



**City of Kingston
Report to Committee of Adjustment
Report Number COA-20-014**

To: Chair and Members of Committee of Adjustment
From: James Bar, Senior Planner
Date of Meeting: February 24, 2020
Application for: Minor Variance
File Number: D13-069-2019
Address: 47 Wellington Street
Owner: Fairway Properties
Applicant: Fotenn Consultants Inc.

Council Strategic Plan Alignment:

Theme: 2. Increase housing affordability

Goal: 2.2 Build a significant number of new residential units with a range of affordability.

The proposed minor variance will help facilitate the development of 11 additional housing units on an existing lot within the centre of the city.

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for minor variance for the property located at 47 Wellington Street. The applicant is proposing to construct a four-storey addition behind the exiting heritage structure that will contain 11 additional housing units with parking located at grade. The site-specific B.56 Zone permits the development of a 17 unit multi-residential building.

The applicants are seeking relief from select provisions of the by-law to reduce the parking space dimensions for typical and accessible spaces, reduce the length of an access aisle, increase the height of the addition, and reduce the interior side yard and aggregate interior side yard.

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The requested minor variances are consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The requested minor variances are desirable for the appropriate development or use of the land, building or structure and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

Recommendation:

It is recommended that minor variance application, File Number D13-069-2019, for the property located at 47 Wellington Street to reduce the parking space dimensions for typical and accessible parking spaces and access aisle; increase the maximum building height; decrease the minimum interior side yard setback; and decrease the minimum aggregate side yard setback, be approved.

Variance Number 1:

By-Law Number 8499:	5.3.B(h) Parking space dimensions
Requirement:	2.7 metres wide by 6 metres long
Proposed:	2.6 metres wide by 5.2 metres long
Variance Requested:	0.1 metres by 0.8 metres

Variance Number 2:

By-Law Number 8499:	5.3.A(d)(ii)(a) – Barrier free parking length
Requirement:	6 metres
Proposed:	5.2 metres
Variance Requested:	0.8 metres

Variance Number 3:

By-Law Number 8499:	5.3.A(d)(ii)(c) – Length of barrier free access aisle
Requirement:	6 metres
Proposed:	5.2 metres
Variance Requested:	0.8 metres

Variance Number 4:

By-Law Number 8499:	13.3(a) – Maximum building height
Requirement:	12 metres
Proposed:	13.16 metres
Variance Requested:	1.16 metres

Variance Number 5:

By-Law Number 8499:	13.3(c) – Minimum interior side yard setback
Requirement:	5.26 metres (2/5 height of the building)
Proposed:	4.58 metres
Variance Requested:	0.68 metres

Variance Number 6:

By-Law Number 8499:	13.3(c)(i) – Minimum aggregate side yard
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Requirement:	13.16 metres (equal to the height of the main building)
Proposed:	9.29 metres
Variance Requested:	3.87 metres

Approval of the foregoing variance shall be subject to the following conditions:**1. Limitation**

That the approved variance(s) applies only to 47 Wellington Street as shown on the approved drawings attached to the notice of decision.

2. No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. Building Permit Application Requirements

The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings, when they make an application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

4. Standard Archaeological Condition

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132) and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries Regulation Section of the Ontario Ministry of Consumer Business Services (416-326-8404), the Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132), and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.

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Authorizing Signatures:

James Bar, Senior Planner

In Consultation with the following Management of the Community Services Group:

Paige Agnew, Commissioner, Community Services

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Options/Discussion:

On December 30, 2019, a minor variance application was submitted by Fotenn Consultants Inc., on behalf of the owner, Fairway Properties, with respect to the property located at 47 Wellington Street (Exhibit A – Key Map). The variance is requested to reduce the parking space dimensions for typical and accessible spaces, reduce the length of an accessible access aisle, increase the maximum height of the building, decrease the minimum interior side yard, and decrease the minimum aggregate side yard.

The zoning for the property permits the development of a 17 unit multi-residential building. The variances are seeking relief from select zone provisions in order to develop the site and new addition in a more compatible and functional arrangement.

In support of the application, the applicant has submitted the following:

- Site Plan (Exhibit B);
- Floor Plans (Exhibit C);
- Elevations (Exhibit D); and
- Renderings (Exhibit E).

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located 47 Wellington Street, on the southeast side of the street. (Exhibit F – Existing Neighbourhood). The lands are approximately 0.17 hectares in size with 31 metres of frontage onto Wellington Street. The subject property is bordered by existing one and two-storey residential uses. City Park, the waterfront, and downtown Kingston are located within walking distance to the subject lands. The subject property is designated Residential in the Official Plan and zoned B.56 in Zoning By-Law Number 8499.

The site is currently developed with a 2.5-storey stone building, with a large parking lot area in the interior side and rear yard. The existing building has 6 residential units. Due to historical development patterns, several neighbouring properties use 47 Wellington Street’s vehicular entrance to access their rear yard parking spaces, while 47 Wellington Street travels over a portion of 52-56 Earl Street. Consent applications, File Numbers D10-010-2019, D10-011-2019, D10-012-2019, and D10-013-2019, were approved last year to formalize vehicular access for 47 Wellington Street, 48 Earl Street, 50 Earl Street, and 52 Earl Street.

The site is designated under Part IV and V of the *Ontario Heritage Act*, having an individual site designation (Wellington Street School) and forming part of the Old Sydenham Heritage Conservation Area. They have received approval from Heritage Kingston for the rear addition (File Number P18-135-2018).

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Application

The review of an application for minor variance(s) is not a simple mathematical calculation, but rather a detailed assessment of whether the variance(s) requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

Provincial Policy Statement

In addition to the four tests of a minor variance detailed above, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

1) The general intent and purpose of the Official Plan are maintained

The subject property is designated Residential in the City of Kingston Official Plan (Exhibit G – Existing Official Plan).

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan. The following provides these nine requirements and an assessment of how the proposal is consistent with each.

1. The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

The subject lands are within a Housing District on Schedule 2 – City Structure, and designated Residential on Schedule 3 – Land Use, which permit a broad range of residential uses within the urban area. The lands are already developed with 6 residential uses, with the zoning permitting an additional 11 residential units. Infilling and redevelopment is encouraged in stable residential areas where such developments are compatible with the existing built form. The proposed development is located behind the existing building, maintaining the streetscape of Wellington Street and will be minimally visible from the street.

