



**City of Kingston
Report to Committee of Adjustment
Report Number COA-20-056**

To: Chair and Members of Committee of Adjustment
From: Tim Fisher, Planner
Date of Meeting: October 19, 2020
Application for: Minor Variance
File Number: D13-021-2020
Address: 2774 to 2814 Princess Street
Owner: Gary Case, Tayco Ltd
Applicant: Youko Leclerc-Desjardins

Council Strategic Plan Alignment:

Theme: 4. Strengthen economic development opportunities

Goal: See above

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for a minor variance for the property located at 2774 to 2814 Princess Street. The applicant is requesting a reduction to the minimum number of required parking spaces and reduction in the width of a parking stall. An additional variance is requested to increase the maximum gross leasable area of all buildings and structures.

The variances are requested in order to construct a one-storey, 891.6 square metre building containing approximately 8 commercial units, located on the northern portion of the site to the rear of the eastern building.

The requested minor variances are consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 76-26. The requested minor variances are desirable for the appropriate development or use of the land, building or structure and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act*.

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Variance Number 1:

By-Law Number 76-26: Section 19(3)(s)(i) Maximum Gross Leasable Area of all Buildings
Requirement: 6,038.5 square metres
Proposed: 6,901.6 square metres
Variance Requested: 863.1 square metres

Variance Number 2:

By-Law Number 76-26: Section 5(16)(a) Parking Area Regulations
Requirement: 5.4 parking spaces per 100 square metres of gross leasable area
Proposed: 3.96 parking spaces per 100 square metres of gross leasable area
Variance Requested: 1.44 parking spaces per 100 square metres of gross leasable area

Variance Number 3:

By-Law Number 76-26: Section 5(16)(l) Parking Space Dimensions (Schedule C)
Requirement: 2.75 metres wide by 6.0 metres length
Proposed: 2.7 metres wide by 6.0 metres length
Variance Requested: 0.05 metres wide

Recommendation:

That minor variance application, File Number D13-021-2020, for the property located at 2774 to 2814 Princess Street to reduce the minimum number of required parking spaces, reduction in the width of a parking stall and to increase the maximum gross leasable area of all buildings and structures, be approved; and

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-20-056.

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Authorizing Signatures:



Tim Fisher, Planner

In Consultation with the following Management of the Community Services Group:

Paige Agnew, Commissioner, Community Services

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Options/Discussion:

On July 24, 2020, a minor variance application was submitted by Youko Leclerc-Desjardins, Fotenn Consultants Inc. on behalf of the owner Tayco Ltd. with respect to the property located at 2774 to 2814 Princess Street. The request is for a reduction to the minimum number of required parking spaces, reduction in the width of a parking stall and to increase the maximum gross leasable area of all buildings and structures. The variances are requested in order to construct a one-storey, 891.6 square metre building containing approximately 8 commercial units, located on the northern portion of the site to the rear of the eastern building.

In support of the application, the applicant has submitted the following:

- Site Plan, (Exhibit F);
- Justification Letter;
- Servicing Report;
- Stage 1 Archaeological Assessment;
- Tree Inventory Report;
- Survey;
- Parking Study; and
- Noise Impact Study.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located at 2774 to 2814 Princess Street (municipally addressed as 2774, 2776, 2780, 2782, 2786, 2790, 2800, 2802, 2806, 2810 and 2814 Princess Street) , at the northeast corner of the intersection of Princess Street and Bayridge Drive (Exhibit B and Exhibit C)The subject property is currently developed with two commercial plazas and gas pumps with canopy. The site is adjacent to similar commercial uses found to the east, south and west and residential uses to the north.

The subject property is designated ‘Arterial Commercial’ in the Official Plan and is zoned Special General Commercial ‘C2-19’ zone in Zoning By-Law Number 76-26, as amended.

Provincial Policy Statement

In addition to the four tests of a minor variance detailed in this report, Subsection 3(5) of the *Planning Act* requires that a decision with respect to the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site-specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

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Application

The review of an application for minor variance is not a simple mathematical calculation, but rather a detailed assessment of whether the variances requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

1) The proposal shall be consistent with the general intent and purpose of the Official Plan

The subject property is designated 'Arterial Commercial' in the City of Kingston Official Plan (Exhibit D). The goal of the Arterial Commercial designation is to provide easily accessed and visible locations to serve the needs of travellers and to accommodate the distinct needs of commercial uses that require outdoor display that do not fit well within other commercial designations. Section 3.4.E.6 of the Plan provides criteria for new development on Arterial Commercial lands, which focus generally on traffic impacts to surrounding roads, compatibility with surrounding land uses, and landscaping along the street. The proposed development satisfies the criteria as provided in the Official Plan.

