heritage Act, R.S.O. 1990, C. O.18. (Province of Ontario)
City of Kingston Official Plan
Old Sydenham Heritage Area Heritage Conservation District Plan

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

Not applicable

Financial Considerations:

Not applicable

Contacts:

Andrea Gummo, Acting Manager, Policy Planning 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage 613-546-4291 extension 3233

Other City of Kingston Staff Consulted:

The application was circulated to a number of internal departments for review and all comments have been incorporated.

Exhibits Attached:

- | | |
|-----------|--|
| Exhibit A | Context Map & Photographs |
| Exhibit B | Property Inventory Evaluation Form |
| Exhibit C | Concept Plans, Prepared by Applicant |
| Exhibit D | Correspondence Received from Heritage Kingston |
| Exhibit E | Summary of Final Heritage Kingston Comments |

Contextual Map



Annandale Complex



Carruthers Villa built 1848



Main Complex built 1927



R. Gage addition
built 1873



Annex
built 1928

Location of Interpretive Display



Location of Interpretive Display



Google 2018

New Free Standing Sign



Google 2015

**119-137 EARL STREET
ANNANDALE COMPLEX**

Carruthers Villa / Annandale Court:

Built: 1848

Architect: William Coverdale

Alterations by Robert Gage, 1873

Alterations by Collin Drever, 1928

Main Complex:

Built 1927

Architect: Collin Drever

Annex, Built 1928

Architect: Collin Drever

Rating: S

The Annandale Apartment Complex has evolved from the original Carruthers Villa to occupy half of a block and represent a wide range of architectural periods/styles involving important Kingston architects from each respective period/ building campaign. The original stone villa (1848) at Earl and Sydenham with full height (originally two storey) corner bay was an elegant expression of the Italianate designed by William Coverdale at the prime of his career but predates most of his major villas. While Coverdale's concept has been extremely altered by the addition of a third storey and the extension of its Earl Street corners in brick, including the infilling of



Carruthers Villa with additions; view from southwest



The Annandale Apartments; view from northwest



The Annex on Earl Street

the original 'inside corner' formed by the tower and the west wing during or after the construction of the apartment complex, it still remains legible within the existing. The additions themselves, though regrettable from a purist perspective, were undertaken with some skill and sympathy for the existing form likely under the auspices of the architect for the Annandale, Colin Drever.

The land assembly by John Carruthers and his son for the family estate allowed for the present expansive complex. In 1873 Carruthers commissioned noted Kingston architect Robert Gage to undertake alterations and additions to the villa. Gage's main contribution to the complex was the stone 2 storey (then) rear wing with mansard roof. This expression of the 2nd Empire style was relatively early for Kingston. It remains largely intact including the mansard roof with patterned slate and bracketed eaves, the rear bay also with bracketed eaves and, in general, the window and door openings though two have been infilled with stone. The porch to the original rear entrance appears to date from the 1920's. It now abuts a further expansion of the later apartment complex.

Annandale Apartments, a five storey (with mechanical penthouse above) building constructed at the corner of William and Sydenham Streets in 1927 was unique for its time in Kingston and notable within the region. Architect Colin Drever utilized a modern structural system, steel frame (steel protected by 'speed tile') and reinforced concrete structural system' and a façade which successfully integrates Beaux-Arts and Modernist sensibilities to create Kingston's first residential 'high-rise'. Relying on the rhythm created by the fenestration and the three projecting bays (both front and back) and the interplay of the large stucco 'field' with the pilasters and parapet of mixed orange tone tapestry brick it is a sophisticated composition which would have been at home in Toronto or even New York. The pressed metal cornice at the base of the parapet, the large beveled 'water table' and the entrance porticos on Sydenham and William respectively, with paired columns leading to the double-leaved entrance doors with transom and sidelights are other notable features which reinforce the sense of an austere classicism which is almost modernist.

In creating the three storey Annandale Annex Apartments (on the former site of Chalmers Church) the architect took a further step toward outright modernism with no classical detailing/references but rather a simple box form with the aesthetic effect (very Corbusier like) created by the bands of windows (of the solarium rooms) in the 'field' of stucco. Here however the structure is more traditional (as befits the scale) being brick with the solarium area, stucco on frame. As noted above the brick additions to the original villa, similar in form to the Annex treatment, though interesting in themselves and relatively sympathetic given the situation, are less aesthetically successful when juxtaposed and somewhat denigrating the earlier historic fabric.

The complex appears always to have been conceived, true to Utopian modernism, as a comprehensive and 'health giving' landscape with the buildings set within gardens with recreational activities on site. While there remains little sign of the latter the landscaped setting is still an important aspect of the site though perhaps diminished from the original vision. Along William Street this takes the form simply of 'front yard' lawn, shrubbery and street trees but

does help soften the affect of the relatively tall building. At Sydenham there is a greater use of hedges to define aspects of the site, particularly walkways. This streetscape is dominated by a particularly large deciduous tree. However it is along Earl that the sense of the site as a 'Court' of garden apartments is most intact. The exuberant floral plantings along the south face and fence of the 'Villa' give way to the 'green' courtyard between it and the Annex deeply shaded by a number of large willows. Along this elevation as well the turn of the (20th) century fence is still in place (though much deteriorated) with its stone knee wall, piers of early decorative concrete and wrought and cast iron fencing. The fine gates at the entrance to the Annex were added at that time to harmonize with the earlier fence, an interesting contrast to the modernist architecture of the building.

This property occupies part of the Loyalist grant of Park Lot 2 given to Mrs. Ann Earl, the daughter of the celebrated Colonial couple William Johnson and Molly Brant. The block was formally subdivided by John Counter in 1850. Counter had purchased much of the block from Colin Miller and his wife for £10,000.00 in 1848.

John Carruthers (1815-89), a wholesale grocer who arrived in Canada from Scotland in 1838, acquired Lot 49, corner of Sydenham and Earl, in 1848 and that year engaged well known Kingston architect William Coverdale to design a Villa as his new residence. Construction began soon after and may have been completed by April 1849. Carruthers, a political Liberal, became very successful owning ships and property. He was a Life Governor of Kingston General Hospital .

William Coverdale, City Architect from 1846-1865 was then in his prime having completed such major commissions as the 'new front' to St. George's Cathedral and St. James Anglican Church but still relatively early in the chronology of his major residences such as Rosemount, Eldon Hall, and Elmhurst, completed in the 1850's.

In 1853 Carruthers acquired Lot 37 from John Counter and this formed the large rear yard for the villa and upon which Carruthers built a stone carriage house (demolished 1927 for the Apartment House construction). Between 1860 and 1873 Carruthers also obtained Lot 36 (1860), Lot 34 (1865), Lot 34 (1865) and part of Lot 33 (1873). In 1873 he retired from the grocery business and undertook additions and alterations to his home designed and supervised by Robert Gage.

Gage, the noted late 19th century Kingston Architect, arrived in Canada from Ireland in 1852, and after an apprenticeship in carpentry with his future father in law William Irving, went on to design such Kingston area landmarks as the Education Building (now Mackenzie Building) and Hewitt House for the 'new' Royal Military College (1877). He was the architect as well for the 'palatial' Allison House, Adolphustown of that same year. Gage's main contribution to the complex was the stone 2 storey (then) rear wing with mansard roof.

In 1889 the year of his father's death John Bell Carruthers purchased lots 50 and 51 from Chalmers Church (then in the process of relocating to their current site) and in 1892 inherited all his father's lands. For several decades this truly extensive estate remained intact but in 1926 Carruthers sold the property to Tekla and Matthew Henson. The Hensons engaged architect Colin Drever to design the Annandale Apartments which formally opened in June 1927.

The opening was celebrated in the June 27 *Kingston Whig-Standard* with a promotional article and advertisements headlined "Annandale Court, Kingston's Newest and Most Modern Apartment Building." The article claimed Kingston now had the largest modern apartment house between Ottawa and Toronto. At the time of its opening it featured two tiled entrances containing individual mail boxes for the tenants. Modern conveniences included a refrigerator and double sink in each kitchen, still relatively unusual at the time. Ads provided to the *Whig* by contributing Contractors indicate that the masonry and stucco was completed by the well known, long standing firm of Clugston Brothers, the plumbing by N.S. Davie and the Allan Lumber Company supplied the doors and lumber. The newspaper also noted that the 5 acre property was being landscaped to include "health-giving and recreational sports: facilities such as tennis courts".

The 1929 City Directory indicates that 119 Earl St. "Annandale Court" (after 1931 known as Annandale Annex) has 3 tenants - suggesting that the brick building which had occupied the site at least since the relocation of Chalmers Church had disappeared and been replaced by the current Modernist building, an early expression of that form in Kingston. Also that year three tenants are listed separately for the former Carruthers Villa suggesting that the renovations and additions to that building, vacant in 1927, were complete. These additions included increasing the height of the structure by a full storey throughout in brick (including the bay) and with full height brick additions constructed at the former inside corner behind the original corner bay and along the east wall.

The Directory entry for 1931 indicates that Annandale Court, now differentiated from the Annex, has 7 tenants, including the owners/developers, Tekla and Matthew Hanson - the building now being fully occupied.

It is very likely that the renovations and additions to the villa as well as the design of the Annex were all part of Colin Drever's project in association with the design of the 5 storey apartment complex, all elements in a unified vision for this site.

The Annandale Apartment complex takes up half of the city block, including the full streetscape on Sydenham. The apartment 'towers' are a landmark, even today the tallest elements in the immediate area. The section of the site along Earl creates a particularly picturesque impression due to the extent and maturity of the foliage which almost engulfs the façade of the Annex. *

* Text from Bray, Sheinman, et al., *Old Sydenham Heritage Area Conservation Study: Cultural Heritage Resource Inventory and Evaluation Report*, 2009. Research by Jennifer McKendry.

The Board of Directors of The Annandale Condominium are proposing to erect a high-quality interpretive historical panel on the Annandale property, historically the Carruthers Estate. The sign would inform tourists and residents passing by of the history of the property and the people who have called it home, making reference to the architectural, social and economic significance of the buildings and residents over the last 170 + years.

The signage would be similar in manufacture, design and scope to those panels found in front of Elizabeth Cottage on Brock Street and Anna Lane on Queen Street. It would be 72" wide x 32" high (same dimensions as the Anna Lane panel), in full colour, using 10 year fade-free Fontasy Sunglaze product. The sign would be angle-mounted on two posts. The design (by Annie Dalton Design Network of Perth) would incorporate archival photographs, text, timeline and maps to tell the story.

Proposed location is midway down the Earl Street side of the property, just inside the wall/fence border on the Annandale courtyard lawn and in a small clearing beneath the well-know willow tress that anchor that side of the property. From this location, it would be easily visible to passerby.

The proposed sign/panel is a private initiative jointly funded by the owners of the Annandale and a group of descendants of the Carruthers family. It would be a significant addition to the historical record and an attractive point of interest for residents and visitors alike.

Prepared by Applicant - M. Shaw



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ANNANDALE CONDOMINIUM



April 10, 2019

PROPOSAL TO

Annandale Condominium
c/o Marc Shaw
47 Sydenham Street, Kingston K7L 3H2
kingstonrentalproperties@gmail.com

To view my portfolio
of work, please go to:
anniedalton.com

To view selected
examples (fabricated
with Fantasy product),
please go to
pages 3 and 4 of this
proposal.

Dear Marc

Thank you for reaching out to inquire about designing, fabricating and installing an interpretive panel on the grounds of the historic Annandale Condominium at 67 Sydenham Street, located in the Old Sydenham Heritage District in downtown Kingston. I understand that your goal is to create something similar in size and scope of the project I completed in collaboration with Jennifer McKendry at Anna Lane Condo at 121 Queen St. in Kingston.

DESIGN APPROACH

As a general approach it is recommended that the interpretive panel is designed in keeping with 1930s period of the building and that any colours and textures compliment the historic themes. The panel will tell the many stories of one of Kingston's first high rise apartment buildings through the use of engaging and creative text, historic architectural photos and floor plans, historic maps of the district, and intriguing culture-based photos. Inset images could include close-ups of architectural details, newspaper clippings, and early marketing materials. A timeline chart could easily illustrate correlation between the building's date, and its significance in Kingston's development.