2. The proposed development will be compatible with surrounding uses, buildings or structures and development standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

The subject lands are zoned the B.56 Zone, which permits the development of a 17-unit multi-residential dwelling. The new addition is located behind the existing building, maintaining the streetscape of Wellington Street. The height of the addition is complementary to the adjacent 1.5 – 2.5 storey residential building, representing a minor increase in height.

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The building complies with the interior side yard setback and aggregate interior side yard setback of the B.56 Zone, except for one small section along the south-western lot line where the lot boundary with 82 Gore Street is irregular, and where the lot for 52-56 Earl Street projects into the rear yard parking area.

The buildings setback to respond to the lot configurations along 82 Gore Street but due to the internal unit layouts, a small variance is required. Due to the length of the building and the irregular lot boundary with 52-56 Earl Street, the proposed addition cannot meet the aggregate interior side yard setback for a section of the addition. This portion of the building does not negatively impact an adjacent property, as the portion of 52-56 Earl Street nearest the building is a drive aisle and parking area. This section of the property is also subject to a right-of-way for vehicular access. Variances are not requested for the rear yard setback, landscaped open space, or lot coverage.

Additional screening measures to reduce privacy concerns will be reviewed at the time of Site Plan Control.

3. The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

The site has appropriate vehicular and pedestrian access provided from Wellington Street. Vehicular access for this site and several other properties that use this entrance to access their rear yard parking areas was formalized in 2019 through a series of consent applications. Adequate parking is provided in accordance with the zoning by-law in the interior side yard and rear yard; bicycle parking provided in the main building in a secured room. An accessible parking space is provided on site.

4. The conformity of the proposal to any applicable urban design policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

The subject lands are within the Old Sydenham Heritage Conservation District. The proposed addition has been reviewed by Heritage Kingston for its conformity to the Plan.

5. If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the protected views shown on Schedule 9 of this Plan, then a heritage impact statement may be required to assist staff to determine if the resulting *development* is desirable;

The subject lands are designated under Part IV of the *Ontario Heritage Act*, as the former Wellington Street School, and under Part V of the *Ontario Heritage Act*, as part of the Old Sydenham Heritage Conservation District. Heritage Kingston concluded that the addition, which includes 11 new residential units, is compatible with the former school building and conforms to the HCD given that the addition is set behind the prominent heritage building

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and provides a complementary architectural style that is secondary to the prominence of the heritage building.

6. The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

A servicing report and servicing plans have been submitted as part of their site plan control application (File Number D11-025-2019) to demonstrate adequate municipal water and sewer services.

7. Whether the application and the cumulative impact of the proposed variances would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The proposed variances to decrease the parking space dimensions, increase the height of the building, decrease the interior side yard setback, and decrease the aggregate interior side yard setback represent minor and compatible changes to facilities a desirable infill development. The application does not propose to add additional uses or density to the site beyond what is already permitted in the B.56 Zone. A zoning by-law amendment is not required to consider this application.

8. The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

Conditions of approval have been included for this application.

9. The degree to which such approval may set an undesirable precedent for the immediate area.

The proposed application will not set an undesirable precedent for the immediate area. This property is unique in its size and configuration with existing zoning for 17 residential dwelling units.

The proposal meets the intent of the Official Plan, as the proposed rear yard addition will not result in any negative impacts to adjacent properties or to the neighbourhood.

2) The general intent and purpose of the zoning by-law are maintained

The subject property is zoned B.56 in the City of Kingston Zoning By-Law Number 8499, entitled "Restricted Area (Zoning) By-Law of the Corporation of the City of Kingston", as amended (Exhibit H). The B.56 zone permits the development of a 17 unit multi-residential building.

The proposal requires variances to the following sections:

Variance Number 1:

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By-Law Number 8499: 5.3.B(h) Parking space dimensions
 Requirement: 2.7 metres wide by 6 metres long
 Proposed: 2.6 metres wide by 5.2 metres long
 Variance Requested: 0.1 metres by 0.8 metres

Variance Number 2:

By-Law Number 8499: 5.3.A(d)(ii)(a) – Barrier free parking length
 Requirement: 6 metres
 Proposed: 5.2 metres
 Variance Requested: 0.8 metres

Variance Number 3:

By-Law Number 8499: 5.3.A(d)(ii)(c) – Length of barrier free access aisle
 Requirement: 6 metres
 Proposed: 5.2 metres
 Variance Requested: 0.8 metres

Variance Number 4:

By-Law Number 8499: 13.3(a) – Maximum building height
 Requirement: 12 metres
 Proposed: 13.16 metres
 Variance Requested: 1.16 metres

Variance Number 5:

By-Law Number 8499: 13.3(c) – Minimum interior side yard setback
 Requirement: 5.26 metres (2/5 height of the building)
 Proposed: 4.58 metres
 Variance Requested: 0.68 metres

Variance Number 6:

By-Law Number 8499: 13.3(c)(i) – Minimum aggregate side yard
 Requirement: 13.16 metres (equal to the height of the main building)
 Proposed: 9.29 metres
 Variance Requested: 3.87 metres

The proposed reductions to the parking stall dimensions for typical and accessible spaces, and the accessible access aisle, are to reduce the amount of hard surfacing on site and increase the sites landscaped open space. The increase in landscape open space assists in meeting the sites stormwater management requirements. The proposed reductions are consistent with approvals the City has given on a variety of applications. The reduction to the accessible access aisle and parking space are consistent with the *Accessibility for Ontarians with Disabilities Act* standards.

Relief for the maximum building height is proposed to permit the addition to be 13.16 metres high, 1.16 metres taller than the maximum 12 metres as per the B.56 Zone. The increased building height enables a taller floor to ceiling height within the units, making

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them more liveable. The addition, with a 13.16 height, is not taller than the existing structure as shown on the renderings and elevations and will be minimally visible from the street. There are no anticipated off site negative impacts as a result of a 1.16 metre height increase.

The proposed 13.16 metre high addition also complies with the majority of the sites minimum interior side yard setback, with the exception of an irregular lot boundary shared with 82 Gore Street. Here the lot line, and interior side yard setback, project into the site. The intent of the interior side yard setback is to ensure that new buildings do not encroach and negatively impact an adjacent neighbour’s property. The built form does respond to this feature with an increased setback, but due to the unit layouts, a further setback would result in an undesirable unit layout.

