



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-019**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Andrea Gummo, Manager, Heritage Planning
Date of Meeting: March 17, 2021
Subject: Application for Heritage Permit
Address: 47 Wellington Street P18-336
File Number: File Number - P18-111-2020

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property with the municipal address of 47 Wellington Street is located on the east side of Wellington Street, between Gore and Earl Streets. The subject property contains the former Wellington Street School, a two-and-a-half-storey limestone building with prominent central tower rising above the roof. It is designated under both Parts IV and V of the *Ontario Heritage Act*.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number - P18-111-2020) has been submitted to request approval for several alterations to the existing historic former school building, including replacing windows, rain gear and roofing, installing new cresting on tower, infilling several rear facing openings, replacing front steps and door, and general repairs to wooden features around the building.

This application was deemed complete on February 11, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on May 12, 2021.

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Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations to the property at 47 Wellington Street, be approved in accordance with details described in the application (File Number - P18-111-2020), which was deemed completed on February 11, 2021 with said alterations to include:

1. replacing a total of 38 later windows on all sides of the building with metal-clad wood windows that match the existing window patterns/styles;
2. infilling portions of four rear (south) facing openings with stone, recessed, to accommodate new windows;
3. repair/replace two south facing and one north facing doors (lower level);
4. install new metal cresting on the tower;
5. replace the main front steps with a wood-textured concrete staircase (grey tone);
6. repair/replace main front door with a new wooden door with glazing, and repair arched transoms above;
7. replace the roofing with similar grey asphalt single roofing;
8. replace rain gear with a grey aluminum product;
9. repair all wooden features as needed, with like materials and matching their existing profiles, and repaint in a light grey tone;
10. Install four ground-mounted, one wall-mounted and 12 bollard style LED lights around the building and drive lane; and

That the approval of the alterations be subject to the following conditions:

1. A Building Permit(s) shall be obtained, as necessary;
2. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
3. An Encroachment Permit shall be obtained, as necessary;
4. All *Planning Act* applications, including Site Plan Control, as necessary, shall be completed;
5. The new cresting shall be designed to match the profile of the original cresting, as shown in the historic pictures submitted;
6. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
7. All replacement windows shall fit within the existing openings without the use of "in-fill" windows, and all muntin bars shall be on the exterior of the glass;
8. Details related to the repair of the 17 identified windows on the front (north) elevation, shall be reviewed through a separate *Ontario Heritage Act* application;

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9. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
10. The existing limestone knee-walls with arched basement access opening, shall be retained in their existing profile and repaired as needed;
11. The proposed "textile warning indicator" strips on the replaced front steps, shall be coloured black (or similar colour) in accordance with accessibility requirements, as applicable;
12. The new concrete steps shall be tinted in a grey tone in order to minimize the contrast with the limestone walls;
13. The owner shall retain a qualified heritage carpenter/joiner to assess the condition of the existing main front doors in order to determine the extent of the deterioration and feasibility of their repair, to the satisfaction of Heritage Staff. Should the doors be beyond a reasonable ability to repair, their replacement with new wooden doors that mirror the style, proportions, detailing and material of the existing doors shall be permitted, with glazing only permitted in the top panels;
14. Heritage Planning staff shall be provided an opportunity to review and comment on the exterior building lighting performance, once installed, in order to confirm no negative impacts to the heritage attributes of the property;
15. Details related to the colour(s) of the new windows, roofing and trim shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
16. All repairs to wooden features shall be done with like materials and shall match existing features in scale and profile; and
17. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Planning Services for review and approval.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Corporate Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required

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Options/Discussion:**Description of Application/Background**

The subject property is located on the east side of Wellington Street, between Gore and Earl Street in the Old Sydenham Heritage Conservation District (Exhibit A – Contextual Maps and Photographs). The property is designated under both Parts IV and V of the *Ontario Heritage Act* (Exhibit B – Designation By-Law and Property Inventory Evaluation).

Ontario Heritage Act approval was granted by Council for a four-storey rear addition on May 8, 2019 (File Number P18-135-2018). The previous application focused entirely on the appropriateness and impacts of the new addition and alterations to the rear of the existing building. As the work has progressed, and the details of the renovation plans have evolved, it has become necessary to request approval to make a number of alterations to the heritage building.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number - P18-111-2020) has been submitted to request approval to make several alterations to the existing historic former school building. The alterations include:

1. Replacing a total of 38 later windows on all sides of the building with metal-clad wood windows from Norwood, painted black, that match the existing window patterns/styles. This includes 16 windows on the North elevation (including the 8 windows in the tower), 10 new windows on the South elevation, 6 windows on the east elevation and 6 windows on the west elevation. There are also 17 period windows on the north elevation that are to be retained and repaired under a separate application;
2. Infilling portions of four rear (south) facing door openings with matching limestone, recessed 3 inches, to accommodate three new windows. The fourth opening will be blinded;
3. Repair/replace two south facing and one north facing doors (lower level) with metal-clad wooden doors. The existing glazing patterns will be retained/replicated;
4. Install new metal cresting on the tower, based on historic photographs;
5. Replace the main front steps with a wood-textured concrete staircase (grey tone). The existing knee-walls and ached basement exit access will be retained and repaired as needed;
6. Repair/replace the main front doors with wooden doors, painted black, with glazing, and repair and repaint the arched wooden transoms above;
7. Replace the roofing with similar grey asphalt single roofing;
8. Replace rain gear with a grey aluminum product, in the same profile and location;
9. Repair all wooden features with similar materials and matching profiles, as needed, and repaint in a light grey tone;
10. Install four ground-mounted LED lights to illuminate the north elevation of the building, install one wall-mounted LED light fixture on the south elevation, and install 12, four foot tall, bollard style LED light fixtures flanking the drive lane. All lights are dark sky compliant.

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Details plans, including conceptual renderings, photographs and a cover letter(s), prepared by Shoalts and Zaback Architects, have been included as part of this submission and are attached hereto as Exhibit C – Concept Plans.

An emergency heritage approval (File Number P18-110-2020) was granted on December 4, 2020 through delegated authority, to repair a section of the masonry on the south (rear) elevation that was threatening to fail. This work is currently underway.

This application was deemed complete on February 11, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on May 12, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

47 Wellington Street was designated under Part IV of the *Ontario Heritage Act* through By-Law Number 84-65 in 1984. It was included in the Old Sydenham Heritage Conservation District (HCD), designated pursuant to Part V of the *Ontario Heritage Act*, through By-Law Number 2015-67 in 2015.

The designation by-law and the Property Inventory Evaluation Form from the Old Sydenham Heritage Area Heritage Conservation District Plan have been included as Exhibit B to this report.

By-Law Number 84-65 describes the subject property as:

“The Wellington Street School, architect John Power, was built in 1873 to provide proper quarters for a school which had held classes in an old furniture warehouse. This is an excellent example of a fine building being put to a new use.”