PROJECT TIMELINE

In planning for this project to come to fruition, note that typically the design stage which includes sketches, storyline development, copywriting, photo research will take approximately two months with approvals back and forth. Add one more month to this schedule to complete final artwork and approved electronic files ready to be sent to fabricator. The fabrication stage takes a maximum of six weeks from receipt of final artwork. Actual installation usually follows within two weeks of the final production of sign.

So, all-in-all, for the purposes of your planning, we recommend to allow for approximately five months to complete the whole project. This process can be speeded up if all materials are ready to hand-off at start-up meeting and approvals are given in a timely manner.

ROUGH COST BREAKDOWN

A. Content and Layout Design

The design stage includes a start-up meeting, full-colour sketches, editorial writing, image scanning and restoration as needed, layout presentation and all approvals.....\$ 1,350.00

B. Final Electronic Artwork and Fabrication Management

All final artwork prepared in high resolution electronically and provided to fabricator. Costing for this stage also includes budget management, approval of colour proofs and on-site installation management.....\$ 750.00

*Please note that more than two sets of AA's will be charged extra at \$65.00 per hour.

C. Fabrication and Installation by Fontasy

We recommend the high-end Fontasy Sunglaze product (the same as Anna Lane Condos panel). The size of panel would be 72" wide x 32" high and in full colour. The Sunglaze surface is fade-free for ten years (a guarantee you won't find elsewhere with today's UV rays).

It would be angle-mounted on two posts which are powder-coated for durability and uses a Fontasy patented construction and installation that is guaranteed to withstand frost upheaval.

Included in this cost is locater fees (power, gas lines etc), Insurance and H&S /WSIB documentation.....\$ 3,000.00

Thank you for the opportunity to provide a proposal on your upcoming project.

SELECTED PROJECTS

Discover the History of the Anna Lane Site

We are standing on a section of Queen Street that has a long history of civilian uses for housing, in close proximity to important military facilities. An early town graveyard still exists up the street next to St. Paul's Church.

Immediately to the west of us (forming the east of the frontage on Queen Street up to Montreal Street) was the town's burial ground, founded in 1763, just before the Loyalists arrived to settle near the lakeshore. The street leading to the graveyard from the lake was appropriately named Grace Street (renamed Queen Street in 1842). St. Paul's Church was built in the middle of this graveyard in 1843.

The site was granted by the British Crown in 1808 to Thomas C. L'Orange and Joseph Wallace, who came as Kingstons from Quebec in 1796. When Kingston was the capital of the Province of Canada from 1841 to 1844, development in this area intensified as housing was needed. Wallace's widow built a modest frame house for rental income in 1840 east to the graveyard, and surprisingly a myth began about 1840 that the Wallace house had been built as part of the 1763 Government House, located at Queen and Ontario Streets, and moved here in 1821.

The idea that this was "Stinson House," as Government House became known due to its proximity with Governor Stinson, was an invention that the Kingston Historical Society moved the date to 1822 when the land was needed for recreational purposes. It now resides in Upper Canada Village.

Next to the Wallace house was a two-story, frame double house built by L'Orange possibly in the 1820s. In 1879, Regent Street was excavated through Arcturion Park to meet up with Queen Street, thus creating new street frontages along Regent. Among later uses here were a watchmaking and engraving shop, a blacksmith shop, which transitioned into servicing automobiles, when horses were no longer needed for transportation. Now the site has reverted to its residential roots with the completion of Anna Lane condominiums in 2018 by a community-based non-profit co-operative, using the socially inclusive Options for Housing development model.

STREET DEVELOPMENT AT UPPER CANADA VILLAGE HELD IN THIS HOUSE IN 1821.

Anna Lane Condos
Exterior Interpretive Panel,
Kingston, Ontario



Mississippi River
Outdoor Interpretation
Dalhousie Lake, Ontario



The Grotto
Exterior Interpretive Panel,
Alexandria, Ontario

Proposed Sign Design



Metal Posts

Angle-mounted

Google 2018

Google 2018

Example of interpretive display panel – 121 Queen Street

Location of Sign



Photos provided by Applicant

Location of Sign



Photos provided by Applicant

Heritage Kingston

Summary of Input from the Technical Review Process

P18-046-2019

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Bridget Doherty	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Jim Neill	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jennifer Demitor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Matthew McCartney	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Zoe Harris	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ashley Johnson	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
William Hineman	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jeremy St-Onge	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	August 14, 2019
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jennifer Demitor
Application Type:	New Construction
File Number:	P18-026-2019
Property Address:	67 SYDENHAM ST

Description of Proposal:

The subject property at 67 Sydenham Street is located on the east side of Sydenham Street, and covers the entire west half of the block between William and Earl Streets. The property is known as the Annandale apartment complex, which includes the 1848 Caruthers Villa and the 1927 apartment building. The subject property is included in the Old Sydenham Heritage Conservation District created pursuant to Part V of the Ontario Heritage Act in 2015. The applicants wish to gain Heritage Act approval to erect an interpretation/ commemorative panel along Earl Street on their property. The panel will be 72" by 32" in size, angle-mounted on two metal posts. The design (by Annie Dalton Design Network of Perth) would incorporate archival photographs, text, timeline and maps to tell the story of the property. No illumination is proposed. Comments for

Consideration on the Application:

I support this installation. Communicating our cities history is an important endeavour.



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	August 20, 2019
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	New Construction
File Number:	P18-026-2019
Property Address:	67 SYDENHAM ST

Description of Proposal:

The subject property at 67 Sydenham Street is located on the east side of Sydenham Street, and covers the entire west half of the block between William and Earl Streets. The property is known as the Annandale apartment complex, which includes the 1848 Caruthers Villa and the 1927 apartment building. The subject property is included in the Old Sydenham Heritage Conservation District created pursuant to Part V of the Ontario Heritage Act in 2015. The applicants wish to gain Heritage Act approval to erect an interpretation/ commemorative panel along Earl Street on their property. The panel will be 72" by 32" in size, angle-mounted on two metal posts. The design (by Annie Dalton Design Network of Perth) would incorporate archival photographs, text, timeline and maps to tell the story of the property. No illumination is proposed. Comments for

Consideration on the Application:

Presuming that all the relevant by laws have been followed, I certainly recommend this initiative.

Recommended Conditions for the Application:

I think the committee should see the final design for the sign, to check for accuracy, etc.



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	August 21, 2019
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Bridget Doherty
Application Type:	New Construction
File Number:	P18-026-2019
Property Address:	67 SYDENHAM ST

Description of Proposal:

The subject property at 67 Sydenham Street is located on the east side of Sydenham Street, and covers the entire west half of the block between William and Earl Streets. The property is known as the Annandale apartment complex, which includes the 1848 Caruthers Villa and the 1927 apartment building. The subject property is included in the Old Sydenham Heritage Conservation District created pursuant to Part V of the Ontario Heritage Act in 2015. The applicants wish to gain Heritage Act approval to erect an interpretation/ commemorative panel along Earl Street on their property. The panel will be 72" by 32" in size, angle-mounted on two metal posts. The design (by Annie Dalton Design Network of Perth) would incorporate archival photographs, text, timeline and maps to tell the story of the property. No illumination is proposed. Comments for

Consideration on the Application:

I commend the owners of this complex for sharing history with passersby. I have no concerns at all and I'm sure the interpretation panel will be done tastefully and in keeping with regulations.

Summary of Final Comments at September 18, 2019 Heritage Kingston Meeting

Mr. Taylor stated that the sign may be a bit larger than what is appropriate, and he expressed concern if all historic buildings were to install similarly sized interpretive panels. He suggested the applicants may consider reducing the size of the panel.

Mr. Taylor also stated that interpretive displays should not be considered signs under the City's Sign By-law, which he feels was intended to regulate commercial signage.



**City of Kingston
Report to Heritage Kingston
Report Number HK-19-045**

To: Chair and Members of Heritage Kingston
From: Lanie Hurdle, Interim Chief Administrative Officer
Resource Staff: Paige Agnew, Director, Planning, Building & Licensing Services
Date of Meeting: September 18, 2019
Subject: Application for Heritage Permit under the *Ontario Heritage Act*
Address: 5 Court Street (P18-109)
File Number: P18-018-2019

Executive Summary:

The subject property at 5 Court Street, known as the Frontenac County Court House, is located on the north side of Court Street, between West and Barrie Streets in the Old Sydenham Heritage Conservation District (HCD), designated pursuant to Part V of the *Ontario Heritage Act*.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number P18-018-2019) has been submitted to gain approval to repair and restore the two cupolas on the roof ridge line, to the east and west sides of the main dome. The intention is to replace the metal roofing and all the wooden and metal features of the cupolas in order to stop water infiltration into the building. The applicants plan to use as much of the existing materials as possible while retaining the appearance and authenticity of these historic features.

A detailed condition report was prepared by Taylor Hazell Architects, in partnership with André Scheinman Heritage Consulting, MMM Group, and RJC Engineers, and submitted as part of this application.

This application was deemed complete on August 22, 2019. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 20, 2019.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff have no concerns with the proposed scope of work, subject to the conditions outlined herein.

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Recommendation:

That Heritage Kingston supports Council's approval of the following:

That alterations to the property at 5 Court Street, be approved in accordance with the details described in the application (File Number P18-018-2019), which was deemed complete on August 22, 2019, with said alterations to include the restoration, repair and reconstruction, as needed, of the east and west cupolas; and

That notwithstanding Part VII, Section 23(i) of By-Law Number 2013-141, as amended, this approval shall remain in effect for five (5) years, subject to periodic inspections by the City per Section 23(f) of the noted by-law; and

That the approval of the alterations be subject to the following conditions:

1. A Building Permit shall be obtained, as required;
2. Any alteration that interfaces with the masonry of the building shall comply with the City's Policy on Masonry Restoration in Heritage Buildings;
3. Any necessary replica features shall be designed as to accurately recreate the existing details using similar/compatible materials, so as to appear original to the building; and
4. No storage of equipment or materials shall occur within 1.5 metres of the edge of the canopy of any existing trees.

September 18, 2019

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Authorizing Signatures:

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

Lanie Hurdle, Interim Chief
Administrative Officer

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Acting Commissioner, Community Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required
Deanne Roberge, Acting Commissioner, Corporate Services	Not required

September 18, 2019

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Options/Discussion:**Description of the Application**

The subject property at 5 Court Street is located on the north side of Court Street, and covers the entire south half of the block between West and Barrie Streets (Exhibit A – Context Map & Photographs). It is a City of Kingston owned property, known as the Frontenac County Court House. The subject property includes the landmark and nationally recognized limestone courthouse building (built 1885-1858), a number of mature trees and the 1903 Sir George Airey Kirkpatrick Memorial Fountain. The adjacent, but associated, heritage buildings, namely the 1875 Registry Office and 1857 Jailor's House, appear to be located on separate parcels at 1 Court Street and 150 West Street, respectively. The subject application is with respect to the Court House only.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number P18-018-2019) has been submitted to gain approval to repair and restore the two cupolas on the roof ridge line, to the east and west sides of the main dome. The intention is to replace the metal roofing and all the wooden and metal features of the cupolas in order to stop water infiltration into the building. The applicants plan is to use as much of the existing materials as possible while retaining the appearance and authenticity of these historic features with new detailed replicas as needed.

A detailed condition report was prepared by Taylor Hazell Architects Limited, in partnership with André Scheinman Heritage Consulting, MMM Group, and Read Jones Christofferson (RJC) Engineers, and submitted as part of this application. Please note, the restoration/conservation works to the portico, as noted in the condition report, are not part of this application.

Detailed restoration plans have been prepared by Taylor Hazell Architects Limited and are included in the submission and attached as Exhibit B.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

This application was deemed complete on August 22, 2019. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 20, 2019.

Reasons for Designation

The subject property is included in the Old Sydenham HCD, designated pursuant to Part V of the *Ontario Heritage Act* in 2015. It was also designated under Part IV of the Act through By-Law Numbers 8497 and 8892 in 1976. The Frontenac County Court House was recognized as a National Historic Site of Canada in 1980.