The building also complies with the sites aggregate side yard setback of 13.16 metres, with the exception of a small portion of the rear of the addition. The irregular lot boundary created by 52-56 Earl Street, brings the lot line closer to the building, resulting in non-compliance with the provision. The rear yard parking area for 52-56 Earl Street is subject to a right-of-way for access that would exclude this portion of the site from further development. The proposed reduction in the aggregate side yard setback for a small portion of the addition is not anticipated to have any negative off-site impacts.

The proposed variances meet the intent of Zoning By-Law Number 8499 and the site-specific B.56 Zone. The general intent of the zone to permit residential development that is compatible with adjacent properties is maintained.

3) The variance is minor in nature

The variances are considered minor as there are no anticipated negative off-site impacts. The proposed variances assist in the development of a compatible infill development by creating a more desirable built form and site arrangement. The application applies only to the subject lands and considers the unique site specific circumstances.

4) The variance is desirable for the appropriate development or use of the land, building or structure

The proposed variances are appropriate and desirable for the development and use of the land. A detailed review of the property through Site Plan Control highlighted the tight development characteristics faced by the development, resulting in the need for the above mentioned variances. The variances that form this application will result in a more desirable, compatible, and overall improved built form and site arrangement that respect the heritage character of the old Wellington Street School and adjacent residential dwellings.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Division | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Division) |
| <input type="checkbox"/> Finance | <input type="checkbox"/> Utilities Kingston | <input type="checkbox"/> Real Estate & Environmental Initiatives |

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- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Division | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Division) |
| <input checked="" type="checkbox"/> Fire & Rescue | <input type="checkbox"/> Kingston Hydro | <input type="checkbox"/> City's Environment Division |
| <input type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input type="checkbox"/> Kingston Airport | <input checked="" type="checkbox"/> Forestry | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Public Comments

At the time this report was finalized, no correspondence had been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

Site Plan Control Application	D11-025-2019
Consent in favour of 52-56 Earl Street	D10-010-2019
Consent in favour of 48 Earl Street	D10-011-2019
Consent in favour of 50 Earl Street	D10-012-2019
Consent from 52-56 Earl Street	D10-013-2019

Conclusion

The requested variance(s) maintain(s) the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposal is desirable for the appropriate development or use of the land, building or structure and the requested variance(s) are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will result in the creation of 11 additional dwelling units in a compatible infill development located near transit, active transit, amenities, employment, and services.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

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Provincial

Provincial Policy Statement, 2014

Municipal

City of Kingston Official Plan
Zoning By-Law Number 8499

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on February 24, 2020. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 66 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard (Exhibit I).

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Tim Park, Manager of Development Approvals 613-546-4291 extension 3223

James Bar, Senior Planner 613-564-4291 extension 3213

Other City of Kingston Staff Consulted:

The application was circulated to the relevant internal departments and external agencies for review and comment. The responses to the technical circulation have been addressed in the technical review and included in this report.

Exhibits Attached:

Exhibit A Key Map

Exhibit B Site Plan

Exhibit C Floor Plans

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- Exhibit D Elevations
- Exhibit E Renderings
- Exhibit F Neighbourhood Context
- Exhibit G Official Plan Map
- Exhibit H Zoning By-Law Map
- Exhibit I Public Notice Notification Map

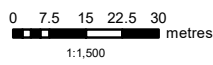


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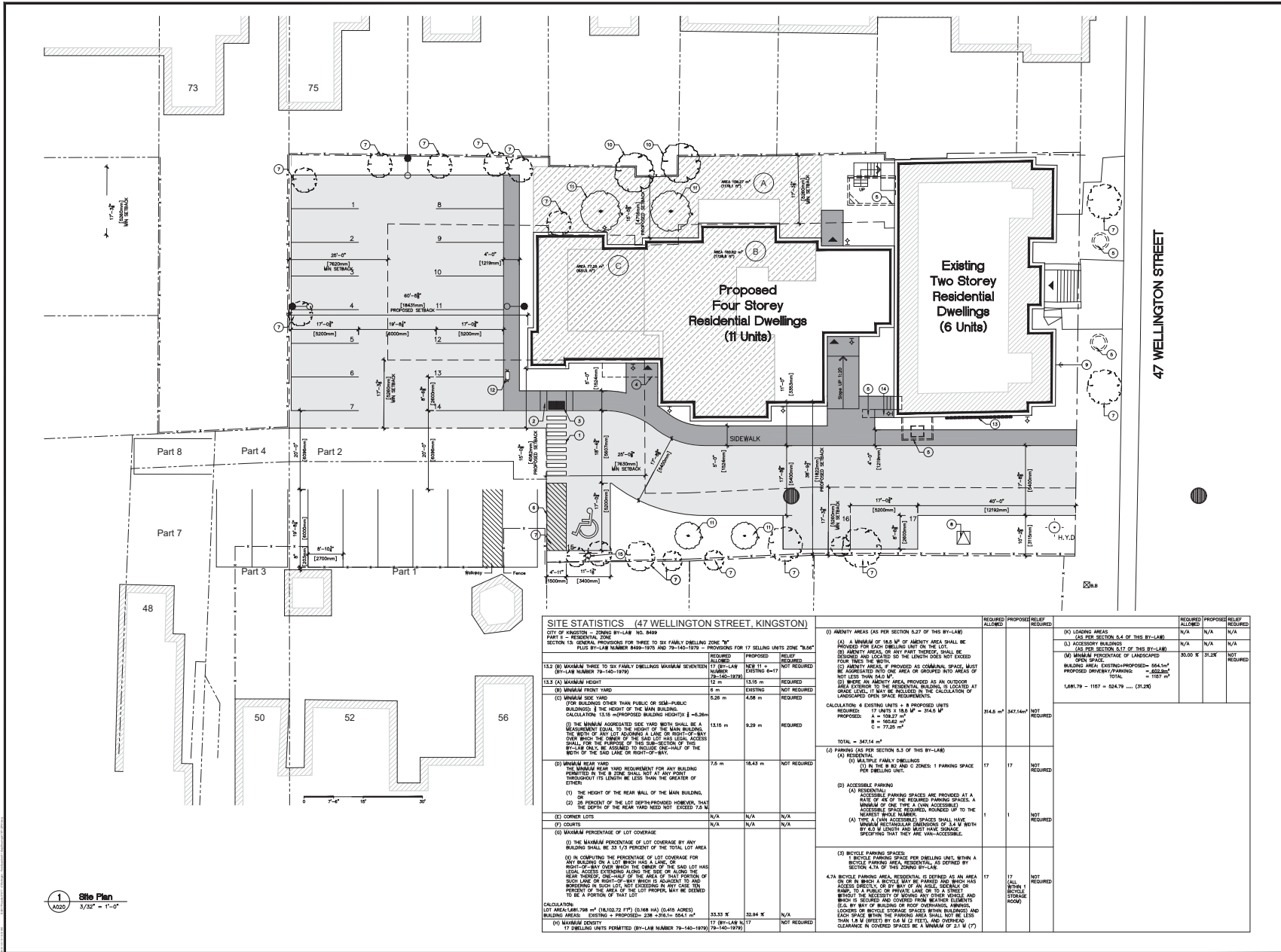
COMMITTEE OF ADJUSTMENT
Key Map