By-Law Number 84-65 does not include a list of heritage attributes. The description of the building noted in the publication “Buildings of Architectural and Historical Significance”, Volume Five, pages 253-255 (1980) includes a few key cultural heritage attributes, namely:

- The scale and massing of the two-and-a-half-storey building on a high foundation;
- The building’s limestone construction, including hammer-dressed finish with pitched-faced quoins and ashlar sills and string courses;
- The seven-bay facade with central bay projection rising to a three-storey square tower with a tall, slender bellcast mansard roof;
- The Gothic arched and segmentally arched windows;
- The main entrance with double door under a lancet transom;

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- The bargeboards and pendants under the gable ends; and
- The gabled roof with gable end parapets and two stone chimneys.

While the above referenced publication is a useful resource it has no legal status under the *Ontario Heritage Act*.

The full description and evaluation have been included as Exhibit B.

Cultural Heritage Analysis

47 Wellington Street is a significant heritage landmark, that sits prominently near the streets and forms an important part of the streetscape in this part of the Old Sydenham Heritage Conservation District (HCD).

Staff visited the subject property on February 3, 2021. The assessment of this application is summarized below through references to the relevant sections of the Old Sydenham Heritage Area HCD Plan.

Section 2.0 (Statement of Objectives)

Section 2.2 provides a Statement of Cultural Heritage Value and Interest for the entire district. This statement includes a value statement as well as a list of heritage attributes, which are those physical components of the District that express its cultural heritage value. Additionally, Section 2.3 of the Plan provides a description of the sub-areas and their heritage attributes. This proposal is located in the 'North to Bagot' sub-area and its attributes are described in Section 2.3.2.

The following is a list of the heritage attributes of relevance to this proposal; a full list of the District's attributes can be found in Section 2.2 of the District Plan:

The District:

- Varied ages, styles and types of buildings, with both vernacular and architect-designed examples of over two centuries of architectural styles;
- A compact scale comprised of street width, building height (predominantly two to three-storeys) and setback;
- Trees lining streets and dominating rear yards;
- A generally high standard of care for buildings and landscapes; and
- Physical evidence and historical associations with every stage of Kingston's history.

The attributes of the North to Bagot sub-area are found in Section 2.3.2 of the HCD Plan and, as they relate to this proposal, include:

- Closely packed buildings forming a strong street edge;
- Important civic buildings (i.e. former Wellington Street School...); and
- Deflected vistas east along Wellington Street and north along Lower Union.

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Section 2.5 (Designation Goals and Objectives) speaks to the goals and objectives for the District as a whole, Heritage Buildings, Landscapes and Streetscapes, and Land Use. The application supports the goals as presented in the District Plan, specifically in relation to the goals for Heritage Buildings (2.5.2), which states: “retaining and conserving heritage buildings identified in the District Study;” and “fostering continuing use of heritage buildings;” As well as the goals for Land Use (2.5.4), which states: “encouraging alterations and new infill that is compatible with the arrangement, scale, architectural style and materials that constitute the district’s heritage character.”

This proposal complies with Section 2.6, the Conservation and Development Policies for the District and Heritage Buildings, as outlined in Sections 2.6.1 and 2.6.2. The proposal will maintain the heritage character of the Old Sydenham distinct and the proposal is designed and undertaken in accordance with the policies and guidelines of the District Plan.

Section 4.0 (Building Conservation)

Section 4 of the Old Sydenham Heritage Area Heritage Conservation District (HCD) Plan establishes a policy framework related to Building Conservation. Section 4.3.1 provides direction on the conservation of roofs. It notes that where asphalt shingles currently exist, replacement with new asphalt shingles is acceptable, provided the new shingles are a dark colour (grey, brown or black) and have minimal textured appearance. While plain three-tab shingles are preferable, modern “architectural” shingles have been permitted throughout the District and will have little impact on the overall heritage character of the area.

The central tower is a striking and prominent feature of this building. The proponents wish to replicate and reinstall the cresting on the tower, which was removed many years ago. The HCD Plan (section 4.3.1), as well as both Parks Canada’s ‘Standards and Guidelines for the Conservation of Historic Places in Canada’ (Standard 14) and the Ministry’s Ontario Heritage Tool Kit (Principle 1), directs one to understand the details of the historic place and only replicate features, such as the new cresting, based on documentary and/or physical evidence. A condition of approval has been included to ensure that the new cresting is designed to match the historic photographs included in Exhibit C.

Sections 4.3.1 and 4.3.3 provide direction on conserving soffits, fascias, and decorative details. It states that decorative wooden fascia detailing (i.e. verge board and brackets) should be retained, maintained and restored, where possible, and repainted, if previously painted. Wood detailing can be replaced with new wood that replicates the original design if the existing materials cannot be repaired. The applicants’ intention is to repair and retain all wood detailing where possible and replace only where necessary. This is consistent with these policies as well as Principles 3, 4 and 8 of the Ministry’s Guiding Principles.

The plan notes (Section 4.3.3) that paint colours should be “compatible with the heritage character of the district and ... complementary to the age, style and detailing of the building.” The colour palette proposed is one of black windows and doors and grey trim and porch, with a dark grey roof. The Old Sydenham HCD Plan does not include nor require a specific colour

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pallet in order to conserve the cultural heritage value of the district. While staff, and member of Heritage Kingston, have consistently discouraged the use of black on windows, this colour has become more common in the District. Staff continue to encourage the applicants to choose a lighter shade for the windows and doors (perhaps a dark grey or brown), but do not object to the proposed colour pallet.

The HCD Plan (Section 4.3.1) directs that rain gear (eave troughs, downspouts, etc.) be restored to original material and profile. According to the pictures submitted by the applicants (Exhibit C), the rain gear appears to be standard eaves and gutters, likely metal, with downspouts discretely located in the vertices between the walls. The applicant intends to replace the metal rain gear with like materials and in the same locations.

Section 4.3.4 of the HCD Plan speaks to original porches and verandahs and states that they “should be retained”. The current front porch, while designed and located in its original location, is not the original porch, which is evident by the use of modern pressure treated lumber. The applicants wish to replace the current wooden portion of the porch with a concrete version that is to be stamped to resemble the texture of wood (see Exhibit C). The applicants have noted that the wooden stairs allow snow/salt and rainwater to pass through it and creates a safety hazard and maintenance problem for the use and access to the basement entrance. The new concrete structure, according to the applicants, with its “crystalline waterproofing additive will reduce or eliminate this problem.” The existing limestone knee walls, including the arched access to the basement entrance, will be retained. The existing metal railing is to be refurbished and reinstalled. While the portion of the front porch/stairs to be replaced is highly visible, it is only a portion of the grand main entrance stairs and arguable overshadowed by the robust flanking knee walls with cap stones and gothic arched entrance doors with transom. The profile and appearance of the new staircase will be similar to the existing and will improve functionality and access to the building. While the HCD Plan discourages the use of fiberglass and plastic replicas of wooden porch features, the use of concrete is neither discouraged nor recommended. Staff have no objection to the replacement of the wooden steps with a concrete structure that matches the original scale and profile, provided the knee walls and railings are properly integrated and retained and the required textile warning strips are not a bright colour. Conditions of approval to this affect have been included. The use of bright white concrete is also discouraged. Staff recommend that the concrete be tinted in a grey tone to minimize the contrast between the aged limestone wall and the bright white concrete.