The Court House is subject to a Heritage Easement Agreement with the Ontario Heritage Trust, pursuant to Part II of the Act.

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The Property Inventory Evaluation for the Old Sydenham Heritage Area HCD Plan rates this property as “significant” to the District.

The designating by-law includes the following:

“The Court House which over the years has survived two fires and extensive renovations, still retains the elegance which it possessed when first built. ... The pavilions are crowned by octagonal cupolas with ribbed domes and decorative finials.”

The designating by-law and Property Inventory evaluation are attached as Exhibit C.

Cultural Heritage Analysis

The Frontenac County Court House is a prominent landmark in the area and contributes to the heritage character of the Old Sydenham HCD.

This application proposes to repair, restore and replicate all details on the east and west side cupolas, in order to minimize water infiltration and to maintain the heritage significance of this building and features. The assessment of this application is summarized below through references to the relevant sections of the Old Sydenham Heritage Area HCD Plan.

Section 2 (Statement of Objectives)

Section 2.2 provides a Statement of Cultural Heritage Value or Interest for the entire District. This statement includes a value statement as well as a list of heritage attributes, which are those physical components of the District that express its cultural heritage value. In assessing the impact of this application on the District, the key question that staff must answer is whether the proposed alterations conserve the District’s heritage attributes or whether they will have a negative impact.

Additionally, Section 2.3 of the Plan provides a description of sub-area heritage attributes, and again staff must determine whether the proposal will conserve or negatively impact these attributes. This proposal is located in the ‘Beyond Bagot’ sub-area and its attributes are described in Section 2.3.3. Through the evaluation of this proposal, staff find that the proposal conserves the heritage attributes of the District and those of the Beyond Bagot sub-area.

Section 2.5 (Designation Goals and Objectives) speaks to the goals and objectives for the District as a whole, Heritage Buildings, Landscapes and Streetscapes, and Land Use. The application supports the goals as presented in the District Plan, specifically in relation to the goals for Heritage Buildings (2.5.2), which states “retaining and conserving heritage buildings identified in the District Study”.

Lastly, this proposal complies with the policies for the District and Landscapes/Streetscapes as outlined in Sections 2.6.1 and 2.6.3. The proposal will maintain the distinct heritage character of Old Sydenham and the alterations proposed in this application are being undertaken in accordance with the policies and guidelines of the District Plan.

September 18, 2019

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Section 4.0

Section 4 of the Old Sydenham HCD Plan establishes a policy framework for the consideration of "Building Conservation". The east and west cupolas are an important part of the heritage value of the building and character of the Old Sydenham HCD. The proposal has been considered against these policies as summarized below.

Section 4.3.1 (Conservation of Heritage Buildings - Roofs)

As noted in the application, the intention is to restore the east and west cupolas, using as much existing materials as possible, and replicating with like materials those features too extensively deteriorated to repair. Section 4.3.1, with respect to roof features such as cupolas, directs one to "replace original deteriorated material matching like-for-like components, or replicate based on documentary evidence if restoration of existing surfaces is not viable." Further, this section notes "ensure all roofing penetrations are properly flashed to prevent moisture penetration and all new wood materials are suitably selected and/or treated for exposure to exterior moisture conditions."

Section 5.0

Section 5 of the Old Sydenham HCD Plan establishes a policy framework for the consideration of "Building Alterations and Additions". The proposal has been considered against these policies as summarized below.

Section 5.2.1 (General Practices for Alterations and Additions - Alterations)

This particular subsection provides guidance when reviewing applications for alterations to original heritage features. Section 5.2.1 directs one to "find out as much as possible about the original appearance and style of the building in order to determine the best options for alteration that respect the property's heritage attributes." It further notes that "if original materials and construction are available, avoid replacing them with contemporary materials and construction methods."

The applicants have undertaken a detailed assessment of the current conditions of the cupolas, noting that most of the materials appear to be original; however, they are noted to be in very poor condition. The condition report notes "localized structural failure" in the east cupola and severe deterioration of the west cupola. It is noted that the condition of the materials on the east cupola may be able to be restored; however, less useable material is available for the west cupola and more new materials are needed.

The applicants have prepared detailed plans (Exhibit B) to restore and replicate, where necessary, all the features on these cupolas, including the decorative Corinthian capitals, metal finials with leaf-motif, wooden louvers, metal roofing and ornamental grills.

Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada, Standard 8, directs property owners to:

"maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements..."

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The applicants have provided a detailed assessment of the current condition of the fountain, a plan for repairing and restoring the structure, including a heritage assessment by heritage preservation consultant, André Scheinman. The proposed works to repair the metal and wooden portions of these structures will improve their longevity and prevent further deterioration to the building. Staff support the proposed work as it will conserve this City-owned heritage asset and prominent building of national significance for years to come.

As this initiative will require a number of years to complete, staff have included a recommendation that an exception be made to Part VII Section 23(i) of the Procedural By-Law for Heritage, in order to extend the three year permit validity period (in accordance with Section 23(f)) to enable the works to be undertaken over a period of up to five (5) years.

Any cleaning/repointing or similar masonry works shall be completed in conformity to the City's Masonry Policy. Also, care should be taken to ensure any necessary replica features be designed as to accurately recreate the existing details, using similar and compatible materials, so as to appear original.

Heritage Planning staff are of the opinion that the proposal conforms to the intent, goals and policies of the HCD Plan and will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Tourism, Culture and Sports' Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the City so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations.
- Achieve Principle Number 4 – Respect for Original Fabric (Eight Guiding Principles in the Conservation of Built Heritage Properties, Ministry of Tourism, Culture and Sport): Repair with like materials.
- Achieve Standards 7 and 8 (Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada): Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Maintain character-defining elements on an ongoing basis.

Previous Approvals

P18-109-116-2010EA	Replacing security camera
P18-109-062-2011DA	Repainting windows
P18-064-2018	Repair of Kirkpatrick Fountain

Comments from Departments and Agencies

This application was circulated to a number of internal departments who provided the following comments:

Building Division: A Building Permit will be required for any structural alterations or repairs to the building.

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Forestry Division: No equipment, materials or vehicles shall be parked, stored or placed within the canopies of any existing tree(s) on the east and west sides of the courthouse. A Tree protection and preservation plan is recommended.

Ontario Heritage Trust: Approval of these alterations was granted by the Trust on July 30, 2019 with the following conditions: Any replacement materials will match the dimensions and profiles of the existing; new paint must match the existing colour; and an alteration completion form must be submitted to the Trust once the work is completed.

Planning Division: The subject property is designated 'Institutional' in the City's Official Plan. It is zoned in the site-specific 'One-Family Dwelling and Two-Family Dwelling Zone "A.106"' in Zoning By-Law Number 8499.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the [DASH](#) system. The Committees' comments have been compiled and attached as Exhibit D. No concerns were received from responding members.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)
Ontario Heritage Act, R.S.O. 1990, C. O.18. (Province of Ontario)
City of Kingston Official Plan
Old Sydenham Heritage Area Heritage Conservation District Plan
Designating By-law Numbers 8497 and 8892
City of Kingston's Policy on Masonry Restoration on Heritage Buildings

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

Not applicable

Financial Considerations:

Not applicable

Contacts:

Andrea Gummo, Acting Manager, Policy Planning 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage 613-546-4291 extension 3233

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Other City of Kingston Staff Consulted:

The application was circulated to a number of internal departments for review and all comments have been incorporated.

Exhibits Attached:

- Exhibit A Context Map & Photographs
- Exhibit B Concept Plans, Prepared by Applicant
- Exhibit C Designating By-Law and Property Inventory Evaluation Form
- Exhibit D Correspondence Received from Heritage Kingston
- Exhibit E Summary of Final Heritage Kingston Comments

Contextual Map



Subject Property

West Street

Court Street

Barrie Street

Frontenac County Court House





West Cupola

East Cupola

Court Street



West Cupola



East Cupola



Fig. 22 East cupola. Though the zinc coated metal has reached the end of its life cycle no perforations were found in the metal. The option of repainting is available (THA 2017).

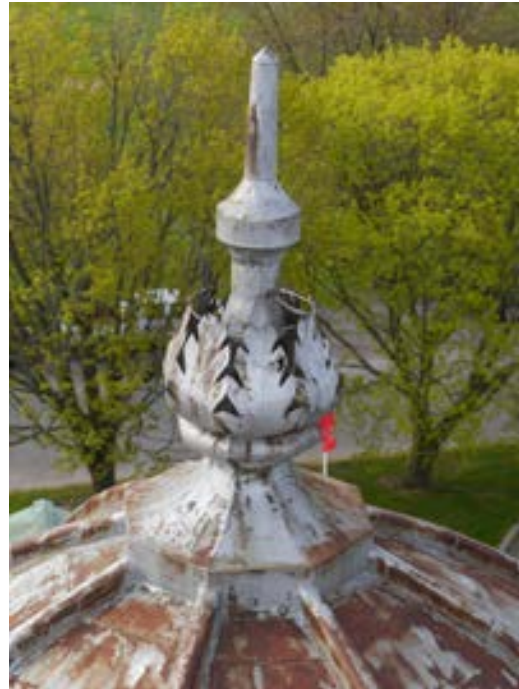


Fig. 23 East cupola. Finial vent cap leaves will require replacement (THA 2017).



Fig. 24 East cupola. A typical ridge batten detail that appears to be functioning well (THA 2017).



Fig. 25 West cupola. Vent cap and decorative leaves could be salvaged otherwise the life cycle of the metal roof and components has come to an end (THA 2017).



Fig. 26 West cupola. Selected finial vent cap leaves will require replacement (THA 2017).



Fig. 27 West cupola. Detail of perforations in zinc coated metal and thinning of the sheet metal (THA 2017).



Fig. 28 East cupola. Typical loss of paint and damage of the exposed wood (THA 2017).



Fig. 29 East cupola. Typical decayed wood and poorly detailed drip flashing (THA 2017).



Fig. 30 East cupola. Typical example of detached decorative wood details (THA 2017).



Fig. 31 East cupola . Typical example of metal details at the Corinthian capitals (THA 2017).



Fig. 32 West cupola. Wood detailing is in poor condition due to the higher level of exposure to south west wind, rain and sun (THA 2017).



Fig. 33 West cupola. Typical example of advanced wood deterioration (THA 2017).



Fig. 34 West cupola. Typical example of decayed wood deterioration (THA 2017).



Fig. 35 West cupola. Example of loose, missing and damaged metal detailing at Corinthian capital (THA 2017).