File Number: D13-069-2019
Address: 47 Wellington Street



DATE: 2020-01-06
PREPARED BY: rrochefort

Lands Subject to Minor Variance



SHZ
Sheehy and Zaback Architects Ltd.

47 Wellington Street, Kingston, ON
K7K 1Z7
Tel: 613 541 6777
www.sheehyandzaback.com

- Drawing Notes:**
1. PARKED SIDEWALK PATTERN ON ASPHALT.
 2. EXPRESSED CURB.
 3. FACTS.
 4. ROOF ABOVE.
 5. EXISTING BUILDING ELEMENTS TO BE REMOVED.
 6. EXISTING TREE REMAINING IN PLACE.
 7. EXISTING TREE TO BE REMOVED.
 8. NEW PLANTING LOCATION.
 9. FIRE DEPARTMENT CONNECTION.
 10. FIRE DEPARTMENT CONNECTION.
 11. NEW TREE TO BE PLANTED IN LANDSCAPE DRAWING.
 12. ELECTRIC CAR CHARGING STATION.
 13. GAS TIE IN LOCATION.
 14. EXISTING TREE TO BE REMOVED.
 15. ACCESSIBLE PARKING SIGN.

- Legend:**
- PROPERTY LINE
 - NEIGHBOR PROPERTY LINE
 - SEWERAGE LINE
 - EXISTING FENCE
 - NEW WOODEN FENCE
 - NEW ASPHALT AND DRIVEWAY ON OTHER PROPERTY.
 - NEW SIDEWALK
 - AMENITY AREAS
 - ENTRANCE / EXIT
 - TREE
 - NEW MANHOLE
 - NEW FIRE HYDRANT
 - LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS

SITE STATISTICS (47 WELLINGTON STREET, KINGSTON)

REQUIREMENT	REQUIRED	PROPOSED	RELIEF
(1) MINIMUM FRONT YARD FOR BUILDINGS OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	6.25 m	4.08 m	REQUIRED
(2) MINIMUM REAR YARD FOR BUILDINGS OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	7.5 m	18.43 m	NOT REQUIRED
(3) MINIMUM SIDE YARD FOR BUILDINGS OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	13.16 m	9.29 m	REQUIRED
(4) MINIMUM PERCENTAGE OF LOT COVERAGE	17.0%	17.0%	NOT REQUIRED
(5) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(6) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(7) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(8) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(9) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(10) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(11) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(12) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(13) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(14) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(15) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(16) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED
(17) MINIMUM PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS	17.0%	17.0%	NOT REQUIRED

REQUIREMENT	REQUIRED	PROPOSED	RELIEF
(1) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(2) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(3) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(4) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(5) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(6) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(7) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(8) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(9) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(10) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(11) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(12) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(13) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(14) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(15) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(16) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED
(17) AMENITY AREAS (AS PER SECTION 5.2.7 OF THIS BY-LAW)	314.8 m ²	347.14 m ²	NOT REQUIRED

1 ISSUED FOR SITE PLAN APPROVAL 2019-08-24

Revision Description Date

1 Mr. Peter Sauerbrei

Location: 47 Wellington Street, Kingston, Ontario

Drawn: Site Plan

Drawn By: Date: 2019-10-19

File Name: Scale: As Noted

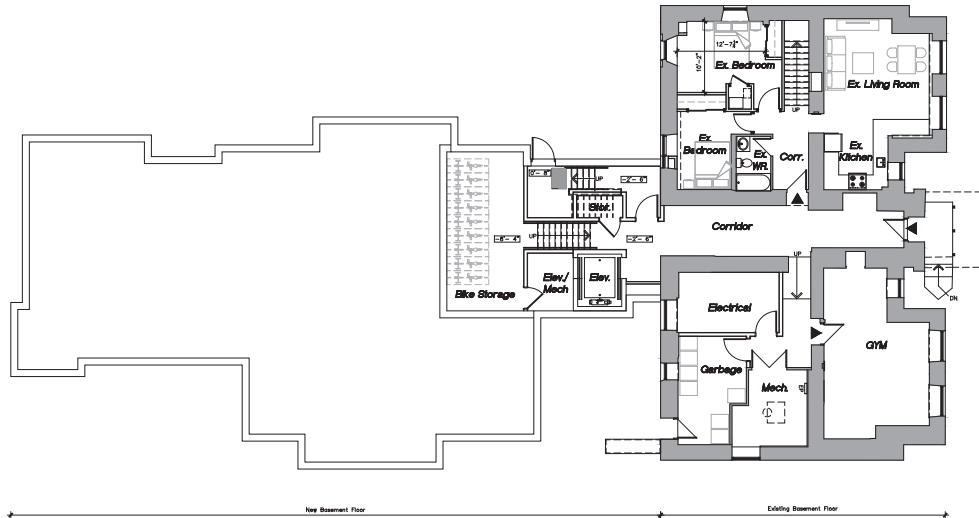
Client Project #: Drawing Number: 17077_SPS1 A020

ZZA
Shaw and Zaback Architects Ltd.