Section 5.0 (Building Alterations and Additions)

Section 5 of the HCD Plan provides policies and guidelines related to Building Alterations and Additions. Section 5.3.2 (and 4.3.5) provides guidance on window and door alterations. With respect to doors, the three basement doors (two on the south elevation and one on the north – see Exhibit C) are likely not original to the building and are out of view from the public realm. The applicants are proposing to repair and repaint the garbage room door and replace the other two doors with wooden versions (possibly with metal cladding) that match the profile of the existing doors.

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The main front door appears to be a later replacement door and not original to the building; however, it is well-designed and appropriate to the style of the building. While obvious deterioration is evident in the lower portion of the wooden door a full assessment of its condition has not yet been provided. In accordance with City's Window Policy, which has routinely been used to assess proposed door alterations, and the guidelines in section 4.3.5 of Parks Canada Standards and Guidelines, staff have included a condition of approval that requires the applicants to retain a qualified carpenter/joiner to review the condition of the door and determine if repairing it is possible. If the repairs to the existing door are to the extent that it would result in essentially a new door, staff would support the replacement of the existing doors with a modern wooden version that matches the style of the existing doors. This is consistent with the approach taken when assessing the appropriateness of replacing a period window and is consistent with Standard 7 of the federal Standards and Guidelines, which calls for evaluating the existing condition of a heritage feature before deciding on the appropriate method of conservation. The applicants initially proposed new doors with glazing in both the upper and lower panels; they have since agreed to remove the glazing in the lower panels to better reflect the pattern of the existing doors.

Section 5.3.2 provides direction on window alterations on heritage buildings. The 38 windows, proposed to be replaced are, according to the applicant, later replacement windows, many of them vinyl or aluminum, and are not considered "heritage-contributing windows". The proposed replacement units will be wooden with metal cladding and will match the glazing patterns of the existing windows, with muntin bars on the exterior of the glass. This is consistent with the policies of the HCD Plan.

The HCD Plan notes that "in-fill replacement windows are not acceptable"; meaning that square windows inserted into arched openings are not permitted, particularly on elevations visible from the public realm. Particular attention will need to be given to the 6 basement windows on the north elevation, which have for many years had in-fill replacement windows. When replaced, these windows will need to fit within the existing openings and include arched tops. A condition of approval has been included in this regard.

Section 5.3.2 directs not to "alter location, size, and shape of existing windows facing, or visible from, the street" and to "not create new openings for windows on façades visible from the street." The proposed infilling is located on the south (rear) elevation out of view from the public realm. No changes to the openings on the front (north) or side (east) elevations are proposed. The applicants have noted that the infill material will be limestone that matches, as close as possible, the stone on the building. The infill stone is to be recessed approximately 7.6 cm (3 inches) to visually retain the location of the previous openings. The primary intent of this policy is to ensure that original openings in heritage buildings are not altered to accommodate modern tastes and to prevent new openings that could confuse the history and original design of the building. The proposed new windows on the south elevation will be designed to match those throughout the building in shape, size and glazing profile but will be clearly a modern intervention set within an obvious altered opening. Being located on a secondary façade, which has seen many changes to its fenestration pattern, as evident in the stone/brick work, these new windows will have little impact on the heritage character of the District.

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Section 7.0 (Public and Private Landscapes)

Section 7.0 of the HCD Plan establishes a policy framework in relation to landscaping features on private and public properties. The street trees and landscaping of the space between buildings and the streets are an important part of the streetscape and character of the Old Sydenham HCD. The proposal has been considered against these policies as summarized below.

Section 7.2 notes that laneways are an important heritage attribute for the District. It further states that there is considerable variety in the landscaping of front yards on private property, which is considered an asset to the District and should be retained. Section 7.5 indicates that landscaping in rear yards should be left to the discretion of property owners but should take guidance from the Plan and not negatively impact the heritage attributes of the HCD. The scale and location of the landscaping on the subject property was largely approved through the previous application in 2019, however for security and aesthetic purposes the owner is proposing to install a variety of lighting around the former school building and along the access driveway (see Exhibit C). Initially the applicants proposed lighting along the pathway to the main front entrance, however they have removed these from the plans following discussion with the City's Engineering staff.

The exterior illumination of a heritage building can be quite effective in showcasing its cultural heritage value. While the Old Sydenham HCD Plan does not include any guidelines for exterior building lighting, the nearby Market Square HCD Plan includes a clause noting that "lighting shall be carefully selected in order to "wash" the façade of the building with light." A condition of approval has been included requiring heritage staff review the building lighting performance, once installed, in order to confirm no negative impacts to the heritage attributes of the property.

According to the plans submitted (Exhibit C), one wall mounted security light is proposed on the rear (south) wall of the heritage building. While staff have no objection to this installation, any new perforation into the heritage building shall be completed in compliance with the City's Policy of Masonry Restoration on Heritage Buildings. It is preferred that existing perforations be used instead of creating new.

Summary

The proposed alterations will improve the functionality and facilitate the adaptive reuse of the subject property, while not detracting from the heritage attributes or cultural heritage value of this part of the Old Sydenham HCD.

Heritage Planning staff are of the opinion that the proposal conforms to the intent, goals and policies of the HCD Plan and will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industry's eight guiding principles in the conservation of built heritage properties, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

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- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations.
- Achieve Principle Numbers 1 (Respect for Documentary Evidence), 3 (Respect for Historic Material), 4 (Respect for Original Fabric) and 8 (Maintenance) as noted above.
- Achieve Standards 5 and 9 (Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada): Find a use for an historic place that requires minimal or no change to its character-defining elements. Make any interventions needed to preserve character-defining elements physically and visually compatible with the historic place.

Previous Approvals

File Number - P18-110-2020EA Emergency masonry repair

File Number - P18-135-2018 Rear addition

File Number - P18-386-088-2009 EA Replace deteriorating deck structure

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Planning Services: The property is designated 'Residential' in the City of Kingston Official Plan. The property was rezoned in 1979 to a Site-specific Three to Six-Family Dwelling 'B' Zone in Zoning By-Law Number 8499 now recognized within the 'B.56' Zone. The B.56 Zone permits up to 17 residential units. A minor variance application (File Number - D13-069-2019) was recently approved to permit relief from a number of zone provisions, including side yard setback and maximum building height. A Site Plan Control application (File Number - D11-025-2019) is currently under review.

