

**By-Law Number 2021-XX**

**A By-Law to Amend By-Law Number 8499, “Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston” (Site-Specific Zone Change from ‘B.303’ to ‘B.601’ and Deletion of Section 303(a), 180 & 182 Bagot Street)**

**Passed:** [Meeting Date]

**Whereas** by Order of the Minister of Municipal Affairs and Housing, The Corporation of the Township of Kingston, The Corporation of the Township of Pittsburgh and The Corporation of the City of Kingston were amalgamated on January 1, 1998 to form The Corporation of the City of Kingston as the successor municipal corporation and pursuant to the Minister’s Order, any by-laws of the former municipality passed under the *Planning Act* continue as the by-laws covering the area of the former municipality now forming part of the new City; and

**Whereas** the Council of The Corporation of the City of Kingston deems it advisable to amend By-Law Number 8499, as amended, of the former City of Kingston;

**Therefore be it resolved that** the Council of The Corporation of the City of Kingston hereby enacts as follows:

1. By-Law Number 8499 of The Corporation of the City of Kingston, entitled “Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston”, as amended, is hereby further amended as follows:
  - 1.1. Map 31 of Schedule “A”, as amended, is hereby further amended by changing the zone symbol of the subject site from B.303 to B.601, as shown on Schedule “A” attached to and forming part of By-Law Number 2021-\_\_\_\_.
  - 1.2. By adding the following Section 601 in Part VIII – Exceptions to the Various Zone Classifications, as follows:

**“601. 180 & 182 Bagot Street**

Notwithstanding the provisions of Sections 4, 5 and 13 hereof to the contrary, on the approximately 220 square metre parcel of land known municipally as 180 & 182 Bagot Street and designated ‘B.601’ on Schedule ‘A’ hereto, the following regulations shall apply:

a) Permitted Use:

The only permitted use shall be a multiple family dwelling containing three dwelling units.

- b) Maximum Number of Bedrooms: 11
- c) Maximum Building Height: 13.3 metres
- d) Minimum Front Yard: 0.3 metres from the west lot line and 0.0 metres from the south lot line.
- e) Minimum Side Yard: 0.0 metres from the west lot line and 0.6 metres from the north lot line.
- f) Minimum Aggregate Side Yard: 0.6 metres
- g) Maximum Density: 137 dwelling units per net hectare
- h) Minimum Percentage of Landscaped Open Space: 5.5%
- i) Maximum Lot Coverage: 77%
- j) Amenity Area:
  - a. Amenity area shall include private amenity areas and balconies.
  - b. Each dwelling unit shall contain a minimum of 22.0 square metres of amenity area.
  - c. The basement and outdoor balcony space shall be maintained as private amenity area for each respective attached dwelling unit.
- k) Parking Design Standards: The minimum size of a parking space shall be 2.6 metres wide by 5.2 metres long.
- l) Projection into Yards: Unenclosed porches and stairs may project 0.0 metres from the east lot line, 0.6 metres from the north lot line, and 1.7 metres from the west lot line, but shall in no case exceed 1.2 metres in height above the finished grade.
- m) Bicycle Parking Dimensions: The minimum bicycle parking dimensions shall be 0.6 metres wide by 1.8 metres long with a minimum overhead clearance of 1.6 metres.
- n) Accessory Buildings:
  - a. An accessory building used for the purpose of bicycle storage may be located 0.6 metres from the north lot line.
  - b. An accessory building used for the purpose of bicycle storage may be located within 1.2 metres from any window of the main building to which it is accessory.”

- 1.3 By deleting Section 303(a) (180 Bagot Street and 182 Bagot Street) in Part VIII – Exceptions to the Various Zone Classifications, in its entirety.
2. That this By-Law shall come into force in accordance with the provisions of the *Planning Act*.

Given all Three Readings and Passed: [Meeting Date]

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**John Bolognone**  
City Clerk

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**Bryan Paterson**  
Mayor



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**SCHEDULE 'A'  
TO BY-LAW NUMBER**

File Number: D14-014-2020  
Address: 180 & 182 Bagot Street

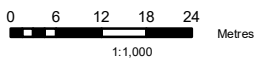
**Legend**

**Reference By-Law 8499, Map 31**

Rezoned from B.303 to B.601

**Certificate of Authentication**

This is Schedule 'A' to By-Law Number \_\_\_\_\_,  
passed this \_\_\_\_\_ day of \_\_\_\_\_ 2021.



Mayor

Clerk

**By-Law Number 2021-XX**

**A By-Law to Amend By-Law Number 76-26, “A By-Law to Regulate the use of lands and the Character, Location and use of Buildings and Structures in The Township of Kingston” (Zone Change from Special General Industrial ‘M1-13’ zone to Special General Industrial ‘M1-17’ zone, 190 & 198 Resource Road and 1315 Centennial Drive)**

**Passed:** [Meeting Date]

**Whereas** by Order of the Minister of Municipal Affairs and Housing, The Corporation of the Township of Kingston, The Corporation of the Township of Pittsburgh and The Corporation of the City of Kingston were amalgamated on January 1, 1998 to form The Corporation of the City of Kingston as the successor municipal Corporation and pursuant to the Minister’s Order, any by-laws of the former municipality passed under the *Planning Act* continue as the by-laws covering the area of the former municipality now forming part of the new City; and