- a) The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

The proposal meets the intent of Section 2 of the Official Plan, and the strategic policy direction to focus growth within the City's defined Urban Boundary. The subject property is within a Housing District as shown on Schedule 2. Direction for housing districts (Section 2.2.5) indicates that these areas should remain stable in accordance with Section 2.6; but will mature and adapt as the City evolves. Compatible minor development is encouraged. Commercial uses are permitted within housing districts, as implemented through the zoning by-laws.

- b) The proposed development will be compatible with surrounding uses, buildings or structures and development standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

Sections 2.7.1 and 2.7.2 of the Official Plan require that any development proposals demonstrate that the proposed form, function and use of the land are compatible with surrounding uses and consider the potential for adverse effects.

The subject lot abuts commercial uses to the east, south and west. Residential uses are located to the north in the form of single-family and semi-detached dwellings.

The defined front lot line of the property is the Bayridge Drive frontage making the northern lot line abutting the residential properties the interior side yard and Princess Street the exterior side yard. The proposed one-storey commercial building will comply with the minimum side yard of 6.0 metres and the maximum height provision of 10.6 metres which is also the same height requirement for the abutting residential zones to the

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north. The proposed commercial building will be 30 metres or more to the closest house on the pie shaped lots from Sprucewood Crescent and Pinewood Place. Additional screening in the form of fencing and/or vegetation will be required along the northern lot line from the residential uses. At present, the northern lot line is a mix of wood and chain-link fencing with vegetation. Section 5(17) of the zoning by-law requires a minimum 3.0 metre planting strip along the northern property boundary which abuts the residential uses. No adverse impacts on neighbouring properties related to shadowing, wind, loss of privacy, or visual intrusion are anticipated. Further details regarding the planting strip along the northern lot line will be addressed through the Site Plan Control application process.

The property fronts on two Arterial Roads (Princess Street and Bayridge Drive) which are well-served by transit and are designed to serve relatively high volumes of traffic. Vehicle parking is contained to the site, and no additional access routes from Princess Street or Bayridge Drive are proposed. The property is not in an area with any nearby identified cultural heritage resources. The applicant will be required to demonstrate adequate servicing capacity, architectural compatibility, and that there will be no adverse impacts on neighbouring properties resulting from light pollution or noise, as part of the Site Plan Control technical review process.

- c) The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

In regards to access, the site provides two appropriately sized combined ingress/egress access routes. One from Princess Street and one from Bayridge Drive. No new accesses are proposed.

A total of 231 at-grade parking spaces exist on-site. The applicant is proposing an additional 42 at grade parking spaces, which includes 3 additional accessible parking spaces being added to the site to accommodate the new commercial structure. Bicycle parking for the retail use is not required under the current zoning, though Planning Staff will also encourage its provision through the Site Plan Control process. The property is also well-serviced by transit, on an express route, and is close to the Cataraqui Centre transfer point.

- d) The conformity of the proposal to any applicable Urban Design Policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

The property does not include or abut any built heritage resources, nor is it within a Heritage District. The design of the building and site landscaping will be regulated through a subsequent Site Plan Control process.

- e) If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property

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under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the protected views shown on Schedule 9 of this Plan, then a Heritage Impact Statement may be required to assist staff to determine if the resulting development is desirable;

The property is not designated under the *Ontario Heritage Act*, nor is it adjacent to any heritage properties. The site is not within a heritage character area. A Heritage Impact Statement is not required.

The City's Archeological Master Plan indicates the property has composite archaeological potential. An Archeological Assessment and its subsequent clearance from the Ministry of Heritage, Sport, Tourism and Culture will be required prior to registration of any site plan control agreement for the site.

The applicant submitted a Stage 1 Archeological Assessment. The assessment is currently being reviewed by the Ministry of Heritage, Sport, Tourism, and Culture; and will be further addressed through the Site Plan Control application process.

- f) The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

The property is within the Urban Boundary as shown on Schedule 2 of the Official Plan and its development is serviced with full municipal services. The proposed development will make use of the existing municipal services on-site.

- g) Whether the application and the cumulative impact of the proposed variances would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The proposed commercial use is permitted in the C2-19 Zone and supported by the property's commercial designation. The proposed variances to performance standards are considered minor in nature and are appropriately addressed through a minor variance application.

- h) The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

There are conditions of approval associated with the recommendation, as outlined in Exhibit A.

- i) The degree to which such approval may set an undesirable precedent for the immediate area.

It is not anticipated that an undesirable precedent will be set based on the approval of the requested variances.

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The proposal meets the intent of the Official Plan, as the proposed commercial building will not result in any negative impacts to adjacent properties or to the neighbourhood. In summary, the proposal maintains the general intent and purpose of the Official Plan as the proposed development will not result in any negative impacts to adjacent properties or to the residential neighbourhood.

2) The general intent and purpose of the zoning by-law varied is maintained

The subject property is located in a Special General Commercial 'C2-19' Zone in the City of Kingston Zoning By-Law Number 76-26, entitled "Township of Kingston Restricted Area By-Law", as amended (Exhibit E). The C2-19 Zone permits a variety of uses including banks, offices, clinics, recreational establishments, restaurants, and retail stores, among others.