Building Division: Building department acknowledges there is an active Building Permit application for the proposed construction and renovations to the existing building, however the applicant is advised that a Building Permit is required for the exterior stair replacement. Any structural repair works will require a Building Permit.

Engineering: Lights on the City's road allowance require Council approval. As the applicants have confirmed that the encroaching private light fixtures will be removed from their application, no further action is required.

Environment Division: In order to protect workers and the public the proponent should be notified that in accordance with Section 30 of the Ontario Occupational Health and Safety Act,

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Designated Substances and other potentially hazardous building materials must be identified prior to renovation, construction or demolition that may disturb such materials. All designated substances present must be identified to contractors in advance of the initiation of the subject work as defined in the Act.

Forestry Division: No concerns with the Heritage Permit application. Landscape and tree related concerns will be addressed through the concurrent SPC application.

Parks: No concerns with the requested heritage permit. Parkland dedication and landscaping requirements will be addressed through the concurrent Site Plan Control application.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit D - Correspondence Received from Heritage Kingston. Comments provided were addressed in staff's analysis above. Staff noted that this application is with regards to proposed alterations to the historic limestone building and does not include the rear addition, which was previously approved, or the repairs to the original windows on the north elevation, which will be considered through a separate application.

Conclusion

Staff recommends approval of the application (File Number - P18-111-2020), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

Old Sydenham Heritage Area Heritage Conservation District Plan

Designating By-Law Number 84-65

City's Policy on Masonry Restoration in Heritage Buildings

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City's Policy on Window Renovations in Heritage Buildings

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage, 613-546-4291 extension 3233

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

Exhibit A Context Maps and Photographs

Exhibit B Designating By-Law & Property Inventory Evaluation Form

Exhibit C Concept Plans, prepared by Shoalts and Zaback Architects

Exhibit D Correspondence Received from Heritage Kingston

Exhibit E Final Comments from Heritage Kingston March 22, 2021

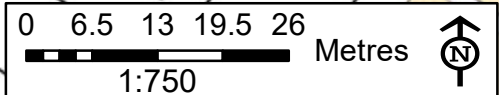
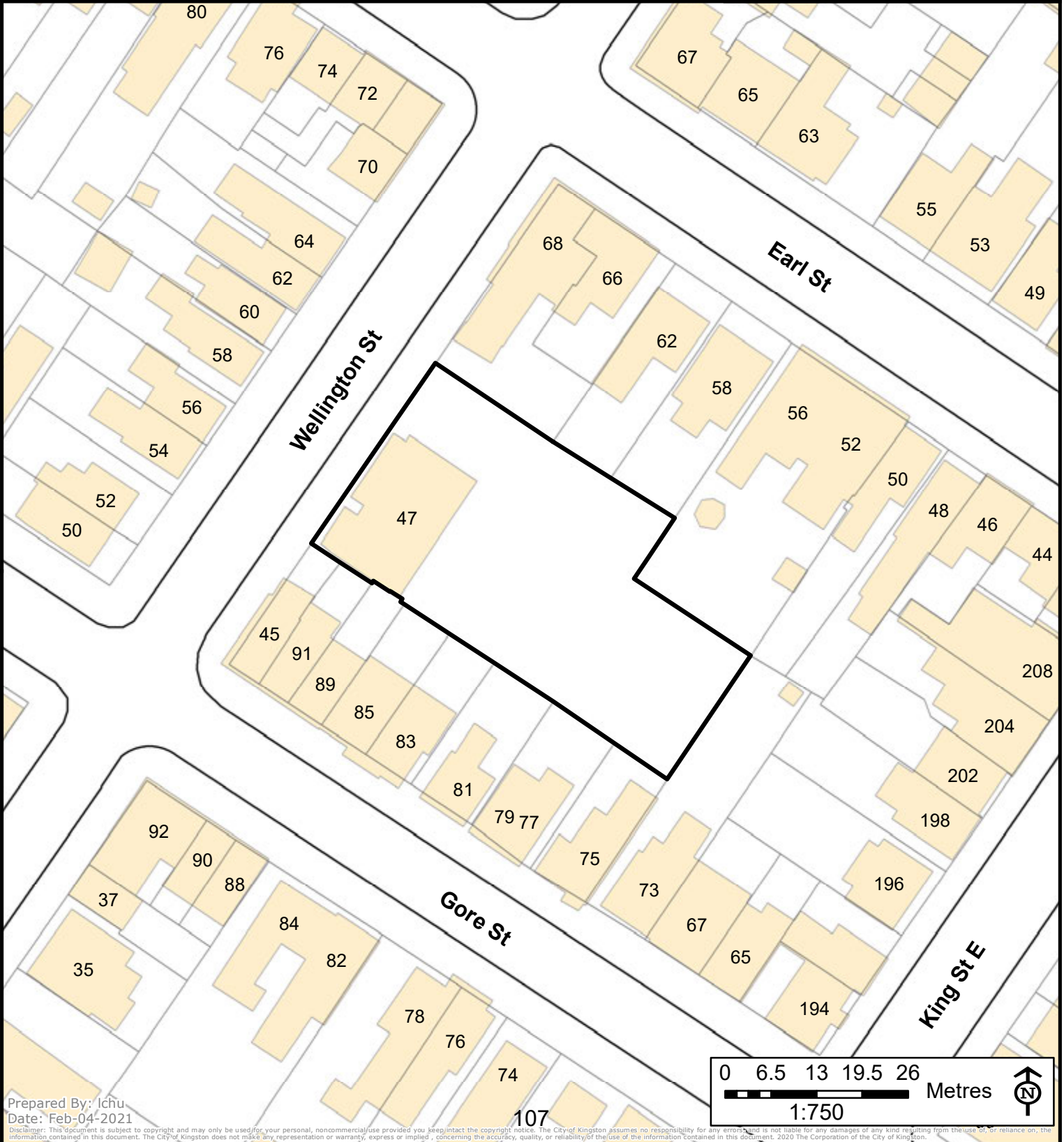
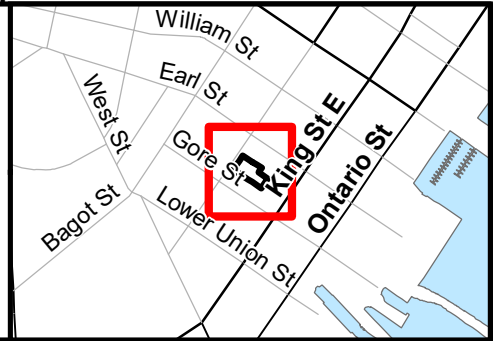