RESTORATION OF EAST/ WEST CUPOLAS

FRONTENAC COUNTY COURTHOUSE
5 COURT STREET, KINGSTON ON

FOR CITY OF KINGSTON

DEPARTMENT OF FACILITIES MANAGEMENT AND CONSTRUCTION SERVICES

PROJECT NO. FMCS-2019-12 (THA 1919)



IMG 01: LOCATION PLAN - GOOGLE MAPS



IMG 02: EXISTING WEST CUPOLA (2017)



IMG 04: PROPOSED STAGING AREA ON THE OTHER SIDE OF GAOLER'S RESIDENCE



IMG 03: EXISTING EAST CUPOLA (2017)

DRAWING LIST

ARCHITECTURAL

- A000 COVER SHEET, SITE PLAN AND GENERAL NOTES
- A001 TYPICAL SECTION
- A002 EAST CUPOLA PLAN, SECTION AND ELEVATION
- A003 EAST CUPOLA EXISTING CONDITIONS
- A004 WEST CUPOLA PLAN, SECTION AND ELEVATION
- A005 WEST CUPOLA EXISTING CONDITIONS
- A006 TYPICAL DETAILS

STRUCTURAL

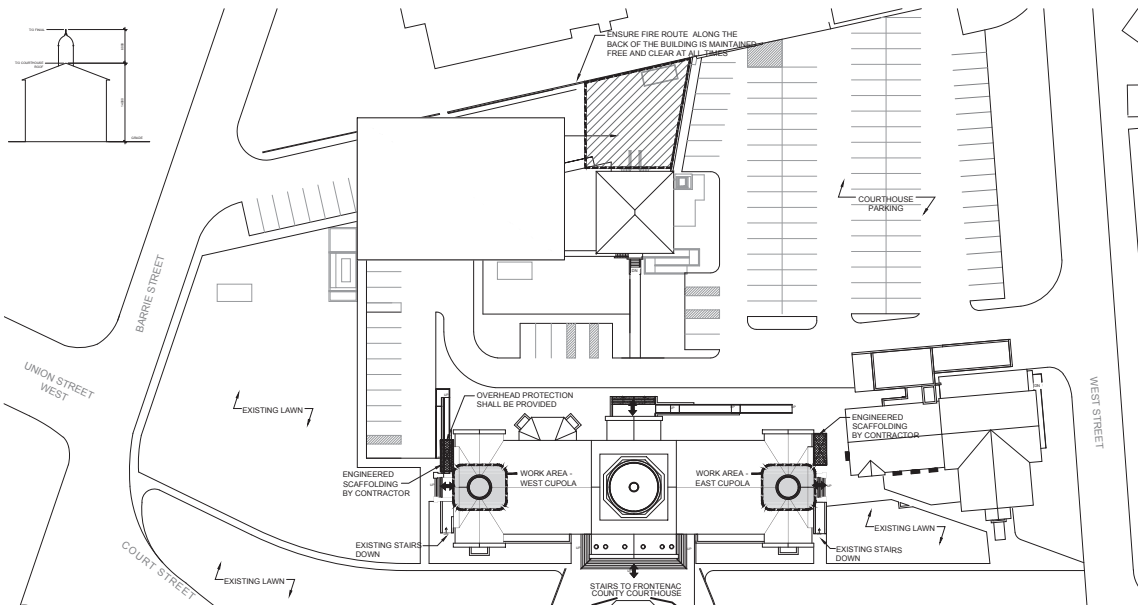
S1.0 GENERAL NOTES, SECTION & DETAILS

GENERAL NOTES

1. ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL DEMOLITION, SALVAGE, RESTORATION AND REPLACEMENT SCOPE OF WORK.
2. REVIEW AREA OF WORK AND IMMEDIATELY NOTIFY CONSULTANT UPON DISCOVERY OF CONFLICTS.
3. CONFIRM CRITICAL DIMENSIONS ON SITE PRIOR TO THE START OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. PROVIDE PROTECTION FOR ALL ELEMENTS TO REMAIN.
5. ALL REMOVALS AND REPAIRS ARE TO APPEAR SEAMLESS WITH ADJACENT FINISHES UPON COMPLETION OF THE WORK.
6. PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY THE DEMOLITION WORK.
7. REFER TO CONDITIONS ASSESSMENT AND RESTORATION NOTES FOR FULL SCOPE OF DEMOLITION, SALVAGE AND RESTORATION AND REPLACEMENT WORK.

SITE STAGING NOTES

1. MAINTAIN ALL BUILDING ENTRANCES AND EXITS CLEAR AT ALL TIMES DURING CONSTRUCTION, AS WELL AS SIDEWALK AND ENTRY STAIRS IN FRONT OF COURTHOUSE.
2. OVERHEAD PROTECTION SHALL BE PROVIDED AT SCAFFOLDING OVER THE ENTRANCES PROVIDE SAFETY SIGNAGE AND LIGHTING.
3. MEET ALL RELEVANT SAFETY STANDARDS FOR THIS WORK. CONTRACTOR TO PROVIDE ALL TEMPORARY ACCESS AND PROTECTION REQUIRED TO COMPLETE WORK.
4. NO SITE OFFICE AVAILABLE IN THE COURTHOUSE BUILDING.
5. SITE STAGING AREA AS SHOWN IN BELOW SITE PLAN. STAGING AREA SHALL NOT FALL UNDER DRIP LINE OF ADJACENT TREES.
6. CONTRACTOR TO PROVIDE TEMP. TOILET FACILITIES AS REQUIRED. COURTHOUSE BUILDING TOILETS ARE NOT ACCESSIBLE FOR CONSTRUCTION PURPOSES.
7. PROVIDE PROTECTION OF FIXED SITE ELEMENTS WITHIN CONSTRUCTION AREA, INCLUDING TREES, FURNITURE, MONUMENTS LIGHT STANDARDS, GRASS AND HARD PAVING. TREE PROTECTION TO BE PROVIDED AT DRIP LINE OF ALL TREES THAT MAY BE AFFECTED.
8. CONTRACTOR RESPONSIBLE FOR PROVIDING SITE PROTECTION & RESTORATION TO RETURN SITE FEATURES TO THEIR EXISTING CONDITIONS AT END OF CONSTRUCTION INCLUDING SOIL, UNIT PAVING, ASPHALT PAVING, CURBS, AND SIDEWALKS.
9. ACCESS SITE ONLY AS INDICATED. CONTRACTOR USE OF EXISTING PARKING IS PROHIBITED. CONTRACTOR IS TO MAKE OWN ARRANGEMENTS FOR PARKING OF CONSTRUCTION VEHICLES.
10. PROTECT EXTERIOR WALL SURFACE & SIGNAGE AS REQUIRED.
11. PROVIDE PHOTOGRAPHIC DOCUMENTATION BEFORE MOBILIZATION ONTO SITE OF ACCESS ROUTES, STAGING AREA, LANDSCAPING, CONDITION OF EXTERIOR WALL AS WELL AS EXISTING SIGNAGE AS APPROPRIATE.
12. GC REQUIRED TO PROVIDE CONSTRUCTION FENCING AS REQUIRED.
13. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION POWER AND WATER REQUIRED TO CARRY OUT THE WORK.
14. ACCESS TO SITE IS GRANTED MON-FRI FROM 7:00AM TO 7:00PM. GC MUST COORDINATE SCHEDULE AND SUBMIT METHODOLOGY FOR REVIEW SO AS TO NOT INTERFERE WITH COURTHOUSE OPERATIONS.



1 SITE STAGING PLAN
A000 1:400

GENERAL NOTES

EAST CUPOLA:

THE INTENT OF THE WORK IS TO RESTORE THE METAL ROOF RELATED WORK AND THE WOOD WORK BELOW DOWN TO THE COPPER ROOF. THE SCOPE OF REPLACEMENT WORK IS BASED ON THE PERCENTAGES IDENTIFIED IN THE DOCUMENTS. NO WORK IS REQUIRED REGARDING THE SUPPORT STRUCTURES INSIDE THE CUPOLA.

WEST CUPOLA:

THE INTENT OF THE WORK IS TO REMOVE, DUPLICATE AND REPLACE ALL METAL AND WOOD CLADDINGS EXCEPT ELEMENTS TO BE RETAINED AND RESTORED INCLUDING THE FINIAL AND THE COLUMNS. NO WORK IS REQUIRED REGARDING THE SUPPORT STRUCTURE INSIDE THE CUPOLA.

02	19.07.18	ISSUED FOR 95% CLIENT REVIEW
01	19.06.07	CONSULTANT COORDINATION
NO.	DATE	DESCRIPTION

REVISION / ISSUED

ARCHITECT'S SEAL :

TAYLOR|HAZEL ARCHITECTS LTD.
333 Adelaide Street West
8th Floor
Toronto, Ontario, M5V 1R5
Telephone: (416) 862-2084
Facsimile: (416) 862-8401

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND RESTORE ALL CONDITIONS AND OBLIGATIONS TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH WORK.

DO NOT SCALE THE DRAWINGS

DO NOT USE THIS DRAWING FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE ARCHITECT

PROJECT NAME:
RESTORATION OF EAST / WEST CUPOLAS

FRONTENAC COUNTY COURTHOUSE
5 COURT ST. KINGSTON ON

DRAWING TITLE:
COVER SHEET
SITE PLAN AND GENERAL NOTES

DRAWN BY:	DATE:
CHECKED BY:	ISSUED AS:
PROJECT NO.:	DRAWING NO.:
1919	A000

REVISED: N/A



- GENERAL NOTES - APPLIES TO ALL COMPONENTS**
1. INFORMATION PROVIDED FOR BREAKDOWN OF CUPOLA COMPONENTS IS NOT INTENDED TO BE EXHAUSTIVE. CONTRACTOR TO VERIFY ON SITE AND NOTIFY CONSULTANTS OF ANY DISCREPANCIES PRIOR TO WORK.
 2. CAREFULLY DISMANTLE BY COMPONENTS AND LABEL ACCORDING TO CODE PROVIDED ON THE DRAWINGS, TYPICAL.
 3. CONTRACTOR SHALL RECORD EXISTING CONDITIONS OF THE COMPONENTS PRIOR TO DISMANTLING WORK.
 4. CONTRACTOR TO SUBMIT DISMANTLING AND CLEANING METHODOLOGY (SHOP DWGS) FOR ALL METAL COMPONENTS TO BE RETAINED AND WOODWORK FOR REVIEW AND APPROVAL BY CONSULTANTS PRIOR TO WORK.
 5. RESERVED

- DISMANTLING AND SELECTIVE DEMOLITION ON THE ROOF OF THE CUPOLAS**
1. PROVIDE TEMPORARY MEMBRANE PROTECTION WHEREVER ROOFING HAS BEEN REMOVED. LAPPED WITH ROOFING ABOVE AND BELOW THE EXPOSED AREA TO ENSURE NO INFILTRATION OF WATER INTO THE INTERIOR.
 2. REMOVAL OF EXISTING ASSEMBLIES MUST BE SEQUENCED AND COORDINATED WITH TEMPORARY PROTECTION OF THE EXPOSED BUILDING ROOF DECKS TO ENSURE THAT THE BUILDING INTERIOR IS COMPLETELY PROTECTED FROM THE INFILTRATION OF WATER IN ALL WEATHER CONDITIONS.
 3. DURING THE REMOVAL AND REPLACEMENT OF THE ROOFING ASSEMBLIES, TEMPORARY COLLECTION AND RE-DIRECTION OF ROOF WATER WAY FROM THE CONSTRUCTION AREA ARE RESPONSIBILITY OF THE CONTRACTOR. THE DIVERSION OF ROOF WATER CANNOT SOAK AND DAMAGE ADJACENT PARTS OF THE BUILDING.
 4. DAMAGE RESULTING FROM FAILURE TO PROVIDE ADEQUATE PROTECTION AND DIVERSION OF ROOF WATER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING ALL COSTS ASSOCIATED WITH RECTIFYING THE DAMAGE.



01	10/17/18	ISSUED FOR SPEC CLIENT REVIEW
NO.	DATE	DESCRIPTION

REVISION / ISSUED

ARCHITECT'S SEAL :

TAYLOR|HAZEL ARCHITECTS LTD.
 333 Adelaide Street West
 8th Floor
 Toronto, Ontario, M5V 1R5
 Telephone: (416) 862-2094
 Facsimile: (416) 862-8401

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PROJECT NAME:

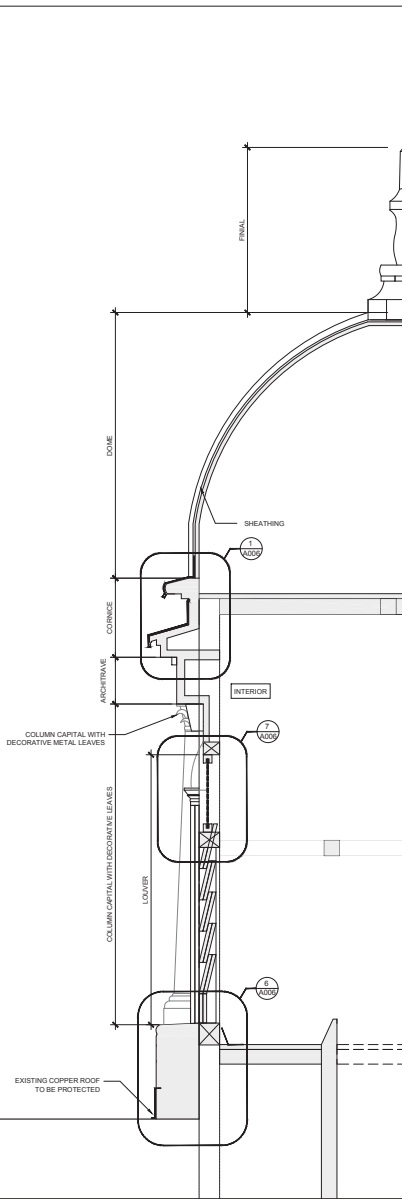
RESTORATION OF EAST / WEST CUPOLAS

FRONTENAC COUNTY COURTHOUSE
 5 COURT ST. KINGSTON ON

DRAWING TITLE:

CUPOLA SECTION DETAIL AND NOTES, TYPICAL

DRAWN BY: DATE:
 CHECKED BY: SCALE: AS SHOWN
 PROJECT NO. 1919 DRAWING NO. A001
 REVISED: N/A



2 FINIAL DTL., TYP.
 A001 N.T.S.



3 FINIAL DTL., TYP.
 A001 N.T.S.



4 FINIAL DTL., TYP.
 A001 N.T.S.



5 CAPITAL DTL., TYP.
 A001 N.T.S.



6 CAPITAL DTL., TYP.
 A001 N.T.S.



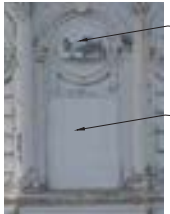
7 EXIST. LOUVER TYPE A
 A001 N.T.S.