The proposed 891.6 square metre commercial building does not comply with the performance standards of the C2-19 zone. The applicant has requested variances to the performance standards for the proposed development and to address existing deficiencies on site.

The first variance is requesting to increase the maximum gross leasable area of all building requirement. The current zoning permits the proposed commercial and retail uses however, it limits the maximum gross leasable floor area (GLA) to 6,038.5 square metres. While the requested variance seeks to expand the gross leasable area to 6,901.6 square metres, it will maintain the intent of the zoning by-law by continuing to limit the gross leasable floor area on the subject site. The site-specific limitation of 6,038.5 square metres intends to limit the scale of commercial use on this site so as not to interfere with the commercial function of other designated commercial areas. With the evolution and maturation of the commercial uses along Princess Street, the intent of this provision has generally been satisfied, and the requested relief to permit a limited expansion of the commercial uses on the site is appropriate as it is limited in scale and would not allow a significant expansion in commercial uses or GLA on the site..

Variance Number 1:

By-Law Number 76-26:	Section 19(3)(s)(i) Maximum Gross Leasable Area of all Buildings
Requirement:	6,038.5 square metres
Proposed:	6,901.6 square metres
Variance Requested:	863.1 square metres

The second variance is requesting a reduction in the number of required on-site parking spaces. The purpose of this provision is to ensure that parking needs of users, including customers, are met. A parking study prepared by McIntosh Perry Consulting Engineers Ltd has been completed which examined the current needs and projected needs for a commercial plaza of this nature based on industry standards. While the existing development on the subject site does not currently meet the parking requirements, the parking study determined that the provided on-site parking is currently adequate. Since there are currently no parking concerns the study determined that a parking ratio of 3.96

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spaces per 100 square metres of gross leasable area is appropriate to service the existing and proposed development. This proposed ratio is consistent with industry standards and greatly exceeds the demand of actual users on the site. Further, the site is well-served in terms of alternative modes of transportation such as public transit and pedestrian access. The proposed reduction is consistent with the intent of this provision.

Variance Number 2:

By-Law Number 76-26: Section 5(16)(a) Parking Area Regulations

Requirement: 5.4 parking spaces per 100 square metres of gross leasable area

Proposed: 3.96 parking spaces per 100 square metres of gross leasable area

Variance Requested: 1.44 parking spaces per 100 square metres of gross leasable area

The third variance is requesting a reduction in the width of the standard parking space dimension. The zoning by-law establishes minimum dimensions for standard parking spaces of 2.75 metres wide by 6.0 metres in length. The width of standard parking spaces on the site is proposed to be reduced to 2.7 metres, which is consistent with the parking stall widths of the other zoning by-laws in Kingston and continues to provide adequate space for vehicles to park and for opening of car doors and access to vehicles.

Variance Number 3:

By-Law Number 76-26: Section 5(16)(l) Parking Space Dimensions (Schedule C)

Requirement: 2.75 metres wide by 6.0 metres length

Proposed: 2.7 metres wide by 6.0 metres length

Variance Requested: 0.05 metres wide

The existing commercial development does not comply with the minimum rear yard setback provision or the provision for yards where parking is permitted however the development pre-dates the zoning by-law and has non-complying status. The proposal complies with all other zoning requirements in the 'C2-19' zone.

3) The variance is minor in nature

The proposed increase in the maximum permitted gross leasable floor area is not anticipated to cause adverse effects or impair the viability of commercial uses in other areas, nor is it sufficient to allow a change in the overall character or nature of the site. Rather, the proposed variance represents a logical extension and efficient use of the site, improving the overall efficiency of land by accommodating the additional gross leasable floor area on a developed site which is already serviced. The new building will also meet all the required setbacks of the zoning by-law.

Reductions to the parking ratio and standard parking stall width is requested to provide an efficient site layout and accommodate the new building. These provisions will allow the site to continue to meet its landscaped open space requirement and the site will also meet the functional needs of users. A Parking Study prepared by McIntosh Perry Consulting Engineers Ltd. has been completed for the proposed development which demonstrates that the proposed parking ratio is suitable for the subject site.

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Overall, the requested variances will improve the function of the subject site and facilitate the efficient use of an underutilized area on the subject site. The proposed variances are minor in nature given that they will not have a negative impact on the surrounding area and will meet the needs of users. Further, the cumulative impacts of the variances are minor in that they generally relate to either the proposed gross leasable area increase or to the existing development on the site, and neither of these aspects will result in negative impacts.

The proposal is therefore minor in nature.

4) The variance is desirable for the appropriate development or use of the land, building or structure

The requested variances are necessary to permit the development of a one-storey, 891.3 square-metre building containing approximately 8 commercial units and to recognize the existing development on the site. The proposed building will contribute to the supply of leasable commercial space within the City’s urban area in proximity to residential uses, transit and other services. The proposed variances will also allow the applicant to develop a currently underutilized space with the range of uses currently permitted on the site. The proposed built form is compatible with the existing commercial developments in the area, the proposed parking standards are consistent with best practices and the variances also recognize aspects of the existing development on-site and will bring these into compliance with the zoning by-law.