HERITAGE KINGSTON COMMITTEE

Key Map

Address: 47 Wellington St
File Number: P18-111-2020

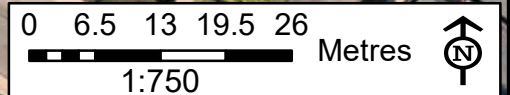
 Subject Lands





HERITAGE KINGSTON COMMITTEE
Neighbourhood Context (2020)
Address: 47 Wellington St
File Number: P18-111-2020

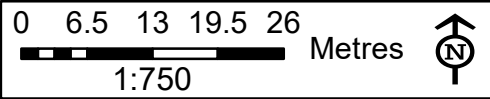
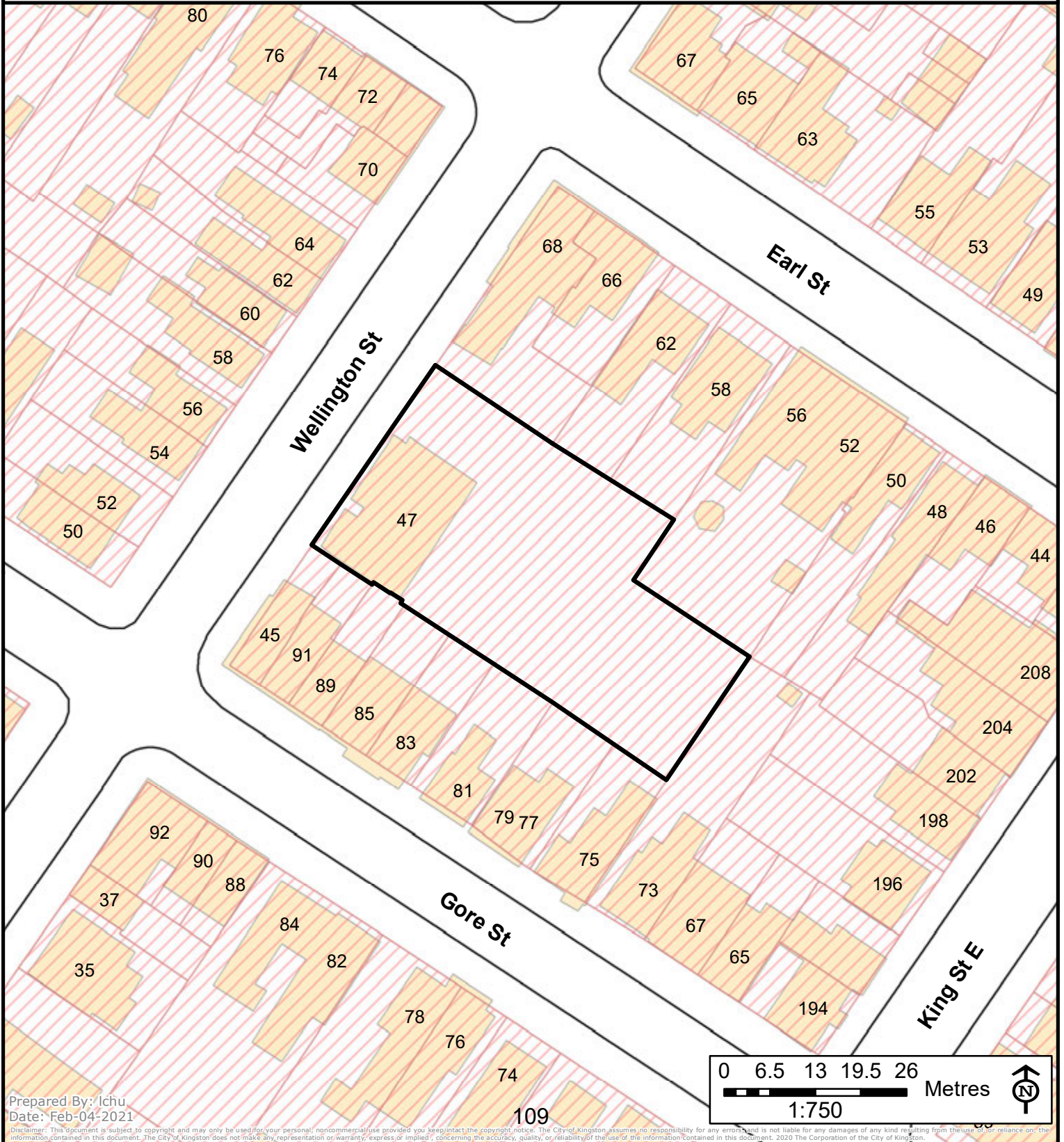
- Subject Lands
- Property Boundaries
- Proposed Parcels





HERITAGE KINGSTON COMMITTEE
City of Kingston Heritage Register
Address: 47 Wellington St
File Number: P18-111-2020

- Subject Lands (Old Sydenham Heritage Conservation District)
- Designated Property



Prepared By: lchu
Date: Feb-04-2021

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47 Wellington Street





As viewed from rear

**47 WELLINGTON STREET
WELLINGTON STREET SCHOOL**

Built: 1873-74

Architect: John Power

Rating: S (Part IV)

This school building was constructed according to a design by John Power in 1873-74. It represented the most modern local school of the period. The *British Whig* of 16 September, 1973, noted that the new school would cost \$7,200. Prior to its construction, classes were being held in Adam Main's old furniture warehouse at the corner of Lower Union and Wellington Streets. Contracts were let to Richard Tossell for masonry; William Irving and son, carpentry; McKelvy and Birch, tinsmiths; and Thomas Savage & Company, painting.



J.McK.

This 2½-storey building sits on a high stone foundation which has segmentally arched windows. Built of hammer-dressed limestone, it has pitch-faced quoins and ashlar sills and string courses. The 7-bay façade has a central 1-bay projection rising three storeys to a square tower topped by a tall, slender, bellcast mansard with a small flat roof. The main entrance in the first storey of the tower is reached by wooden steps between parapets with ashlar tops. The entrance, set under a Gothic arch, has a double door under a lancet transom consisting of two quadrant lights. Above the entrance is a 1873 shield datestone. Above the datestone is a window with an ashlar sill and sharply-pointed Gothic arch with simple intersecting tracery. This section of the tower terminates in an ashlar string course with cyma reversa moulding supporting a slightly smaller third storey which has pairs of lancet windows on each side. The bellcast section of the mansard roof has, on each side, a small louvered dormer with roof matching the shape of that on the tower.

Flanking the central bay are 1-bay recessed sections with small Gothic-arched windows. The flanking outer double-bay sections project beyond the tower section, and their gable roofs project from the front slope of the main roof. The first storeys of these sections each have two pairs of narrow segmentally arched windows, each pair having a common ashlar sill. Under the peak of the gable, each section has a narrow square-headed window. The bargeboard and pendants on these gable sections are a fairly delicate swag effect.

Both the north and south walls are regularly fenestrated and their windows are all 12-paned double-hung sash with camber-arched brick surrounds. The north wall has an extra window between the two on the first storey: it is segmentally arched and slightly smaller than the others.