EXAMPLE OF TYPICAL CLOSED LOUVRE TO BE REPLICATED AND INSERTED WHERE MISSING (8 TOTAL)



8 EXIST. LOUVER TYPE B
 A001 N.T.S.

VIEW OF METAL INSERT LOUVRE TO BE REMOVED



9 EXIST. LOUVER TYPE C
 A001 N.T.S.

LOUVRE EYELET TO BE REMOVED

BLANK PANEL INSERT

1 CUPOLA SECTION DETAIL AND TERMINOLOGY
 A001 1:15



1 PHOTO-E. CUPOLA ELEVATION: VIEW SHOWING EXISTING CONDITIONS
A003 N.T.S.



2 PHOTO-E. CUPOLA DTL.
A003 N.T.S.



3 PHOTO-E. CUPOLA DTL.
A003 N.T.S.



TYPICAL
CONDITION OF
CORNICE AND
ROLLED DRIP
EDGE

4 PHOTO-E. CUPOLA DTL.
A003 N.T.S.



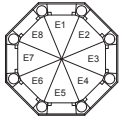
TYPICAL CORNICE
DETAILS

5 PHOTO-E. CUPOLA DTL.
A003 N.T.S.



VIEW OF SEGMENTED
DOME, ROLLED
RIDGES, AND FINIAL

6 PHOTO- E. CUPOLA ROOF DTL.
A003 N.T.S.



02	19.07.18	ISSUED FOR 95% CLIENT REVIEW
01	18.06.07	CONSULTANT COORDINATION
NO.	DATE	DESCRIPTION

REVISION / ISSUED

ARCHITECT'S SEAL :

TAYLOR | HAZELL ARCHITECTS LTD.
333 Adelaide Street West
8th Floor
Toronto, Ontario, M5V 1R5
Telephone: (416) 862-2884
Facsimile: (416) 862-8401

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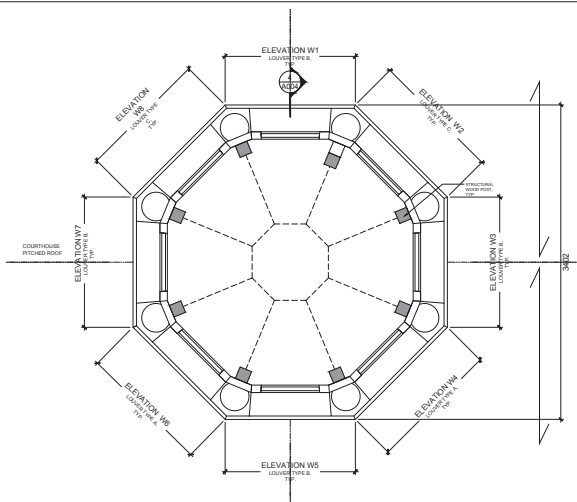
PROJECT NAME:
RESTORATION OF
EAST / WEST CUPOLAS

FRONTENAC COUNTY
COURTHOUSE
5 COURT ST. KINGSTON ON

DRAWING TITLE:
EAST CUPOLA EXISTING
CONDITIONS

DRAWN BY:	DATE:
CHECKED BY:	SCALE:
PROJECT NO:	DRAWING NO:
1919	A003

REVISED: N/A



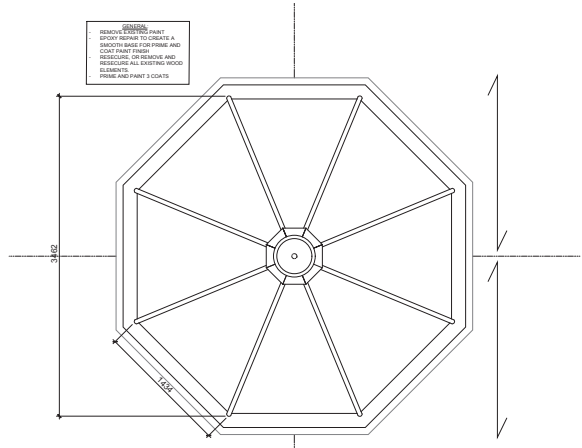
2 WEST CUPOLA INTERIOR PLAN - EXISTING
A004 1:25



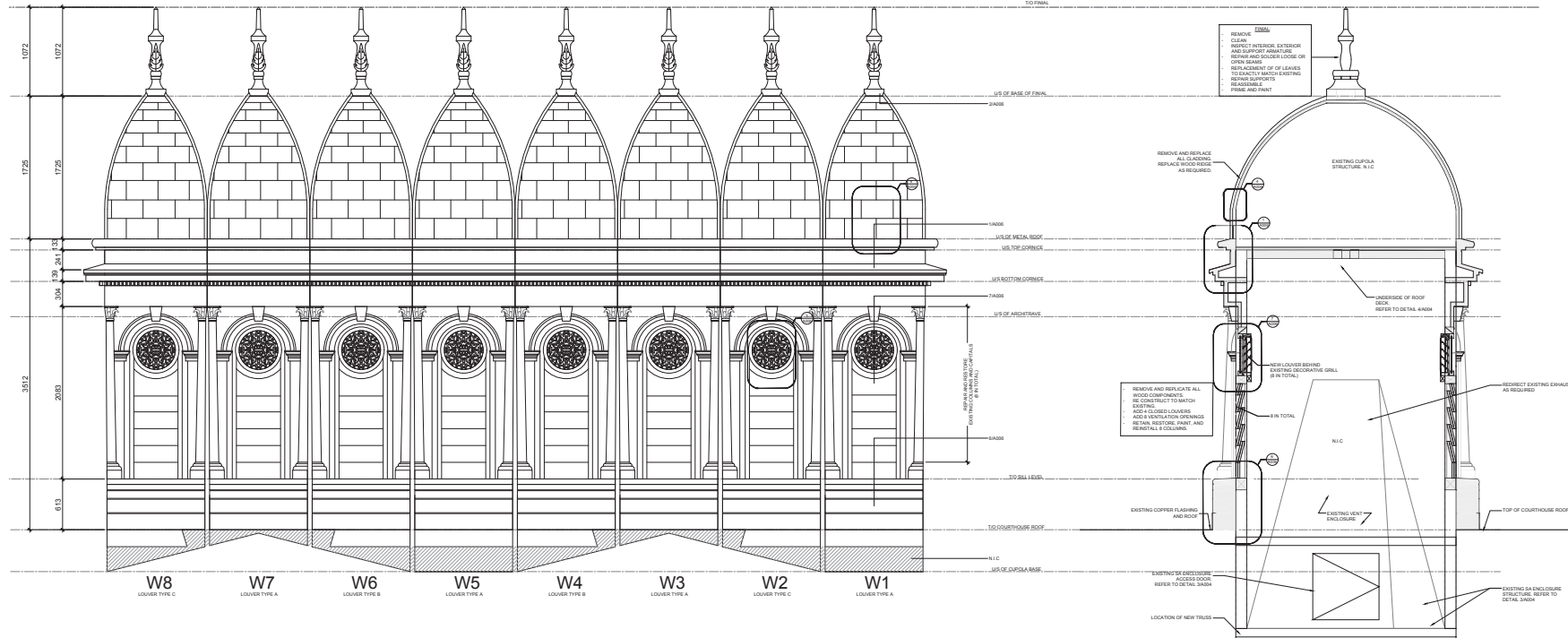
3 W. CUPOLA SA ENCLOSURE
A004 N.T.S.



4 W. CUPOLA ROOF DECK U/S
A004 N.T.S.

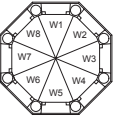


5 WEST CUPOLA ROOF PLAN - EXISTING
A004 1:25



1 WEST CUPOLA UNFOLDED ELEVATION
A004 1:25

6 WEST CUPOLA N-S SECTION
A004 1:25



NO.	DATE	DESCRIPTION

BY: 18.07.18 ISSUED FOR 95% CLIENT REVIEW
 BY: 19.08.18 CONSULTANT COORDINATION
 NO. DATE DESCRIPTION
 REVISION / ISSUED
 ARCHITECT'S SEAL:

TAYLOR | HAZELL ARCHITECTS LTD.
 333 Adelaide Street West
 8th Floor
 Toronto, Ontario, M5V 9S5
 Telephone: (416) 592-2654
 Facsimile: (416) 592-3621

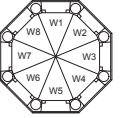
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH WORK.
 DO NOT SCALE THE DRAWINGS
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PROJECT NAME:
RESTORATION OF EAST / WEST CUPOLAS
FRONTENAC COUNTY COURTHOUSE
5 COURT ST. KINGSTON ON
 DRAWING TITLE:
WEST CUPOLA PLANS, SECTION AND ELEVATION

DRAWN BY: DATE:
 CHECKED BY: SCALE: AS SHOWN
 PRODUCT NO. DRAWING NO. DRAWING VIC.
 1919 A004
 REVISED: N/A



1 PHOTO - W. CUPOLA ELEVATION: VIEW SHOWING EXISTING CONDITIONS
A005 N.T.S.



02	19.07.19	ISSUED FOR 95% CLIENT REVIEW
01	19.06.07	CONSULTANT COORDINATION

NO. DATE DESCRIPTION

REVISION / ISSUED

ARCHITECT'S SEAL :

TAYLOR | HAZELL ARCHITECTS LTD.
333 Adelaide Street West
5th Floor
Toronto, Ontario, M5V 1R5
Telephone: (416) 862-2884
Facsimile: (416) 862-8821

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND SETOUTS FOR ALL WORK AND CROSSCHECK TO THE ARCHITECT'S DRAWINGS BEFORE PROCEEDING WITH WORK.