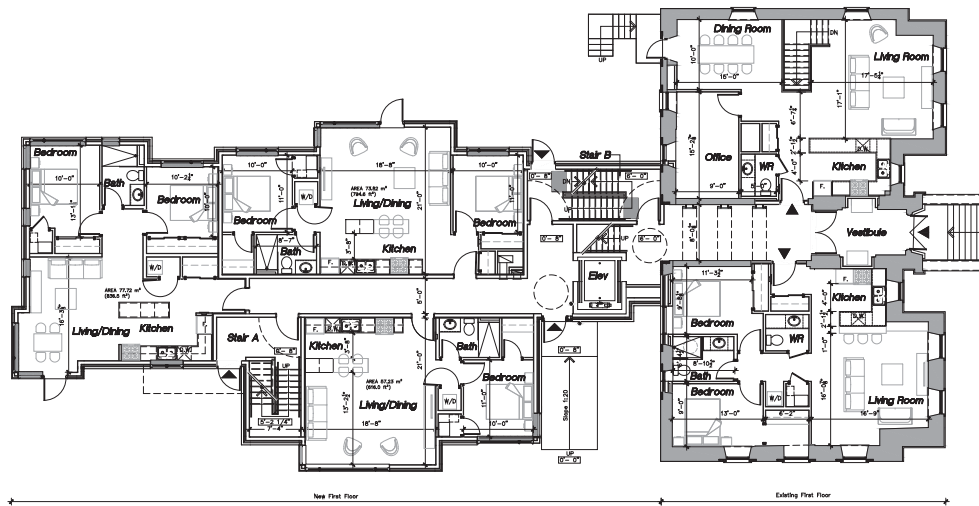


Continuation of Practice Number: A100
4 Colborne Street, Suite 200, Kingston, ON K7N 1Z7
Tel: 613-341-8888 Fax: 613-341-8888
www.zzaarchitects.com

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1 Basement Floor Plan
1/8"=1'-0"



2 First Floor Plan
1/8"=1'-0"

0 5'-0" 10' 20'-0"

Revision	Description	Date
6	ISSUED FOR CLIENT REVIEW	2019-09-02
5	ISSUED FOR CLIENT REVIEW	2019-07-25
4	REVIEW ISSUED FOR CLIENT REVIEW	2019-07-05
3	REVIEW ISSUED FOR CLIENT REVIEW	2019-06-26
2	ISSUED FOR SITE PLAN APPROVAL	2019-06-24
1	ISSUED FOR REVIEW	2019-04-04

Project: Fairway Properties

Location: 47 Wellington Street
Kingston, Ontario

Client: Mr. Peter Sauerbri

Drawings: Basement and First Floor Plan

Drawn By	Date
ASH	2019-12-19
File Name	Scale
17077_A100_PL	As Noted
Client Project #	Drawing Number
Project # 17077	Revision # 0

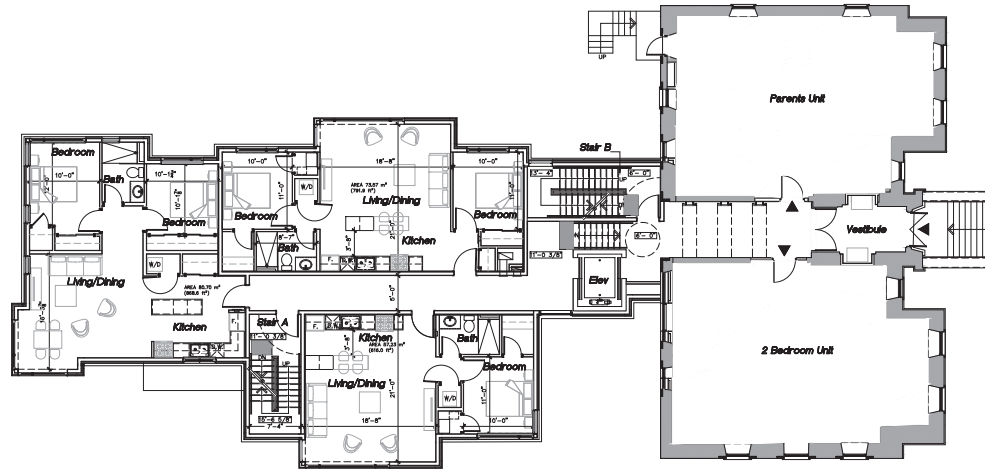
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ZZA
Shovelboard Zehank Architects Ltd.



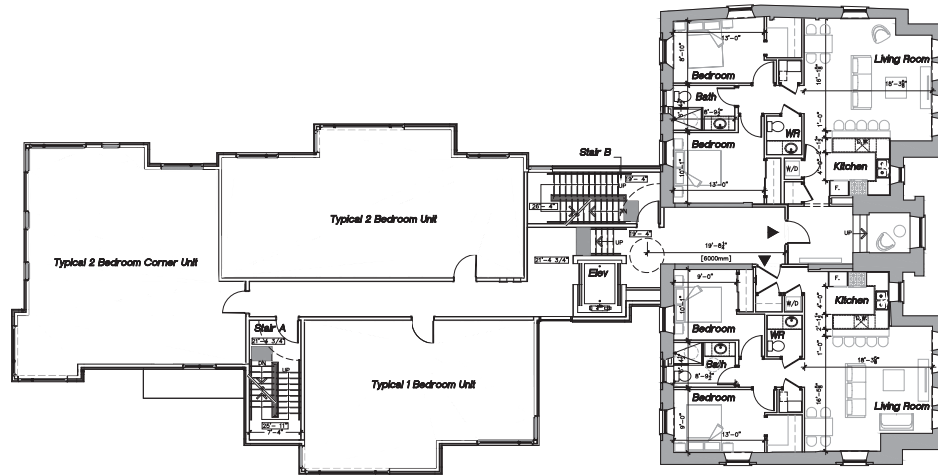
Continuation of Practice Number: 4708
4 Colborne Street, Suite 205, Kingston, ON K7H 1Z7
Tel: 613 541 8775 Fax: 613 541 8888
info@zzaa.com www.zzaa.com

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1 Second Floor Plan
1/8"=1'-0"

View Second Floor Existing First Floor



2 Third Floor Plan
1/8"=1'-0"

0 2'-4" 11' 22'-0"

Revision	Description	Date
6	ISSUED FOR CLIENT REVIEW	2019-09-03
5	ISSUED FOR CLIENT REVIEW	2019-07-25
4	ISSUED FOR CLIENT REVIEW	2019-07-05
3	ISSUED FOR CLIENT REVIEW	2019-06-26
2	ISSUED FOR SITE PLAN APPROVAL	2019-06-24
1	ISSUED FOR REVIEW	2019-04-04