The proposal is appropriate and desirable for the site and will be in keeping with the existing development in the area.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Building Division | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Service) |
| <input checked="" type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input checked="" type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue | <input type="checkbox"/> Kingston Hydro | <input checked="" type="checkbox"/> City’s Environment Division |
| <input checked="" type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input checked="" type="checkbox"/> KEDCO | <input type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input type="checkbox"/> Kingston Airport | | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment. No issues or concerns were raised. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of

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Adjustment agenda. The comments below will be addressed through the Site Plan Approval and Building Permit application processes.

Department	Comments
Heritage Planning	No built heritage concerns.
Noise Review	<p>It is unclear in the report if the noise levels for the OLA's for the residential uses have been confirmed to be within allowable limits, please have the consultant confirm.</p> <p>This will be addressed through the Site Plan Control application process.</p>
Fire	<p>Kingston Fire & Rescue has no objection to the application for a minor variance to increase the gross floor area by 891.6 square metres (9,597 square feet) for a total of 6,930 square metres for this 8 commercial units building.</p> <p>Water main sizing shall be based on required fire flow plus maximum day flow or peak hour flow alone, whichever is largest. New services to be constructed in accordance with City of Kingston Subdivision Development Guidelines & Technical Standards, and submitted for review in the form of a feasibility Servicing Report at the time of Official Plan Amendment/Zoning By-law/Minor Variance, and a detailed Servicing Report through the Site Plan Control process. Feasibility Servicing Report to include:</p> <ol style="list-style-type: none"> 1. Design fire flows in accordance with the Water Supply for Public Firefighting, Fire Underwriters Survey; and 2. Existing fire flows measured through accurate testing of flowing hydrants on existing supply mains. <p>Fire department access routes required as per Ontario Building Code 3.2.5.4., 3.2.5.5, 3.2.5.6. The addition is proposed at the rear of the building (north/east) area. Ensure the fire access route is maintained and consideration is given to the parking and the existing stand alone building in the area as well.</p> <p>This will be addressed through the Site Plan Control application process.</p>

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<p>Forestry</p>	<p>No concerns with the Minor Variance application. The submitted Tree Inventory does not indicate if trees are to be retained or removed. Please update the Tree Inventory to identify any proposed impacts to existing trees on the site as a result of the development as part of SPC application.</p> <p>This will be addressed through the Site Plan Control application process.</p>
<p>Parks</p>	<p>No concerns with the requested minor variance. Parkland and landscaping requirements to be addressed through Site Plan Control.</p>
<p>Utilities Kingston</p>	<p>Utilities Kingston has no concerns with the minor variance. Locates should be obtained as required.</p> <p>It should be noted however, it is understood this property will be coming in for Site Plan Control, at which point Utilities Kingston will require a servicing plan showing any existing and proposed services. As per City of Kingston By-Laws only one service is permitted per property. Any existing services not being retained are required to be abandoned at the main(s). It appears this property is not currently in compliance with the Water and Sewer By-Laws. The Servicing Report submitted for the Minor Variance is recommending the applicant apply for exemptions to the Water and Sewer By-Laws. Utilities Kingston is not aware of an application for exemptions to these By-Laws. This would mean an amendment to the By-Laws, to which Utilities Kingston would likely recommend against.</p> <p>Given this is a commercial development, if one does not already exist, a control manhole must be provided at the private side of the property line for the purpose of effluent sampling under the Municipal Industrial Strategy for Abatement (M.I.S.A) to the satisfaction of the City and Utilities Kingston. The manhole is to be constructed to approved Ontario Provincial Standards Drawings (OPSD) and allow for 24/7 access to Utilities Kingston personnel.</p> <p>The submission of a Sewer Use By-Law Part 7 – Discharger Information Report (short version) will also be required for the new development.</p> <p>This will be addressed through the Site Plan Control application process.</p>

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<p>Parking</p>	<p>Parking Services advises that it is expected that all vehicle parking related to this development will be accommodated on the site. Parking is prohibited on Princess Street and on Bayridge Drive.</p> <p>This will be addressed through the site plan control application process.</p>
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Public Comments

At the time this report was finalized, no public comments have been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment agenda.

Previous or Concurrent Applications

There are no other concurrent planning application however the property has relevant historic planning applications on the subject property.