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PROJECT NAME:

RESTORATION OF EAST / WEST CUPOLAS

FRONTENAC COUNTY COURTHOUSE
5 COURT ST. KINGSTON ON

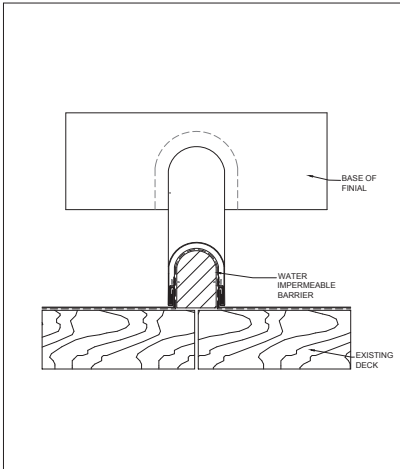
DRAWING TITLE:
WEST CUPOLA EXISTING CONDITIONS

DRAWN BY: DATE:

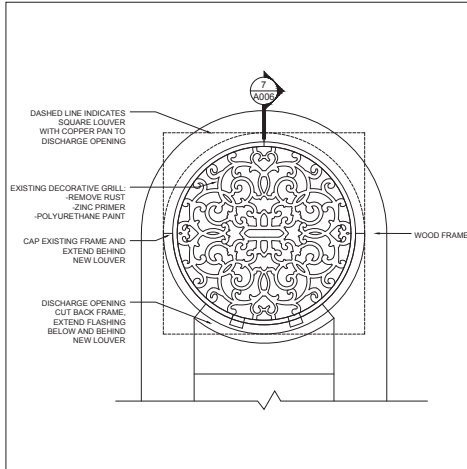
CHECKED BY: SCALE: ALL DIMENSIONS

PROJECT NO. 1919 DRAWING NO. A005

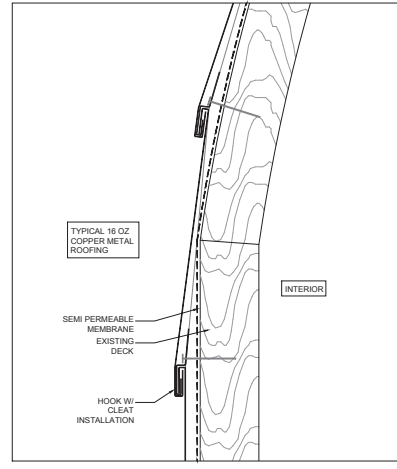
REVISED: N/A



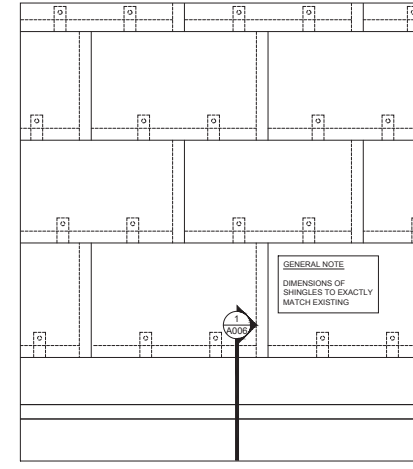
2 SECTION DTL AT ROLLED RIDGE, TYP.
A006 1/2



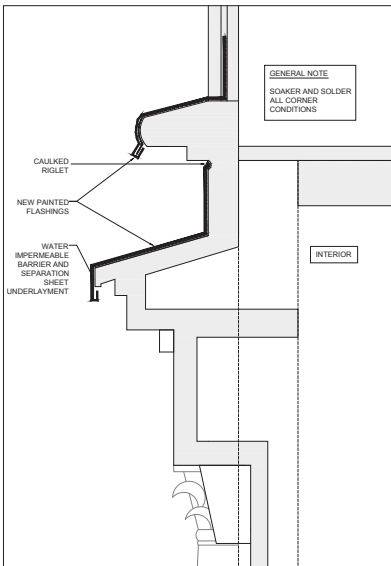
3 NEW ORNAMENTAL GRILL DETAIL, TYP.
A006 1/5



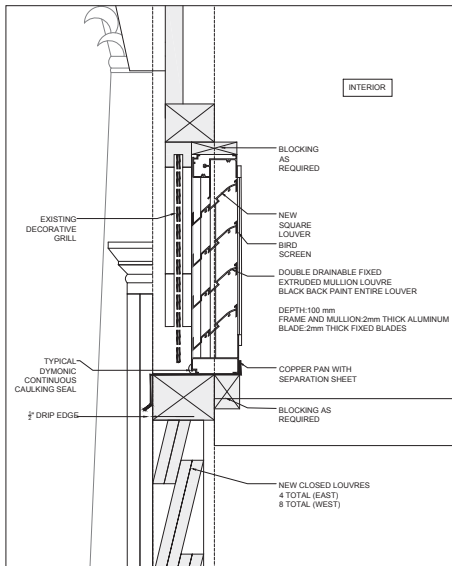
4 ROOF SECTION DETAIL, TYP.
A006 1/2



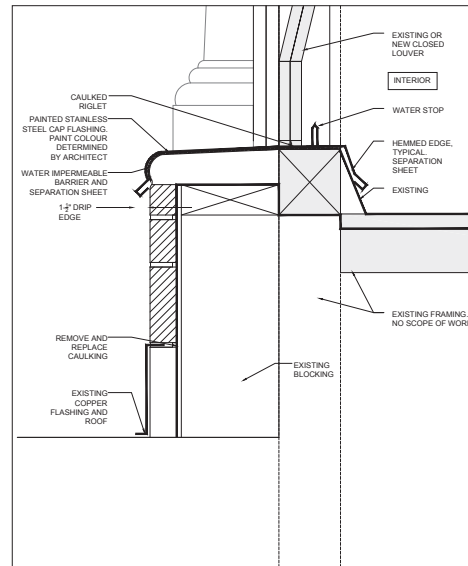
5 ROOF COPPER SHINGLE DTL, TYP.
A006 1/5



1 CORNICER CAP FLASHING SECTION DTL, TYP.
A006 1/5



7 ORNAMENTAL GRILL SECTION, TYP.
A006 1/5



6 NEW BASE SECTION DETAIL, TYP.
A006 1/5

- GENERAL**
- WEST CUPOLA**
- NEW METAL WORK INCLUDING SHINGLES AND FLASHING TO BE 18 OZ COPPER SECURED WITH STAINLESS STEEL NAILS.
 - ALL WOOD TO BE SEALED AND STAINED ON SIX SIDES.
 - PRIME AND PAINT ARCHITRAVE AND FLASHINGS.
 - ALL WOOD TO BE DOUGLAS FIR - INCLUDING REPLACEMENT SHINGLES AND FLASHINGS ALL DIMENSIONS TO MATCH EXISTING.
- EAST CUPOLA**
- REPAIR METAL WORK TO BE PAINTED STAINLESS STEEL.
 - ALL REPLACEMENT WOOD TO BE DOUGLAS FIR.



DT	19.07.18	ISSUED FOR 95% CLIENT REVIEW
NO.	DATE	DESCRIPTION

REVISION / ISSUED

ARCHITECT'S SEAL :

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PROJECT NAME:
RESTORATION OF EAST / WEST CUPOLAS

FRONTENAC COUNTY COURTHOUSE
5 COURT ST. KINGSTON ON

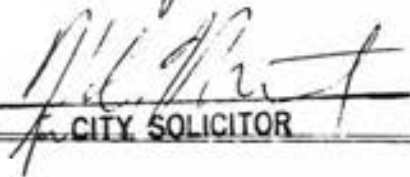
DRAWING TITLE:
TYPICAL DETAILS AND NOTES

DRAWN BY:	DATE:
CHECKED BY:	SCALE:
PROJECT NO:	DRAWING NO:
1919	A006

REVISION: N/A

APPROVED AS TO FORM

DATE 8-16/76


CITY SOLICITOR

Report No. 84
Clause 1

BY-LAW NO. 8892

A BY-LAW TO AMEND BY-LAW NO. 8497, "A BY-LAW TO DESIGNATE CERTAIN PROPERTIES WITHIN THE MUNICIPALITY TO BE OF HISTORIC OR ARCHITECTURAL VALUE OR INTEREST" (EXPAND REASONS FOR DESIGNATION)

PASSED: August 16th, 1976.

The Council of the Corporation of the City of Kingston enacts as follows:

1. By-Law No. 8497, "A By-Law to Designate Certain Properties Within the Municipality to be of Historic or Architectural Value or Interest", is hereby amended by expanding the reasons for designation as set forth on the attached Schedule "A".

This by-law shall come into force and take effect on its passing.

GIVEN THREE READINGS AND FINALLY PASSED the 16th day of August, 1976.


CLERK-COMPTROLLER


MAYOR

REASONS FOR DESIGNATION (cont'd)(2) ST. GEORGE'S CATHEDRAL BLOC (cont'd)

- (c) (i) CUSTOMS HOUSE - 294 King Street East - and
(ii) OLD POST OFFICE - 86 Clarence Street (cont'd)

Both the Customs House and the Old Post Office have walled yards at the rear with gateways which originally held iron gates leading to them from Clarence Street. In each case the design of the gateway-pillars is related to the design of the building they accompany. A railed iron fence tops the walls and divides each yard from the small park between.

(3) FRONTENAC COUNTY COURT HOUSE, REGISTRY OFFICE AND GAOLER'S RESIDENCE

- (a) FRONTENAC COUNTY COURT HOUSE - Court Street



Significance: The Court House which over the years has survived two fires and extensive renovations, still retains the elegance which it possessed when first built. This elegance is due to its sensitive siting which commands a distant view of the water, as well as the architects' skilful handling of proportions and materials. All the stone with the exception of that used in the columns, was quarried on the site. Externally, the building remains essentially the same as the original except for the entrance doors and an addition to the rear.

REASONS FOR DESIGNATION (cont'd)(3) FRONTENAC COUNTY COURT HOUSE, REGISTRY OFFICE
AND GAOLER'S RESIDENCE (cont'd)(a) FRONTENAC COUNTY COURT HOUSE - Court Street (cont'd)

The Court House is composed of a central three storey block flanked at each side by two storey wings which end in pedimented pavilions. The roof ridges of these pavilions run at right angles to the main facade. The front and end elevations are faced with smooth limestone ashlar, while the rear elevation is built of hammer-dressed ashlar. The base, frieze, cornice and the vee-jointed quoins are of smooth ashlar throughout. The building is set on a plinth containing the basement windows which are lit by areaways. The various sections are unified by the plinth, frieze and cornice which run around the whole building, and by the constant pattern of the fenestration in which all the second storey windows are taller than those of the ground floor.

The main entranceway on the front elevation is protected by a central portico rising above a short flight of steps. This classical portico has six columns in the Ionic order, pilasters, frieze, cornice and a coffered ceiling. The tympanum within the pediment is decorated with the Royal Coat of Arms.

Under this portico, the main entranceway is decorated by a semi-circular arched surround consisting of a moulded stone architrave, a rebated course of channelled ashlar and a large keystone. The panelled double doors have six glass panes in place of the original wood panels. A simply divided fan-light completes this entrance. The five windows under the portico are all finished with moulded architraves. Those flanking the doorway are pedimented above and stone panelled beneath, while the three in the second storey have semi-circular arches and bracketed sills, the central one being emphasized by a keystone.

REASONS FOR DESIGNATION (cont'd)(3) FRONTENAC COUNTY COURT HOUSE, REGISTRY OFFICE
AND GAOLER'S RESIDENCE (cont'd)(a) FRONTENAC COUNTY COURT HOUSE - Court Street (cont'd)

The third storey of this section which forms the base for the dome, has an arch containing a round window on each side, and the corners are emphasized by a pair of rusticated pilasters with a recessed panel between. A ribbed dome is set on a drum lit by sixteen semi-circular arched windows each with pilasters, moulded arch and keystone. Between the windows, sixteen attached columns in the Corinthian order support a frieze and cornice, and the dome which is crowned by a lantern with six semi-circular arches and attached columns, repeating the architectural detail of the drum below. At the very top is the flag pole.

The wings are four bays with rectangular windows in the lower and upper storeys. All the windows have moulded architraves. Those of the lower storey are set on a sill course with a recessed panel below, and are topped by projecting lintels, while those of the upper storey are set on bracketed sills.

The projecting pavilions of the front elevation are emphasized by projecting quoined corners. The fenestration is in groupings of three. The group in the lower storey is rectangular, framed by four pilasters set on a bracketed sill and topped by a projecting lintel above a frieze. In the upper storey, the group has semi-circular arched windows set on a sill supported by decorative brackets and the centre window has a keystone. The pavilions are crowned by octagonal cupolas with ribbed domes and decorative finials.

The rear elevation has a projecting pedimented central pavilion housing a small entranceway and altered window with a string course above the first storey. The second storey has a group of three semi-circular arched windows with smooth projecting surrounds and bracketed sill.

The four bay wings have rectangular windows with

REASONS FOR DESIGNATION (cont'd)(3) FRONTENAC COUNTY COURT HOUSE, REGISTRY OFFICE
AND GAOLER'S RESIDENCE (cont'd)(a) FRONTENAC COUNTY COURT HOUSE (cont'd)

smooth surrounds. The westerly one has been partially hidden by a one storey addition of Queenston limestone built in 1964-66. The facade of the easterly wing is broken by a projecting chimney running the height of the building. The stone chimney has projecting quoins of smooth ashlar and is topped by an extension covered with stucco.

The pedimented projecting pavilions have rectangular windows which rest on bracketed sills and are topped by segmental arched projecting lintels.