Project: Fairway Properties

Location: 47 Wellington Street
Kingston, Ontario
Client: Mr. Peter Sauerbrel

Drawings: Second and Third Floor Plan

Drawn By	Date
ASH	2019-12-19
File Name:	Scale:
17077_A100_PL	As Noted
Client Project #	Drawing Number
Project #	Revision #
17077	0

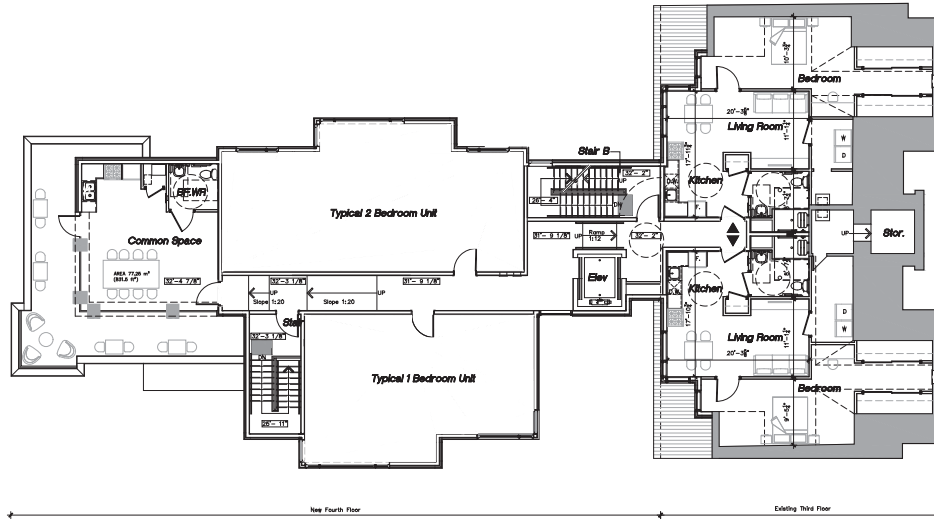
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ZZA
Shelton and Zaback Architects Ltd.

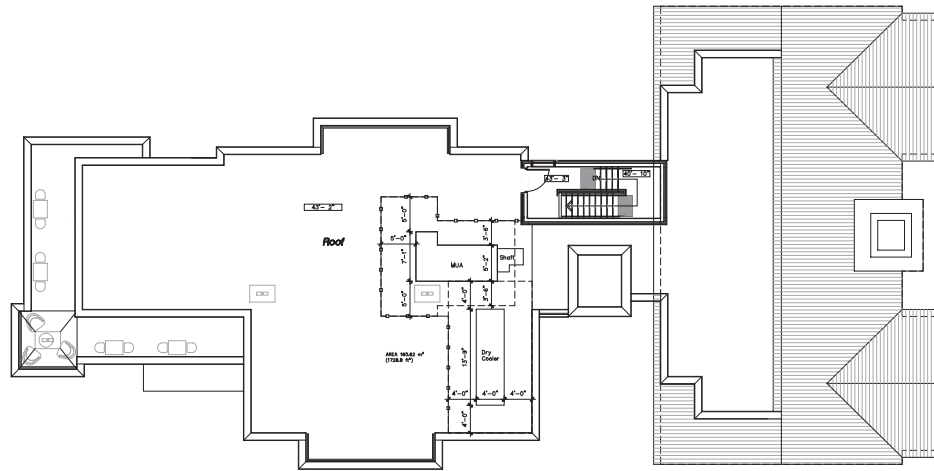


Certificate of Practice Number: A106
4 Colborne Street, Suite 205, Kingston, ON K7N 1Z7
Tel: 613 541 8888 Fax: 613 541 8888
www.zzaarchitects.com

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1 Fourth Floor Plan
1/8"=1'-0"



2 Roof Floor Plan
1/8"=1'-0"

Revision	Description	Date
6	ISSUED FOR CLIENT	2019-09-03
5	REVIEW	2019-07-25
4	ISSUED FOR CLIENT	2019-07-05
3	REVIEW	2019-06-26
2	ISSUED FOR CLIENT	2019-06-24
1	APPROVAL	04-04-2019

Project: Fairway Properties

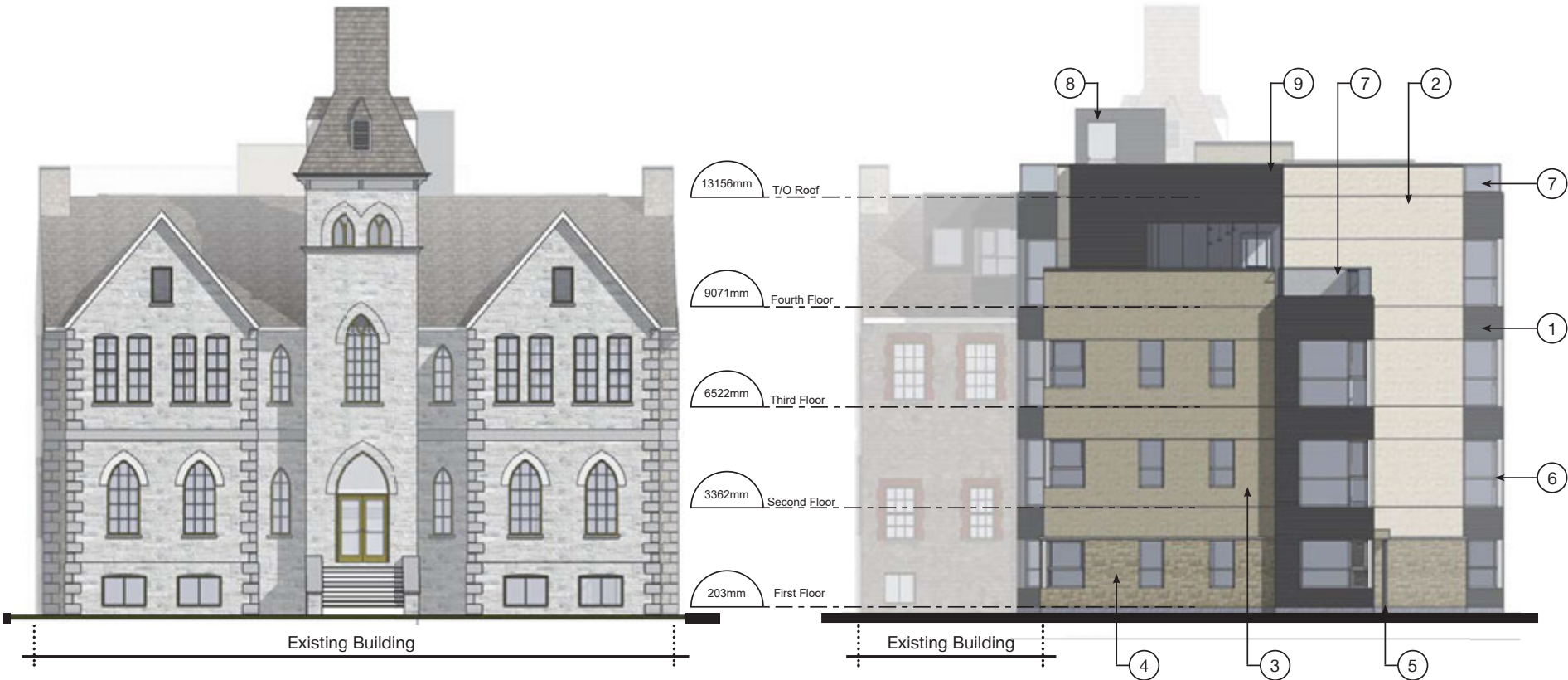
Location: 47 Wellington Street
Kingston, Ontario