Site Plan Control D11-376-2012, 2814 Princess Street (Mac’s Convenience and Gas Bar)

Conclusion

The requested variances are consistent with the general purpose and general intent of both the City of Kingston Official Plan and Zoning By-Law Number 76-26. The variances meet all four tests under the *Planning Act* and as such the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will allow for the construction of an 891.6 square metre commercial building containing 8 commercial units to an existing commercial development. The proposed development is not anticipated to have any adverse impacts on the abutting properties. Technical and design issues will be addressed through the site plan control application process.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province’s and the City’s vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan
 Zoning By-Law Number 76-26

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Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on October 19, 2020 Pursuant to the requirements of the Planning Act, a notice of the Statutory Public Meeting was provided by advertisement in the Kingston Whig Standard at least 10 days in advance of the Public Meeting. A courtesy notice was also placed in The Kingston Whig-Standard.

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Tim Park, Manager, Development Approvals 613-546-4291 extension 3223

Tim Fisher, Planner 613-546-4291 extension 3215

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Neighbourhood Context Map
- Exhibit D Official Plan Map
- Exhibit E Zoning By-Law Map
- Exhibit F Site Plan
- Exhibit G Photo

Recommended Conditions

Application for minor variance, File Number D13-021-2020

Approval of the foregoing application shall be subject to the following recommended conditions:

Limitation

That the approved variance applies only to the 891.6 square metre commercial building and parking as per the approved plans attached to the notice of decision.

No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

Site Plan Control Application

The property is subject to site plan control. The owner/applicant shall apply for site plan control and obtain a registered site plan agreement prior to development. Issues such as but not limited to design, services and other technical matters will be addressed through the site plan control application process.

Building Permit Application Requirements

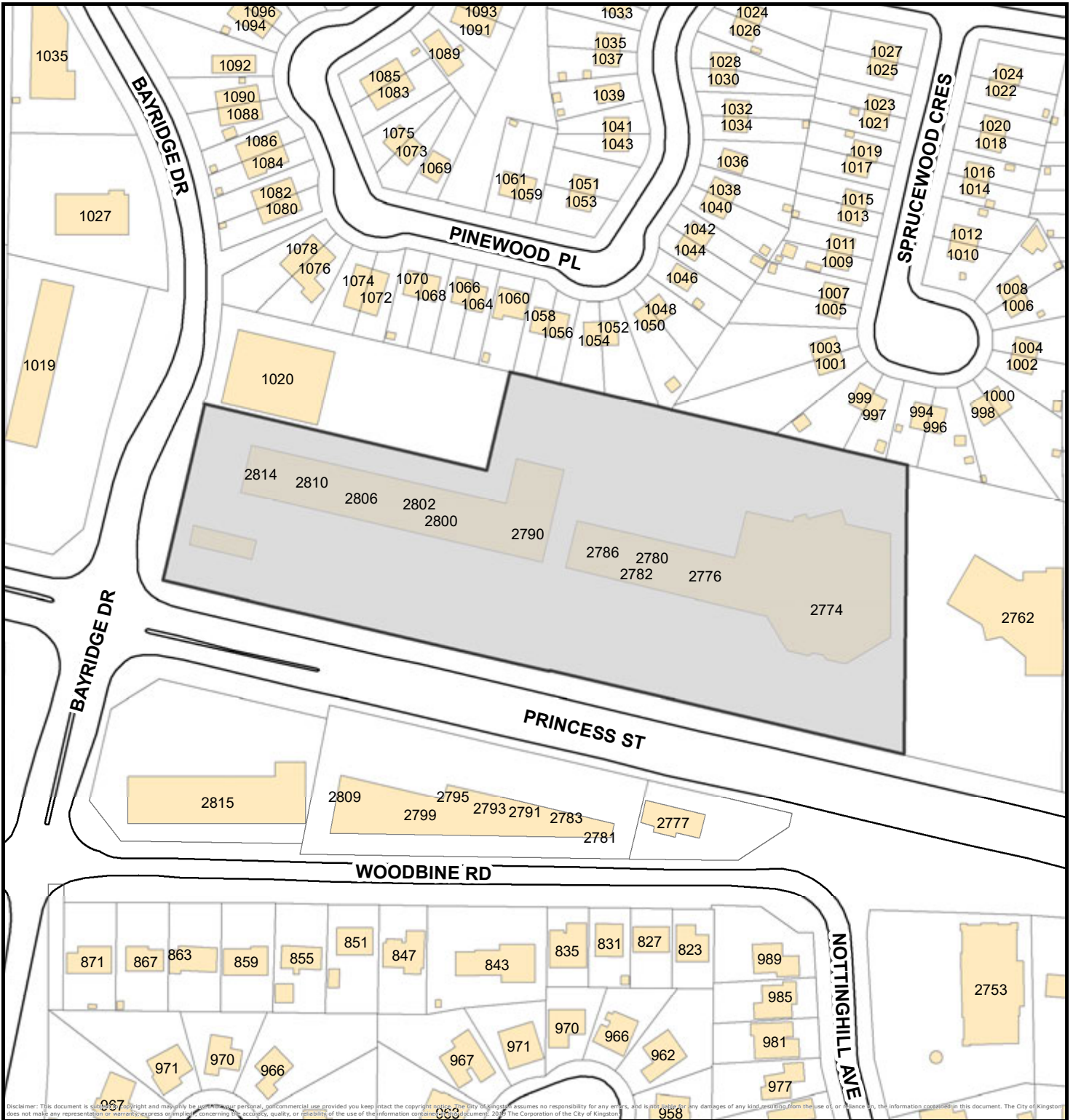
The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings and Archaeological Assessment clearance letter, when they make an application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

Standard Archaeological Condition

In the event that deeply buried, or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132) and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.