The roof has gable-end parapets with ashlar corbel stones and two stone chimneys, one at the peak of each parapet.*

* Adapted from *Buildings of Architectural and Historical Significance*, Vol. 5, pp. 253-55 (1980).

P18-386

Clause 5, Report No. 23, 1984

BY-LAW NO. 84-65

A BY-LAW TO DESIGNATE CERTAIN PROPERTIES TO BE OF HISTORIC
AND/OR ARCHITECTURAL VALUE OR INTEREST, PURSUANT TO SECTION
29 OF THE ONTARIO HERITAGE ACT

PASSED: March 1, 1984

WHEREAS Section 29 of the Ontario Heritage Act,
R.S.O. 1080, Chapter 337 authorizes the Council of a
municipality to enact by-laws to designate real property,
including all buildings and structures thereon, to be
architectural or historic value or interest;

AND WHEREAS notice of intention to designate certain
properties within the municipality, as set out in Section 1
of Schedule "A" hereto, was served on the owners of the
properties and on the Ontario Heritage Foundation on the
14th day of December, 1983 and was published in the
Whig-Standard on December 14, December 21 and December 28,
1983;

AND WHEREAS notice of intention to designate certain
properties within the municipality, as set out in Section 1
of Schedule "A" hereto, was served on the owners of the
properties and on the Ontario Heritage Foundation on the
21st day of December, 1983 and was published in the
Whig-Standard on December 21 and December 28, 1983, and on
January 4, 1984;

AND WHEREAS no notices of objection to the proposed
designations have been served on the Clerk of the City of
Kingston:

THEREFORE the Council of The Corporation of the City
of Kingston enacts as follows:

1. There are designated as being of architectural and
historic value or interest the following real properties in
the City of Kingston:

- (a) 276 Brock Street
- (b) 132-134 Earl Street
- (c) 5 Emily Street

- 19 -

15-27 Wellington Street

Owner: 25 Wellington Street
William G. Stinson and Audrey I. Stinson,
25 Wellington Street

27 Wellington Street
David Yudelman and Pamela Yudelman,
27 Wellington Street

Description:

25 Wellington Street: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston, in the County of Frontenac, in the Province of Ontario, and being composed of Part of Lot No. 170, according to the Original Survey of the Town of Kingston, now the City of Kingston, and more particularly described in Instrument No. 137837.

27 Wellington Street: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston, in the County of Frontenac, in the Province of Ontario, and being composed of Parts of Lots 151, 152, 169 and 170, according to the Original Survey of the City of Kingston, and more particularly described in Instrument No. 336220.

47 Wellington Street

Owner: Hans H. Westenberg and Marion Westenberg
R.R. #1, Kingston

Description:

All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston, in the County of Frontenac, in the Province of Ontario, and being composed of Part of Lots 167, 154, 168, 153 and 148, according to the Original Survey of the City of Kingston, and more particularly described in Instrument No. 248001.

96 Wellington Street and 70 William Street

Owner: Orville A. Brown and C. J. Brown,
70 William Street

Description:

All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston, in the County of Frontenac, in the Province of Ontario, and being composed of the Northeast Half of Lot 183, according to the Old Survey of the City of Kingston, situate at the corner of Wellington and William Streets, and as more particularly described in Instrument No. 59184.

118-120 Wellington Street

Owner: Ingens Corporation,
P.O. Box 1512, Kingston.

Description:

118 Wellington Street: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston, in the County of Frontenac, in the Province of Ontario, and being composed of Part of

.../20

- 7 -

25-27 Wellington Street

This double stone building is an example of the work of architect John Grist, who built number 27 in 1851, then added number 25 in 1854-55.

47 Wellington Street

The Wellington Street School, architect John Power, was built in 1873 to provide proper quarters for a school which had held classes in an old furniture warehouse. This is an excellent example of a fine building being put to a new use.

96 Wellington Street and 70 William Street

Built in 1841 for Captain Charles Burns, this corner building is unusual for that period because of its three storeys. Its corner site adds to its significance.

118-120 Wellington Street

This double stone house was built in 1867-1868 by and for George Newlands, builder and father of William Newlands, who received some of his training in John Power's firm.

65 West Street

This brick corner house, part of a whole block of brick dwellings, was built in 1879 after Westbourne Terrace was completed. The round corner tower, bay window and central two-storey umbrage are notable aspects of architecture of the period.

112 William Street

This is one of the few houses in Kingston with an overall pattern of light brick against red. It was built by 1857 for William Brown who advertised it for rent.

129 William Street

This typical Ontario cottage, built of limestone and decorated with Gothic bargeboards was built about 1869 in a style popular almost twenty years earlier.

185 William Street

Built in 1855 for and by architect James Stewart, this brick dwelling has a number of details which give it special significance, especially for its period. The two-storey umbrage, detail of the trim, iron cresting and decorative chimney pots are all notable.

203-205 William Street

George Browne, architect of Kingston's City Hall, built this house as his private dwelling and office in 1841 and advertised it for sale in February, 1844. Queen's College leased the building in September 1844 and continued to use it after 1854 as their preparatory school until 1862.

.../8

6 January 2021

City of Kingston, Planning Services
1211 John Counter Blvd.
Kingston, ON
K7K 6C7

Attn: Ryan Leary, Senior Planner, Heritage

Fairway Properties
47 Wellington St.
Kingston, ON
Project No. 17077

Re: Heritage Permit Application For Additional Work
Heritage Permit Application No: P18-111-2020

Dear Mr. Leary,

We are writing this letter to describe the changes that have been made since the last heritage approval for permit # P18-135-2018 and the revisions that were made in January 2020.

- Iron work fence at the top of the tower to be rebuilt. See the attached documented images for your records.
- Existing exterior wood stair to be replaced with a new wood texture (board-formed) finish site-cast or pre-cast concrete stair. The colour of the stair will be the natural concrete light grey. Cast iron detectable warning tile on the landing, colour to be dark grey or black. See attached drawing.
- Existing windows to be replaced with new thermally broken aluminum-clad windows. These windows will replicate the existing windows and will have a black finish. Please see the attached report that includes the assessment of the current windows from a qualified window joining/carpenter. Also, see the attached exterior elevations.
- Existing entrance door to be replaced with new wood door complete with black finish. See the attached drawing. Existing door transom and frame will be repaired and repainted black to match the new doors and windows.
- Existing roof to be replaced with new asphalt shingles. Colour is twilight grey based on BP "Everest", eavestrough & rainwater leader to be light grey.
- Four new ground-recessed 2" dia. LED up lights to be installed in front of the new stair. Also, four LED wall wash landscaper fixtures. See site plan for more details.

Please don't hesitate to contact me if you have additional questions or concerns.