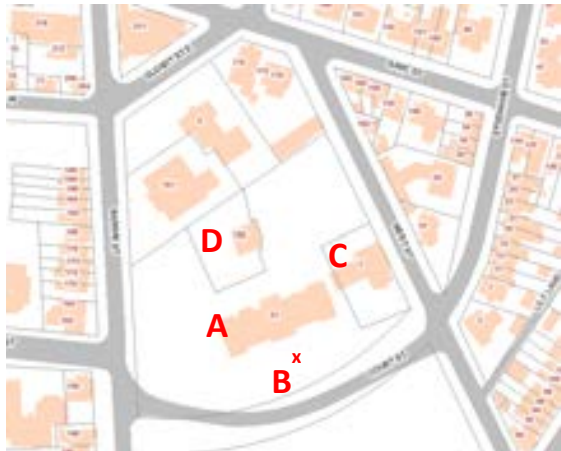
The pedimented end elevations are alike, each having a stone flight of steps with panelled retaining walls, leading up to the double panelled doors. A panel of channelled ashlar with volutes in the same style, surrounds the elliptically arched doorway which is accented by a hammer-dressed keystone.

All windows are rectangular and are finished with moulded architraves; the two flanking the doorway having a panel beneath, and those above having bracketed sills. The overall roofing is ribbed copper sheeting.

A fountain was built in front of the Court House in 1903 to the memory of Sir George Airey Kirkpatrick.

THE FRONTENAC COUNTY COURTHOUSE COMPLEX NATIONAL HISTORIC SITE

- 1. COUNTY COURTHOUSE (A)
- 2. CARTWRIGHT FOUNTAIN (B)
- 3. REGISTRY OFFICE (C)
- 4. JAILOR'S HOUSE (D)



Brosius, 1875



Meacham Atlas, 1878

**COUNTY COURTHOUSE
21 COURT STREET**

Built: 1855-58

**Architect: Edward Horsey
& Son**

**Rating: S (Part IV)
Easement: OHT - 1989**

**Alterations:
Dome rebuilt in 1875 by
Power & Son; Rating: S**



J.McK.

A new site was selected in 1853 for a new building, designed in 1855 by Horsey & Son, as a replacement for the old downtown Midland District Court House.* The new location was on an elevated piece of land overlooking open ground, in the early stages of being landscaped for a city park (and once under consideration as the site of a proposed parliament building when Kingston was the capital of the United Canadas in 1841-44) and, in the far distance, Lake Ontario.

The winner of an architectural competition for the new court house, jail (demolished 1973) and jailor's house (see 150 West Street) was Horsey & Son (Edward Horsey and his son Henry). One of the firm's architectural drawings for the project has survived in the Queen's University Archives.† The cornerstone (on the lower northeast corner and simply inscribed "1855") was laid 24 October 1855. Court Street was opened in late 1856. The court house was in use in 1858 for the administration and judicial system of the United Counties of Frontenac, Lennox & Addington (until 1864 and then for Frontenac County until 1998, when the city of Kingston took over ownership; it functions today as a provincial court house).

On 24 March 1875, fire broke out destroying the interior detailing and Horsey's original semi-hemispherical, tin over wood, dome. The architectural firm of Power & Son (John Power and his son Joseph) were awarded the commission to design a replacement dome and a new, separate registry office. The new dome (restored in recent years) is elevated on a drum of arched windows placed between Corinthian engaged columns supporting a pronounced cornice, semi-hemispherical dome, which is topped by a round cupola with windows. This is an outer dome sheltering a much shallower inner dome, its underside visible from the interior of the second-

* Jennifer McKendry, "The Frontenac County Court House National Historic Site: an Architectural History" for Bray Heritage and the City of Kingston, Sept. 2010.

† The signed and dated plan for the ground floor, Gage Drawings 35 - X, QUA.

floor. Horsey's stone walls and grand Ionic portico survived the fire. Unfortunately, almost all the post-fire interior detailing was destroyed, first in the east wing after a fire of 10 March 1931, and then throughout during a modernization effort in 1964 by Drever & Smith. At that time the east and west exterior entrances were modernized and a stone addition placed against the north wall.

In 1921, memorial stained-glass windows, made by N.T. Lyon Company of Toronto, were installed in the centre of the north wall. A memorial free-standing plaque to the county's dead from the First World War is located on the interior staircase landing, as well as the original zinc statue of a water nymph removed in 1997 from the fountain south of the court house.

In 1986, the Frontenac County Court House was declared a National Historic Site by the federal government.

Heritage Kingston

Summary of Input from the Technical Review Process

P18-018-2019

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councillor Bridget Doherty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councillor Jim Neill	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Matthew McCartney	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Zoe Harris	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ashley Johnson	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
William Hineman	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jeremy St-Onge	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	July 27, 2019
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	Alteration and/or repair
File Number:	P18-018-2019
Property Address:	5 COURT ST

Description of Proposal:

The subject application relates to the Frontenac County Courthouse, located at the north end of City Park. The property is a National Historic Site of Canada. It is designated under both Parts IV and V of the Ontario Heritage Act and is the subject of a heritage easement agreement with the Ontario Heritage Trust, pursuant to Part II of the Act. The application relates to the restoration of the two cupolas on the roof ridge line, to the east and west sides of the main dome. A condition report was prepared by Taylor Hazell Architects, in partnership with Andre Scheinman Heritage Consulting, MMM Group, and RJC Engineers. The intention is to replace the metal roofing and all the wooden and metal features of the cupolas in order to stop water infiltration into the building. The intention is to use as much of the existing materials as possible while retaining the appearance and authenticity of these historic features. Please note, the restoration/conservation works to the portico, as noted in the condition report, are not part of this application.

Comments for Consideration on the Application:

The proposed restoration of the east and west cupolas of the Courthouse has been thoroughly researched and the project is clearly necessary. Although a brief written summary of the proposed works would have been helpful, the drawings provide sufficient information. I have no concerns but do have a question relating to the pattern of the louvres. The existing louvres have several different patterns, probably due to modifications over the years, but it is surely desirable that they will all be the same in future.



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	July 31, 2019
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Alteration and/or repair
File Number:	P18-018-2019
Property Address:	5 COURT ST

Description of Proposal:

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Comments for Consideration on the Application:

Thank you for such a detailed and well-argued piece on why this major restoration must be completed. It is unfortunate that original drawings or older detailed photographs do not exist, and it is important that restoration or renewal be completed before the details are lost. Many of the restorations may not be easily viewable by the general public, but all are important to maintaining this special part of the City.

Summary of Final Comments at September 18, 2018 Heritage Kingston Meeting

Councillor Doherty expressed support for the work proposed. She stated that maintenance is an important aspect of heritage preservation and is too often an afterthought.

Mr. Taylor confirmed that the restored louver pattern would reflect the original design.



**City of Kingston
Report to Heritage Kingston
Report Number HK-19-046**

To: Chair and Members of Heritage Kingston
From: Lanie Hurdle, Interim Chief Administrative Officer
Resource Staff: Paige Agnew, Director, Planning, Building & Licensing Services
Date of Meeting: September 18, 2019
Subject: Application for Heritage Permit under the *Ontario Heritage Act*
Address: 58 William Street (P18-915)
File Number: P18-059-2019

Executive Summary:

The subject property at 58 William Street is located on the south side of William Street, east of Wellington Street in the Old Sydenham Heritage Conservation District (HCD). The subject property forms part of a three unit, two-and-a-half-storey brick terrace (56-60 William Street), constructed circa 1854. *Heritage Act* approval, File Number P18-086-2018, was granted to demolish a rear greenhouse addition and to construct a new rear addition with balcony above on October 2, 2018.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number P18-059-2019) has been submitted to gain approval to alter this previous approval in order to reduce the size of the upper balcony and add skylights to provide more light into the ground floor space of the new addition. No other changes to the previous approval are requested.

Detailed concept plans have been prepared by Mikaela Hughes Architect Inc. and are included in the submission.

This application was deemed complete on August 23, 2019. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 21, 2019.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff have no concerns with the proposed scope of work, subject to the conditions outlined herein.

Recommendation:

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That Heritage Kingston supports Council's approval of the following:

That alterations to the property at 58 William Street, be approved in accordance with the details described in the application (File Number P18-059-2019), which was deemed complete on August 23, 2019, with said alterations to include the reduction of the size of the second storey balcony and installation of skylight windows in the new rear addition; and

That the approval of the alterations be subject to the following conditions:

1. A Building Permit shall be obtained, as required;
2. Any alteration that interfaces with the masonry of the building shall comply with the City's Policy on Masonry Restoration in Heritage Buildings; and
3. Heritage planning staff shall be circulated the drawings and design specifications, tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application.

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Authorizing Signatures:

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

Lanie Hurdle, Interim Chief
Administrative Officer

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Acting Commissioner, Community Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required
Deanne Roberge, Acting Commissioner, Corporate Services	Not required

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Options/Discussion:**Description of the Application**

The subject property at 58 William Street is located on the south side of William Street, east of Wellington Street. The subject property forms part of a three-unit, two-and-a-half-storey brick terrace, constructed circa 1854, at civic address 56 to 60 William Street (Exhibit A – Context Map and Photographs).

Ontario Heritage Act approval, File Number P18-086-2018, was granted to demolish a rear greenhouse addition and to construct a new rear addition with a balcony above on the existing greenhouse footprint on October 2, 2018. The owners wish to make a change to their previously approved plans in order to provide greater light into the new addition.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number P18-059-2019) has been submitted to gain approval to alter this previous approval in order to reduce the depth of the upper balcony by approximately one metre in order to add skylights below. This will provide more light into the ground floor kitchen space of the new addition. No other changes to the previous approval are requested.

A cover letter and detailed concept plans have been prepared by Mikaela Hughes Architect Inc. and submitted as part of this application (Exhibit B – Concept Plans).

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

This application was deemed complete on August 23, 2019. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 21, 2019.

Reasons for Designation

58 William Street was designated under Part V of the *Ontario Heritage Act* as part of the Old Sydenham HCD in 2015 through By-Law Number 2015-67 (Exhibit C). The Old Sydenham HCD Plan Property Inventory Evaluation Form identifies 58 William Street as ‘significant’ to the District.

The following is an excerpt from the Property Inventory Evaluation Form:

“Built in 1854, this terrace, located at 56-60 William Street, is of cultural heritage value and interest because of its design and contextual values. The structure is well-suited to the southwest side of William Street, between King East and Wellington, which is comprised of several stone and brick houses with compatible massing, flat façades, side-gable roofs and similar setbacks.”

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Cultural Heritage Analysis

Staff visited the site on August 3, 2018. The proposed alterations are to occur to the rear of the property and accordingly will be limited to views by neighbouring private property owners/users only. The removal of the greenhouse and construction of the new rear addition with second floor balcony was approved by Council in 2018. The subject application is only with respect to the owners' request to modify their previously approved plans to allow greater light into the rear of the building, specifically a kitchen area within the new addition. The depth of the proposed balcony is to be reduced by approximately one metre in order to allow the installation of "skylights/angled glass ceiling" as noted in the applicant's concept plans (see Exhibit B).

The appropriateness and heritage impacts of the new addition were reviewed by staff in [Report Number HK-18-067](#), where it was noted that "the new rear porch addition with balcony complies with the policies and guidelines within the Old Sydenham Heritage Conservation District Plan".

The review of the proposed alteration to the approved balcony and installation of skylights is summarized below through references to the relevant sections of the Old Sydenham Heritage Area HCD Plan.

Section 2 (Statement of Objectives)

Section 2.2 provides a Statement of Cultural Heritage Value or Interest for the entire District. This statement includes a value statement as well as a list of heritage attributes, which are those physical components of the District that express its cultural heritage value. Additionally, Section 2.3 of the Plan provides a description of the sub-areas and their heritage attributes. This proposal is located in the 'North to Bagot' sub-area and its attributes are described in Section 2.3.2. Through the evaluation of this proposal, staff find that the proposal conserves the heritage attributes of the District and those of the North to Bagot sub-area.