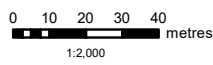
In the event that human remains are encountered, all work must immediately cease, and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries Regulation Section of the Ontario Ministry of Consumer Business Services (416-326-8404), the Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132), and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.



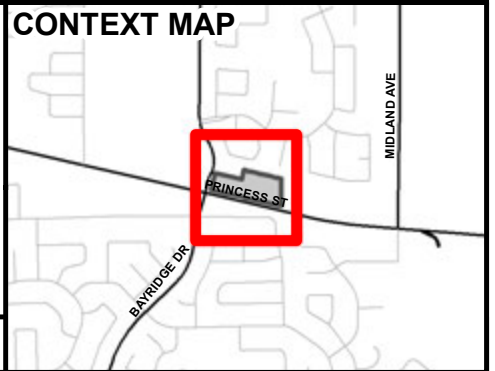
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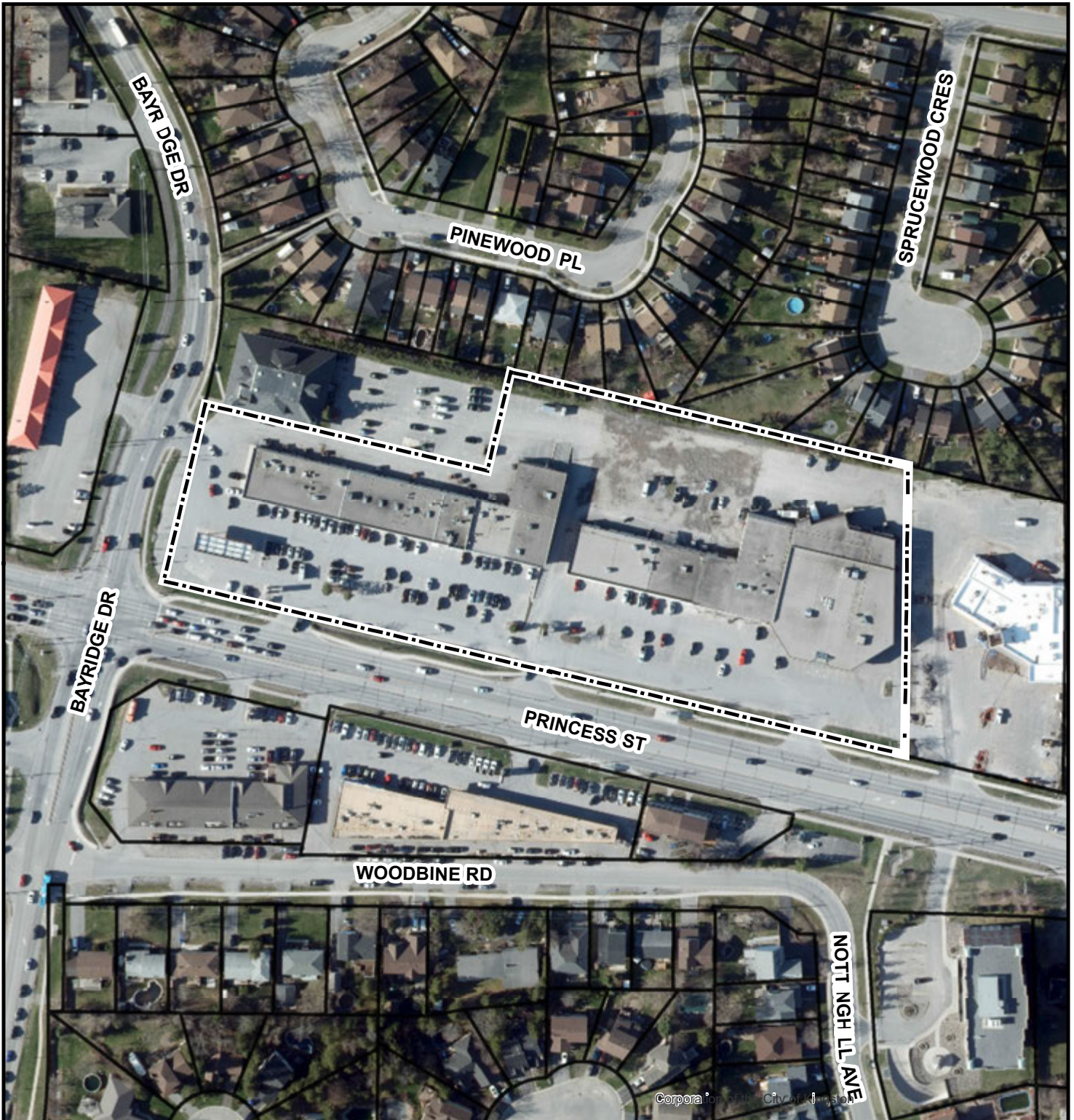
COMMITTEE OF ADJUSTMENT
Key Map
File Number: D13-021-2020
Address: 2774 to 2814 Princess Street