Yours truly,

Avedik Mora

c.c. Peter Sauerbrei, Owners
Raymond Zaback, Architect
Trevor Timpany, Architect
James Bar, City of Kingston

C:\Users\User\ownCloud2\17077_47 Wellington_OwnCloud\10-Approval\Heritage\2021-1-6_To Ryen_Comments
Response\17077_47 Wellington_Rationalize Letter_2021-1-05.doc
Partners: Gerald Shoalts Raymond Zaback Eric Riddell Todd Storms

16 February 2021

City of Kingston, Planning Services
1211 John Counter Blvd.
Kingston, ON
K7K 6C7

Attn: Ryan Leary, Senior Planner, Heritage

Fairway Properties

47 Wellington St.

Kingston, ON

Project No. 17077

Re: Technical Comments Summary
Heritage Permit Application No: P18-111-2020

Dear Mr. Leary,

We are writing this letter to responding to the technical comment that we received on Feb 11, 2021 and Feb 16, 2021

We agree and support the following comments that we received from the heritage staff:

- The main front door: we are considering not have extensive glazing, but we are still planning to replace the existing door leaf with a new wooden door to match the existing.
- Tower cresting: will look similar to the original but not be an exact replica.

Roof shingles: The BP Everest architectural shingles that is specified are better quality and have a longer life span then the 3-Tab shingles.

Engineering: The four floor lights fixture that are located front of stair are not required and they are decorative. We will eliminated them.

Please see the attached a PDF that includes the exterior lighting fixture schedule.

Following up on the email you sent us on Feb 02, 2021 regarding the replacement doors that are located on the south elevation. Please see the attached a PDF that includes door schedule. The south east door type is PD11 and the south west door type is PD9*. Please see this is correction to our original response.

Please don't hesitate to contact me if you have additional questions or concerns.

Yours truly,



Avedik Mora

c.c. Peter Sauerbrei, Owners
Raymond Zaback, Architect
Trevor Timpany, Architect

BZB
Professional Zabus Architects Ltd.

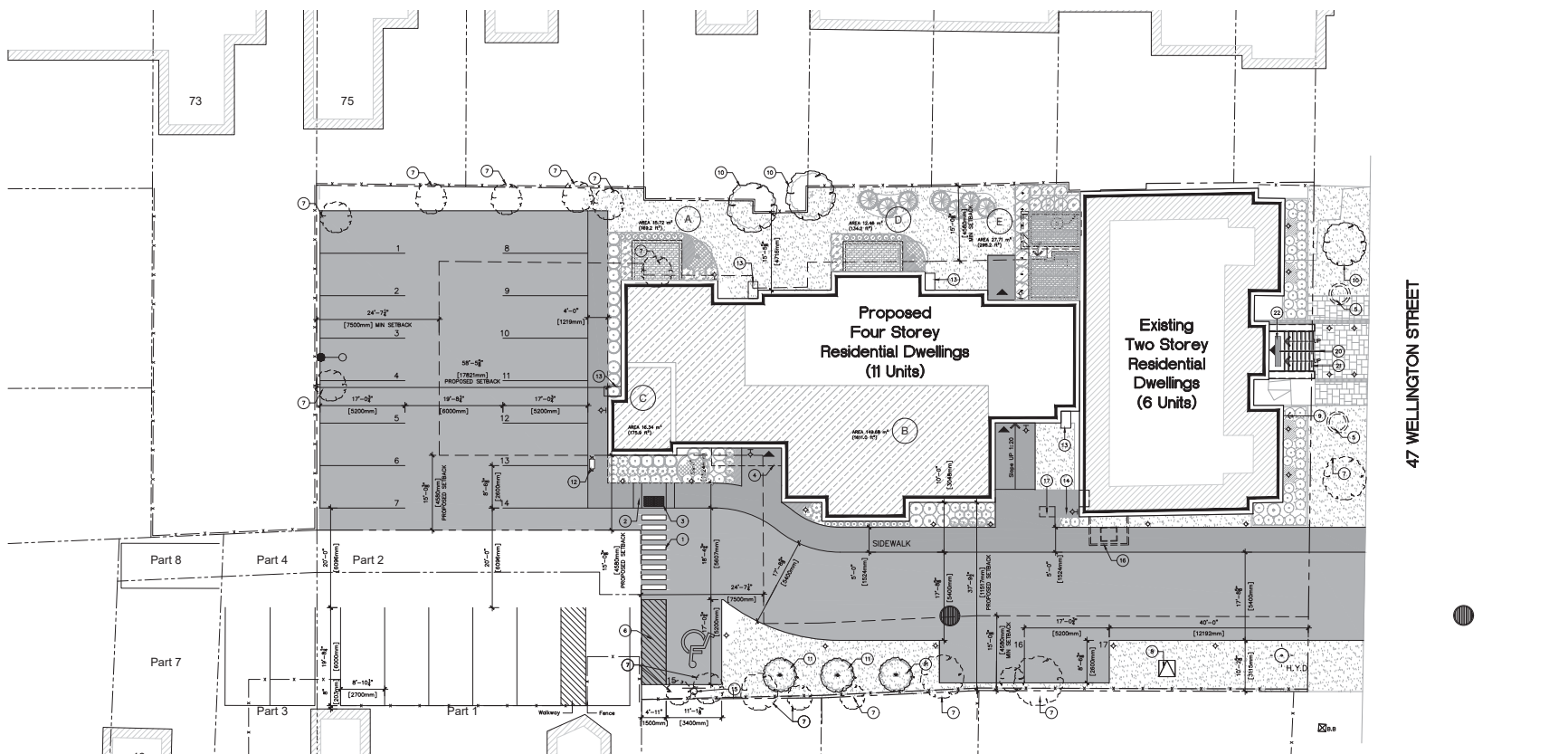


Certificate of Practice Number: 074 12
41, Cumberland Street, Suite 200, Kingston, ON K7L 5A1 (705) 341-1212
www.bzb.ca

This is a design drawing and design and shall not be used, reproduced or otherwise disseminated without the written consent of the Architect. The Architect shall accept no responsibility for any errors, omissions or other inaccuracies in this drawing without the approval of the Architect. It is the responsibility of the Contractor to verify all dimensions and notes on drawings and to coordinate with the architect prior to construction. The information shown on this drawing without written approval of the Architect is solely the responsibility of the Contractor.