Client: Mr. Peter Sauerbrei

Drawings: Fourth And Third Floor Plan

Drawn By	Date
ASH	2019-12-19
File Name	Scale
17077_A100_PL	As Noted
Client Project #	Drawing Number
Project #	Revision #
17077	0

A102



Elevations Notes:

- 1. Cement Board Dark Colour.
- 2. EIFS Light Colour.
- 3. EIFS Dark Colour.
- 4. Stone Masonry.
- 5. Pre-Finished Steel Columnn.
- 6. Integral Metal Corner Post (Part Of Window System).
- 7. Glass Guard.
- 8. Staircase.
- 9. Solid Parapet (Guard For Roof Terrace).

North and South Elevation Scale: 3/32"= 1'-0"
 47 Wellington - Pete Sauerbrei



- Elevations Notes:**
- | | |
|-------------------------------|--|
| 1. Cement Board Dark Colour. | 6. Integral Metal Corner Post (Part Of Window System). |
| 2. EIFS Light Colour. | 7. Glass Guard. |
| 3. EIFS Dark Colour. | 8. Staircase. |
| 4. Stone Masonry. | 9. Solid Parapet (Guard For Roof Terrace). |
| 5. Pre-Finished Steel Column. | |

East Elevation Scale: 3/32" = 1'-0"
 47 Wellington - Pete Sauerbrei



Elevations Notes:

- 1. Cement Board Dark Colour.
- 2. EIFS Light Colour.
- 3. EIFS Dark Colour.
- 4. Stone Masonry.
- 5. Pre-Finished Steel Column.
- 6. Integral Metal Corner Post (Part Of Window System).
- 7. Glass Guard.
- 8. Staircase.
- 9. Solid Parapet (Guard For Roof Terrace).