DATE: 2020-07-24
PREPARED BY: rrochefort



Lands Subject to Minor Variance



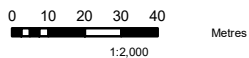
Corporation of the City of Kingston




Planning Services
a department of
Community
Services

COMMITTEE OF ADJUSTMENT
Neighbourhood Context (2019)

File Number: D13-021-2020
Address: 2774 to 2814 Princess Street



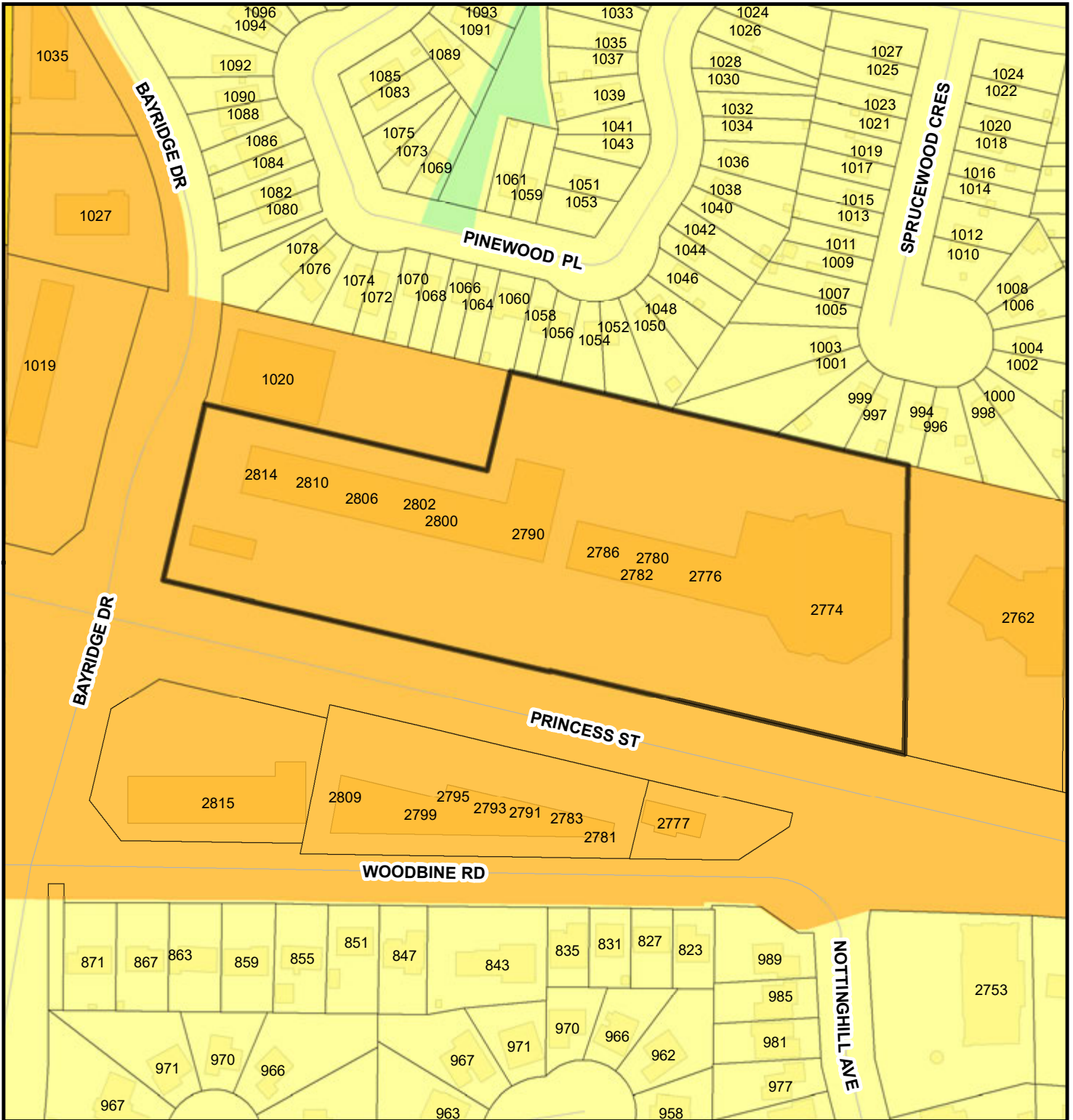
Legend

-  Subject Lands
-  Property Boundaries



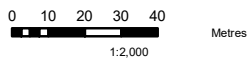
PREPARED BY: rochefort
DATE: 2020-07-24

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COMMITTEE OF ADJUSTMENT
Official Plan, Existing Land Use