**Whereas** the Council of The Corporation of the City of Kingston deems it advisable to amend By-Law Number 76-26, as amended, of the former Township of Kingston;

**Therefore be it resolved that** the Council of the Corporation of the City of Kingston hereby enacts as follows:

1. By-Law Number 76-26 of The Corporation of the City of Kingston, entitled “A By-Law to Regulate the Use of Lands and the Character, Location and Use of Buildings and Structures in the Township of Kingston”, as amended, is hereby further amended as follows:
  - 1.1. Map 3 of Schedule “A”, as amended, is hereby further amended by changing the zone symbol of the subject site from Special General Industrial ‘M1-13’ to Special General Industrial ‘M1-17’, as shown on Schedule “A” attached to and forming part of By-Law Number 2021-\_\_\_\_.
  - 1.2. By **Adding** a new subsection 24(3)(q) thereto as follows:

“(q) **M1-17 (190 & 198 Resource Road and 1315 Centennial Drive)**

Notwithstanding the provisions of Section 5 and 24 hereof to the contrary, the lands designated ‘M1-17’ on Schedule ‘A’ hereto, the following regulations shall apply:

(i) **Permitted Uses**

- a. Manufacturing, assembly, fabricating and processing operations;
- b. Construction and transportation activities and facility;
- c. Storage, warehousing and wholesale trade activities;
- d. Communications and utilities facility;
- e. Institutional uses with General Industrial characteristics, such as a trade school;
- f. Business or professional office; and
- g. Public use in accordance with Section 5(18) of By-law Number 76-26.

(ii) **Permitted Complementary Uses**

- a. Restaurant;
- b. Financial institution;
- c. Personal services and convenience commercial;
- d. Automotive, heavy equipment or truck repair facility;
- e. Research and development facilities, including laboratories;
- f. Clinic;
- g. Public and private parks and recreation facilities; and
- h. Parking lots or parking structure.

(iii) **Permitted Uses**

- a. A maximum of 25% of the total gross floor area of a permitted use may be used for the purposes of a showroom, display area and retail sales for products that are manufactured, processed, fabricated or assembled on the premises.

(iv) **Complementary Uses**

- a. Complementary uses shall be limited to a maximum of 25% of the total gross floor area of all buildings and structures on the lot.
- b. Complementary uses may be established in advance of a primary permitted use, provided the gross floor area of such uses does not exceed five percent of the lot area.

(v) **Business or Professional Office Uses**

- a. A business office or professional office shall be located within 90 metres of a street line.
- b. A business office or professional office shall be restricted to a maximum of 50% of the total gross floor area of all buildings or structures occupying the lot.

(vi) **Lot Lines**

For the purposes of the M1-17 Zone, the Lot Lines shall be as follows:

- a. Front Lot Line: All lot lines that abut a street shall be deemed to be front lot lines.
- b. All Other property lines shall be deemed rear lot lines.

(vii) **Required Yards**

- a. Minimum Front Yard Depth: 10 metres
- b. Minimum Rear Yard Depth: 7.6 metres

(viii) **Maximum Building Height:** 20 metres

(ix) **Parking**

- a. Minimum Parking Requirement for Industrial Uses:
  - 1 parking space per 100 square metres of gross floor area
- b. Minimum Parking Requirement for Office Uses:
  - 3.4 parking spaces per 100 square metres of gross floor area
- c. Minimum Parking Requirement for Complementary Uses:
  - 3.4 parking spaces per 100 square metres of gross floor area
- d. Parking Space Requirements:
  - Minimum width of a parking space shall be 2.7 metres and the minimum length of a parking space shall be 5.5 metres.
- e. Yards in Which Parking Area Permitted:
  - Parking may be permitted in any yard provided that no part of any parking area, other than a driveway is located closer than 3.5 metres to any street line.
- f. Minimum Access Aisle Width: 6 m

(x) **Accessible Parking**

- a. Accessible Parking Space Requirements

Type A spaces shall have minimum dimensions of 3.4 metres wide by 5.5 metres long.

Type B spaces shall have minimum dimensions of 2.7 metres wide by 5.5 metres long.

An accessible aisle with minimum dimensions of 1.5 metres wide by 5.5 metres long and marked with high tonal contrast diagonal lines is required adjacent to Type A and Type B accessible parking spaces. The access aisle may be shared between Type A and Type B spaces.

(xi) Yards in which loading spaces are permitted:

Loading spaces shall be permitted in any yard provided that such loading space is located no closer than 18.3 metres to any street line.

(xii) Sight Triangle:

There is no sight triangle where Resource Road and Centennial Drive intersect on lands zoned M1-17 as the sight triangle has already been assumed by the municipality.

(xiii) Planting Strip

A 3.5 metre wide planting strip is required along the front yards in accordance with the provisions of 5(17).

2. This by-law shall come into force and take effect on the day it is passed subject to and in accordance with the provisions of the Planning Act, R.S.O. 1990, c. P. 13 as amended from time to time.

Given all Three Readings and Passed: [Meeting Date]

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**John Bolognone**  
City Clerk

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**Bryan Paterson**  
Mayor