West Elevation Scale: 3/32" = 1'-0"
 47 Wellington - Pete Sauerbrei



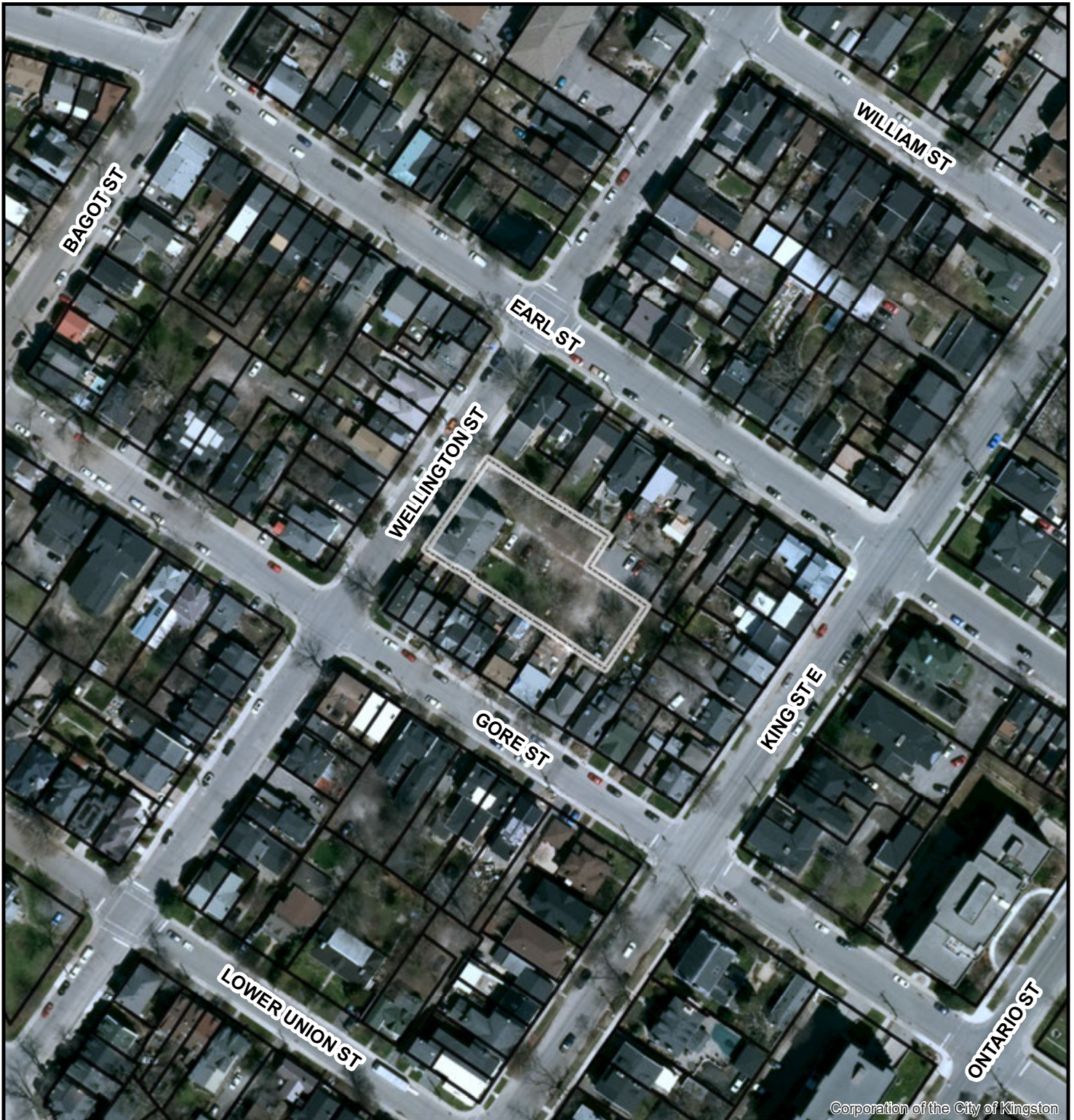
View 1
47 Wellington - Pete Sauerbrei



View 2
47 Wellington - Pete Sauerbrei



View 4
47 Wellington - Pete Sauerbrei



Corporation of the City of Kingston

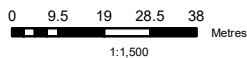


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

a department of
Community
Services

CITY OF KINGSTON
Neighbourhood Context (2018)

File Number: D13-069-2019
Address: 47 Wellington Street



Legend

-  Subject Lands
-  Property Boundaries



PREPARED BY: rochefort
DATE: 2020-01-06

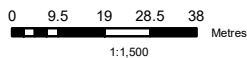
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CITY OF KINGSTON
Official Plan, Existing Land Use

File Number: D13-069-2019
Address: 47 Wellington Street



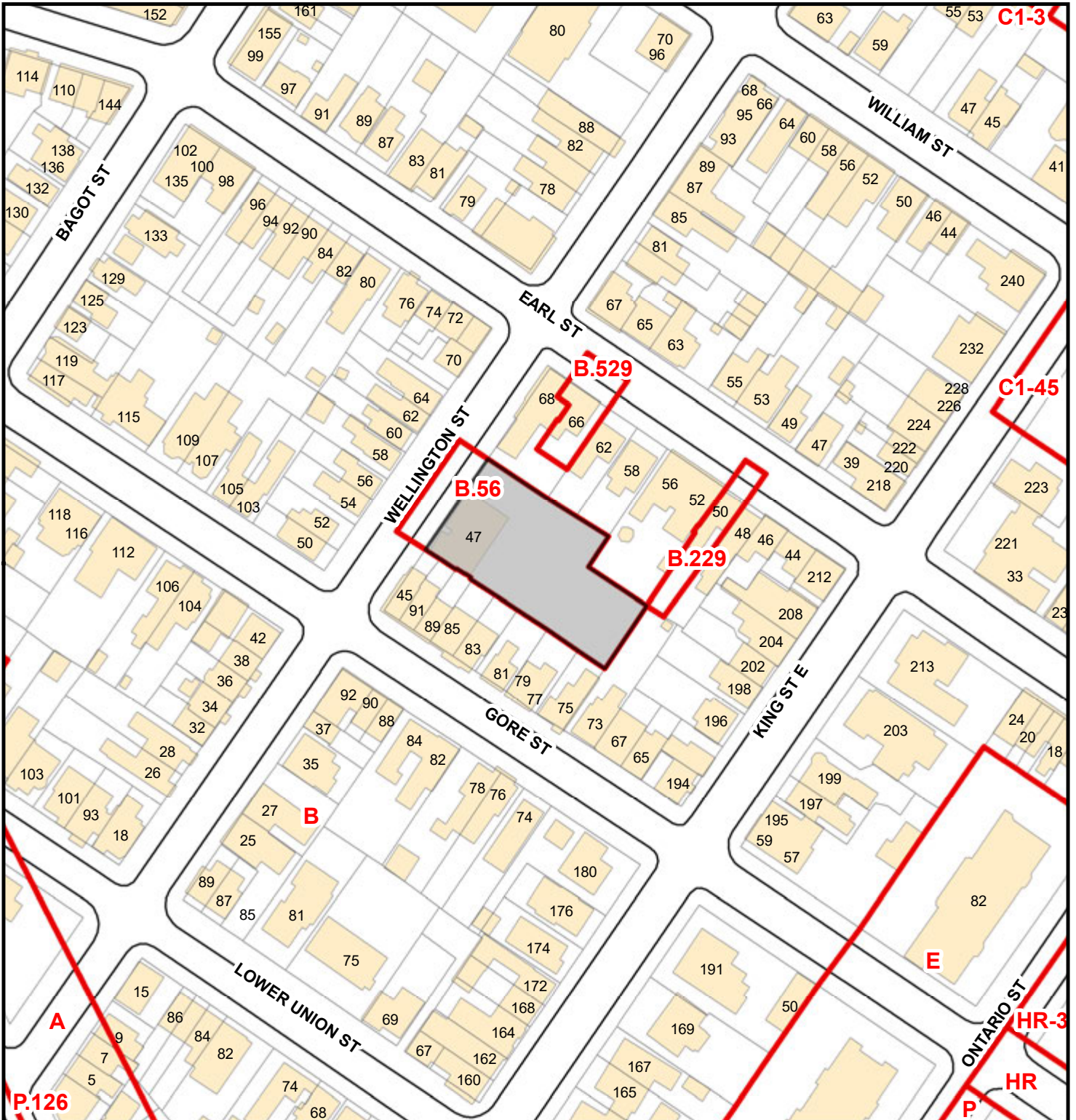
Legend

- Subject Lands
- CENTRAL BUSINESS DISTRICT
- OPEN SPACE
- RESIDENTIAL



PREPARED BY: rochefort
DATE: 2020-01-06

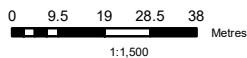
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CITY OF KINGSTON
Existing Zoning - By-law 8499, Map 31

File Number: D13-069-2019
Address: 47 Wellington Street



Legend

- Subject Lands
- Consolidated Zoning



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DATE: 2020-01-06

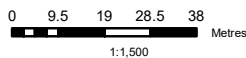
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CITY OF KINGSTON
Public Notice Notification Map

Planning, Building & Licensing Services
a department of
Community Services

File Number: D13-069-2019
Address: 47 Wellington Street



Legend



- 60m Public Notification Boundary
- Subject Lands
- Property Boundaries
- 66 Properties in Receipt of Notice (MPAC)

PREPARED BY: rocheafort
DATE: 2020-01-06

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