File Number: D13-021-2020
Address: 2774 to 2814 Princess Street



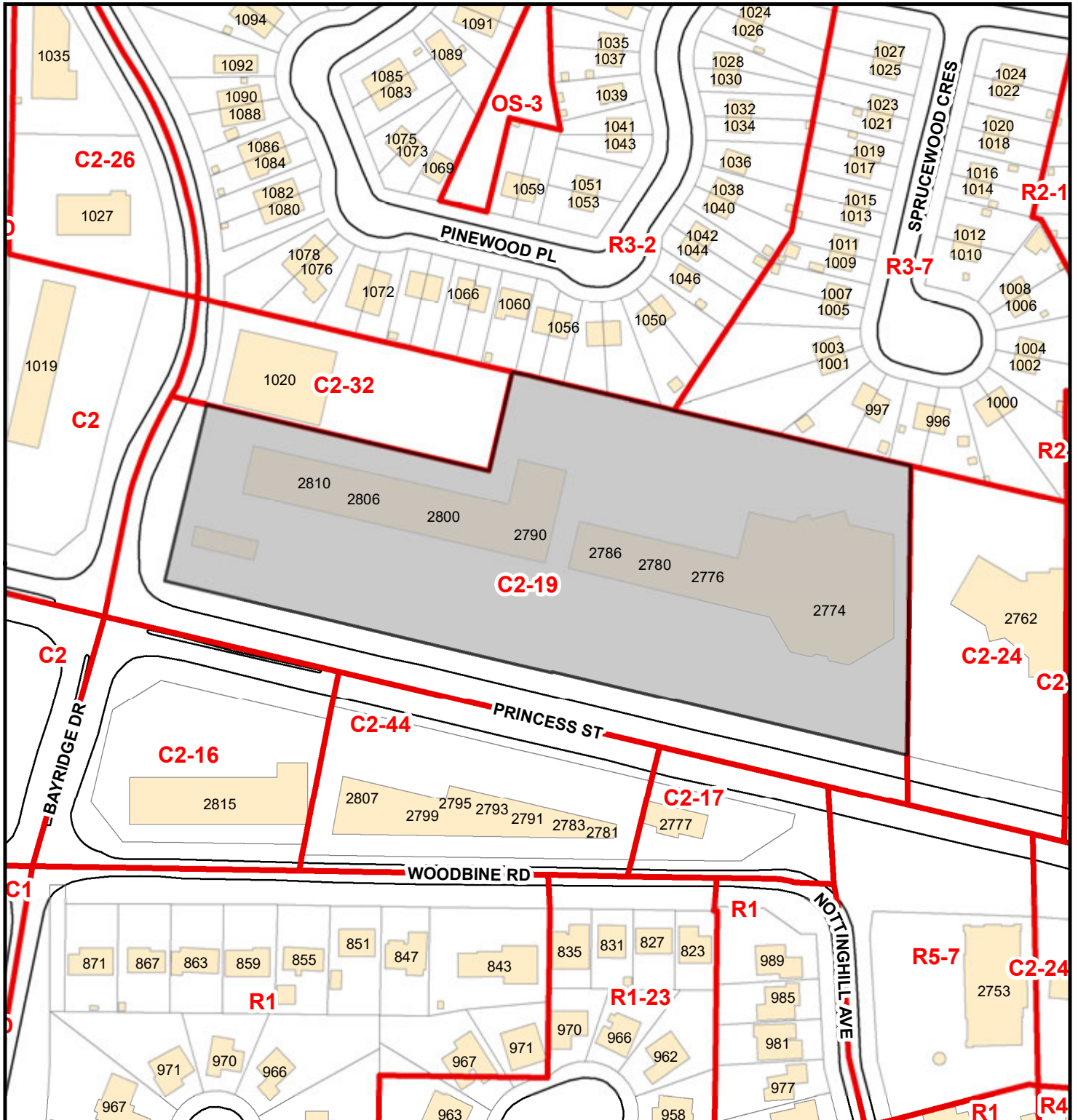
Legend

- Subject Lands
- ARTERIAL COMMERCIAL
- OPEN SPACE
- RESIDENTIAL
- SECONDARY PLAN AREA
- Medium Density Residential



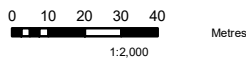
PREPARED BY: rochefort
DATE: 2020-07-24

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COMMITTEE OF ADJUSTMENT
Existing Zoning - By-law 76-26, Map 3

File Number: D13-021-2020
Address: 2774 to 2814 Princess Street



Legend

- Subject Lands
- Consolidated Zoning



PREPARED BY: rrochefort
DATE: 2020-07-24

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Above: Western Commercial Building

Below: Eastern Commercial Building





Above: View from Bayridge Drive

Below: Access between buildings to proposed site