Section 2.5 (Designation Goals and Objectives) speaks to the goals and objectives for the District as a whole, Heritage Buildings, Landscapes and Streetscapes, and Land Use. The application supports the goals as presented in the District Plan, specifically in relation to the goals for Heritage Buildings (2.5.2), which states "fostering continuing use of heritage buildings".

Section 5.0

Section 5 of the Old Sydenham HCD Plan establishes a policy framework for the consideration of "Building Alterations and Additions". While the District Plan does not provide specific policies or guidelines pertaining to alteration of non-heritage additions on heritage buildings and the installation of skylights on non-heritage additions, staff reviewed the policies in the District Plan from a high level objectives perspective. The proposal has been considered against the following policies and is summarized below.

Section 5.2.2 (Additions)

Section 5.2.2 notes that "additions should be complementary to the main building and clearly secondary in terms of size; additions should be located away from the main street façade, at the rear of the building..." The approved addition satisfies this policy and the proposed alterations to that addition will have no impact to its conformity to this policy.

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Section 5.4.1 (Additions to Heritage Buildings – General)

This particular subsection provides guidance when reviewing application for additions to heritage buildings. Section 5.4.1 directs that “additions are not required to replicate an existing heritage style” and to “make efforts to use cladding materials for additions to existing buildings that are complementary to, but distinct from, existing buildings...” The introduction of the new skylights will be a subtle change to the approved plans, will only be visible by adjacent neighbours and will have no impact on the heritage attributes of the District.

Any work that interfaces with the masonry of the heritage building shall be completed in conformity to the City’s Masonry Policy; a condition of approval has been included to this effect. A condition of approval has also been included to require that Plans associated with the Building Permit application be provided to heritage staff to ensure consistency with the scope of the heritage approval sought by this application.

The proposal conforms to the intent, goals and policies of the HCD Plan and will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the Ministry of Tourism, Culture and Sports’ Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada.

Previous Approvals

P18-086-2018

Demolish rear greenhouse; construct new addition; alter rear second floor window; and replace front shutters.

Comments from Departments and Agencies

This application was circulated to a number of internal departments who provided the following comments:

Planning Division: The subject property is designated ‘Residential’ in the City’s Official Plan. It is zoned in the site-specific ‘Three to Six-Family Dwelling Zone B’ in Zoning By-Law Number 8499.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the [DASH](#) system. The Committees’ comments have been compiled and attached as Exhibit D. No concerns were received from responding members.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C. O.18. (Province of Ontario)

City of Kingston Official Plan

Old Sydenham Heritage Area Heritage Conservation District Plan

City of Kingston’s Policy on Masonry Restoration on Heritage Buildings

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Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

Not applicable

Financial Considerations:

Not applicable

Contacts:

Andrea Gummo, Acting Manager, Policy Planning 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage 613-546-4291 extension 3233

Other City of Kingston Staff Consulted:

The application was circulated to a number of internal departments for review and all comments have been incorporated.

Exhibits Attached:

- | | |
|-----------|--|
| Exhibit A | Context Map & Photographs |
| Exhibit B | Concept Plans, Prepared by Applicant |
| Exhibit C | Property Inventory Evaluation Form |
| Exhibit D | Correspondence Received from Heritage Kingston |
| Exhibit E | Summary of Final Heritage Kingston Comments |

Context Map – 58 William Street



56 to 60 William Street





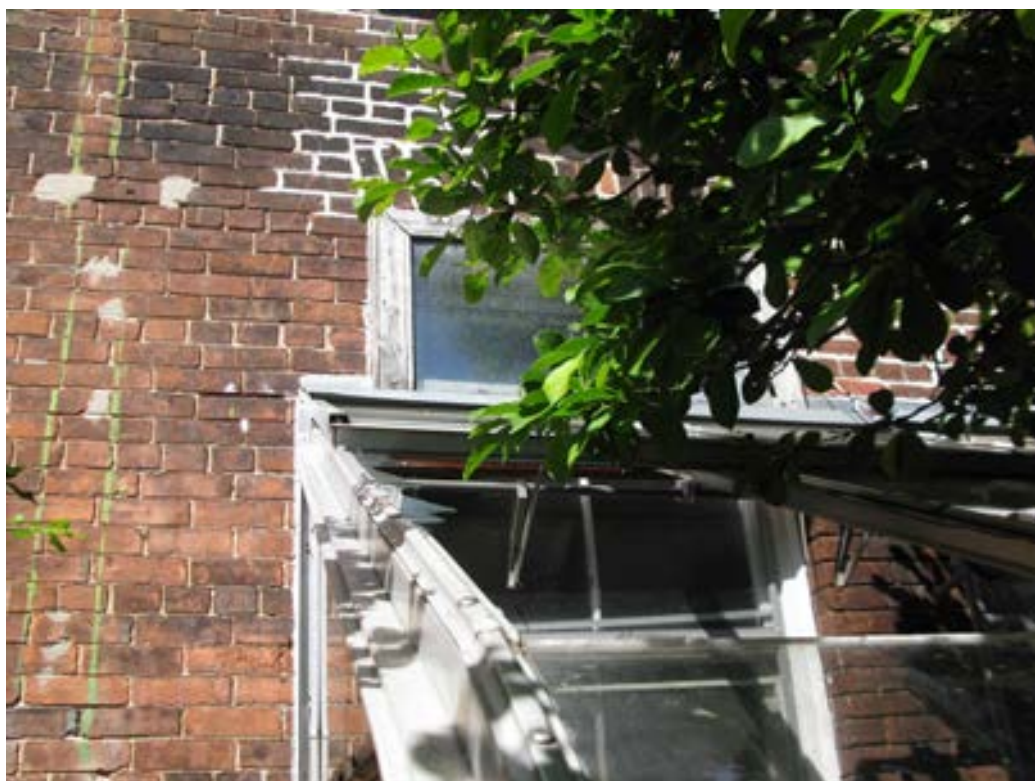
Front Elevation – William Street



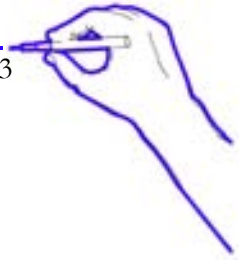
Rear Elevation – Existing Greenhouse Addition



Rear Elevation – Existing Greenhouse Addition



Rear Elevation – Existing Greenhouse Addition



August 1, 2019

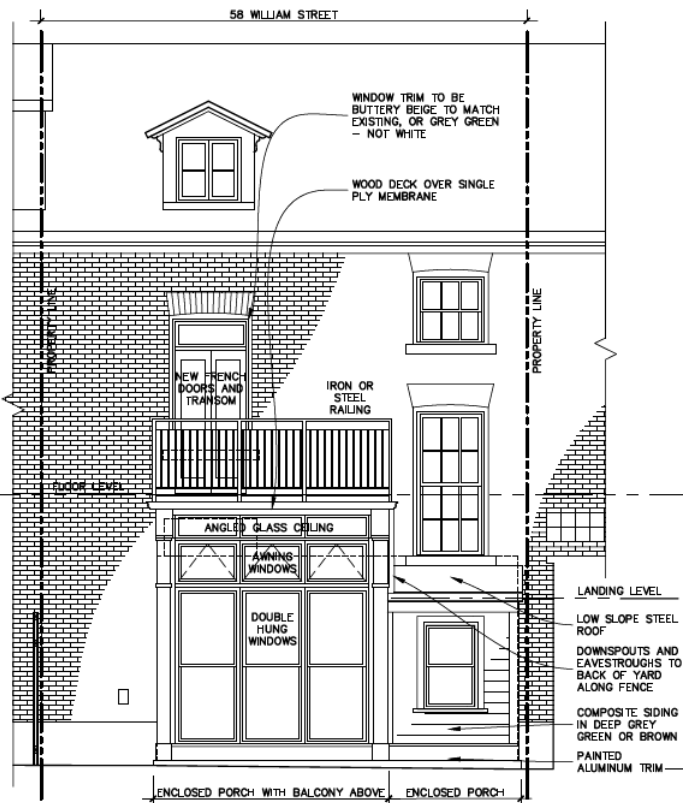
Re: 58 William Street Heritage Permit Application

This submission is for alterations to a design that was approved under Heritage Permit P18-086-2018.

The alterations are to do with the windows and roof of the sunroom, a portion of which the owners would like to be sloped glass in order to maximize the views from and natural light to the interior. The structure is in front of the kitchen/dining area and the only ground floor windows facing south. There are also some additional drawings developed for the east and west elevations.

Approved (Heritage Permit P18-086-2018):

Proposed:



Best wishes,

Mikaela Hughes

Mikaela Hughes
B. Arch., M. Phil., O.A.A, MRAIC

NOTES:
1. NEW WINDOWS AND DOORS TO BE ALUMINUM OR ALUMINUM CLAD.

58 WILLIAM STREET

WINDOW TRIM TO BE BUTTERY BEIGE TO MATCH EXISTING, OR GREY GREEN - NOT WHITE

WOOD DECK OVER SINGLE PLY MEMBRANE

NEW FRENCH DOORS AND TRANSOM

IRON OR STEEL RAILING

PROPERTY LINE

PROPERTY LINE

FLOOR LEVEL

ANGLED GLASS CEILING

LANDING LEVEL

LOW SLOPE STEEL ROOF

DOWNSPOUTS AND EAVESTROUGHS TO BACK OF YARD ALONG FENCE

COMPOSITE SIDING IN DEEP GREY GREEN OR BROWN

PAINTED ALUMINUM TRIM

ENCLOSED PORCH WITH BALCONY ABOVE

ENCLOSED PORCH

AWNING WINDOWS

FIXED WINDOW

FIXED WINDOWS

1 WEST ELEVATION
1/4" = 1'-0"

2 SOUTH ELEVATION
1/4" = 1'-0"

3 EAST ELEVATION
1/4" = 1'-0"



MIKAELA S. HUGHES
LICENCE
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THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED WITHOUT REFERRING TO THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED AND ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DOCUMENTS.

DESIGN ONLY - NOT FOR CONSTRUCTION

1	29/7/19	GLASS CEILING
#	D/M/Y	REVISION DETAILS

PROJECT
RECONSTRUCTION OF
BERMAN FUSSELL
ENCLOSED PORCH
58 WILLIAM STREET
DRAWING
SOUTH ELEVATION

Mikaela Hughes Architect Inc.
82 OAK POINT ROAD, WOLFE ISLAND ON K0H 2Y0 613-544-9183

DRAWN BY MJH
DATE 10 MAY, 2019
SCALE 1/4" = 1'-0"
PRINT ON 11x17 PAPER

JOB NO.
1815
DWG. NO.
A-2
REV. NO.
1

CONFIRM SCALE

Property Inventory Evaluation – William Street

56-58-60 WILLIAM ST.

Built: 1854

Rating: S



Built in 1854, this terrace, located at 56-60 William Street, is of cultural heritage value and interest because of its design and contextual values. The structure is well-suited to the southwest side William Street, between King East and Wellington, which is comprised of several stone and brick houses with compatible massing, flat façades, side-gable roofs, and similar setbacks.

The property has physical/design value. Character defining elements that reflect this value include its scale and massing. Other elements reflecting its physical/design value include the dwellings two bay, two and a half storey red brick terrace construction, stone foundation, and square arched windows and stone lugsills. The arched entranceways and windows directly above them are set in very shallow projections and there is a shallow pilaster-like projection marking the division 58 and 60. The doorways of these dwellings are characterized by steps rising through the foundation to the recessed door. Paneled reveals complement the semi-circular transoms and paneled doors. The front slope of the roof is characterized by round-headed dormers with wood surrounds. A firewall with stone corbel is located on the southeast side of 56. It rises to a wide brick chimney. A second brick chimneys is found on the southeast side of 58. The chimney on 60 William is stone.

A newer, rectangular, dormer above the southeast bay of 58 is not a valued heritage attribute of the building.

Heritage Kingston

Summary of Input from the Technical Review Process

P18-059-2019

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councillor Bridget Doherty	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councillor Jim Neill	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Matthew McCartney	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Zoe Harris	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ashley Johnson	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
William Hineman	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Jeremy St-Onge	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Final Comments from Heritage Kingston – September 18, 2019

The following final comments were provided at the September 18, 2019 Heritage Kingston meeting:

There were no additional comments.