- Drawing Notes:**
- PAINTED CROSSWALK PATTERN ON ASPHALT.
 - DEPRESSED CURB.
 - TACTILE INDICATOR.
 - ROOF ABOVE.
 - CONCRETE PLANTER TO BE REMOVED.
 - EXISTING TREE PARKING SPACE ASSESS.
 - EXISTING TREE TO BE REMOVED.
 - NEW TRANSFORMER LOCATION.
 - PIRE DEPARTMENT CONNECTION.
 - EXISTING TREE TO REMAIN.
 - NEW TREE REFER TO LANDSCAPE DRAWINGS.
 - ELECTRIC CAR CHARGING STATIONS.
 - GRASS AND PLANTING TO COMPOUND LOCATION.
 - EXISTING TREE TO BE REMOVED.
 - ACCESSIBLE PARKING SIGN.
 - REMOVE CONCRETE WALK.
 - REMOVE PORTION OF STONE WALL, SALVAGE STONE TO REPAIR LINE OF WALL.
 - RESERVED.
 - RESERVED.
 - EXISTING METAL RAILING.
 - NEW WOODEN TEXTURE CONCRETE STAIR.
 - CAST IRON DETECTABLE WINDING TILE.

- Legend**
- NEW ASPHALT AND DRIVEWAY ON OWNER'S PROPERTY.
 - NEW SIDEWALK.
 - AMENITY AREAS.
 - PROPERTY LINE.
 - NEIGHBOUR'S PROPERTY LINE.
 - EXISTING LINE TO BE REMOVED.
 - SETBACK LINE.
 - EXISTING FENCE.
 - NEW WOODEN FENCE.
 - TRAFFIC ARROW.
 - EXIT/ ENTRANCE ARROW.
 - NEW TREE/ SHRUBS. REFER TO LANDSCAPE.
 - NEW MANHOLE.
 - NEW FIRE HYDRANT.
 - H.Y.D.
 - LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.



SITE STATISTICS (47 WELLINGTON STREET, KINGSTON)

CITY OF KINGSTON - ZONING BY-LAW NO. 8499
PART I - RESIDENTIAL ZONE
SECTION 13. GENERAL PROVISIONS FOR THREE TO SIX FAMILY DWELLING ZONE "R3"
PLUS BY-LAW NUMBER 849-1895 AND 78-140-1979 - PROVISIONS FOR 17 DWELLING UNITS ZONE "R54"

REQUIREMENT	PROPOSED	REQUIREMENT	PROPOSED	REQUIREMENT	PROPOSED
13.2 (B) MAXIMUM THREE TO SIX FAMILY DWELLINGS MAXIMUM SEVENTEEN (BY-LAW NUMBER 78-140-1979)	17	NEW IT +	17	REQUIRED RELIEF ALLOWED	REQUIRED
13.3 (A) MINIMUM HEIGHT	13.16 m	EXISTING	13.16 m	REQUIRED	REQUIRED
(B) MINIMUM FRONT YARD FOR BUILDINGS OTHER THAN PUBLIC OR SEMI-PUBLIC BUILDINGS) & THE HEIGHT OF THE MAIN BUILDING. CALCULATION: 13.16 MINUS PROPOSED BUILDING HEIGHTS (4.58M)	8.58 m	9.59 m	9.59 m	REQUIRED	REQUIRED
(C) MINIMUM REAR YARD THE MINIMUM REAR YARD REQUIREMENT FOR ANY BUILDING FRONTS IN THE R ZONE SHALL NOT AT ANY POINT THROUGHOUT ITS LENGTH BE LESS THAN THE GREATER OF: (1) THE HEIGHT OF THE REAR WALL OF THE MAIN BUILDING. (2) 25 PERCENT OF THE REAR YARD PROVIDED HOWEVER, THAT THE DEPTH OF THE REAR YARD NEED NOT EXCEED 7.5 M	7.5 m	11.82 m	11.82 m	REQUIRED	REQUIRED
(D) CORNER LOTS	N/A	N/A	N/A	REQUIRED	REQUIRED
(E) COURTS	N/A	N/A	N/A	REQUIRED	REQUIRED
(F) MAXIMUM PERCENTAGE OF LOT COVERAGE (1) THE MAXIMUM PERCENTAGE OF LOT COVERAGE BY ANY BUILDING SHALL BE 33 1/3 PERCENT OF THE TOTAL LOT AREA (2) IN CALCULATING THE PERCENTAGE OF LOT COVERAGE FOR ANY BUILDING ON A LOT WHICH HAS A LAKE, OR REAR DRIVEWAY OVER HALF THE AREA OF THAT PORTION OF THE REAR YARD EXTENDING ALONG THE SIDE OR ALONG THE REAR YARD ONE-HALF OF THE AREA OF THAT PORTION OF THE REAR YARD WHICH IS ADJACENT TO THE BORDERS OF A HIGH LOT, NOT EXCEEDING IN ANY CASE TEN PERCENT OF THE TOTAL LOT AREA, MAY BE DEEMED TO BE A PORTION OF THAT LOT	33.33 %	33.32 %	33.32 %	REQUIRED	REQUIRED
(G) MAXIMUM GROSS BUILDING AREAS LOT AREA: 1681.798 m ² (18,102.72 FT ²) (0.168 HA) (0.415 ACRES) BUILDING AREAS: EXISTING + PROPOSED = 238 + 322.5 = 560.5 m ²	33.33 %	33.32 %	33.32 %	REQUIRED	REQUIRED
(H) MAXIMUM GROSS 17 DWELLING UNITS PERMITTED (BY-LAW NUMBER 78-140-1979)	17	17	17	REQUIRED	REQUIRED

REQUIREMENT	PROPOSED	REQUIREMENT	PROPOSED	REQUIREMENT	PROPOSED
(I) AMENITY AREAS (AS PER SECTION 5.27 OF THIS BY-LAW) (A) A MINIMUM OF 18.5 M ² OF AMENITY AREA SHALL BE PROVIDED FOR EACH DWELLING UNIT ON THE LOT (B) AMENITY AREAS ON ANY PART THEREOF SHALL BE PROVIDED AND LOCATED SO THE LENGTH DOES NOT EXCEED FOUR TIMES THE WIDTH (C) AMENITY AREAS, IF PROVIDED AS COMMUNAL SPACES, MUST BE ADJACENT TO THE AREA OR GROUNDED INTO AREAS OF NOT LESS THAN 0.4 M WIDE, PROVIDED AS AN OUTDOOR AREA EXTENDING TO THE RESIDENTIAL BUILDING, IS LOCATED AT GRADE LEVEL, IT MAY BE INCLUDED IN THE CALCULATION OF LANDSCAPED OPEN SPACE REQUIREMENTS. REQUIRED: 11 UNITS X 18.5 M ² = 203.5 M ² A = 12.72 m ² B = 148.89 m ² C = 16.24 m ² D = 12.48 m ² E = 27.71 m ² TOTAL = 229.97 m ²	203.5 m ²	221.99 m ²	221.99 m ²	REQUIRED	REQUIRED
(J) PARKING (AS PER SECTION 5.3 OF THIS BY-LAW) (A) RESIDENTIAL (1) MULTIPLE FAMILY DWELLINGS (2) IN THE B, R3 AND C ZONES: 1 PARKING SPACE PER DWELLING UNIT. (B) ACCESSIBLE PARKING (A) RESIDENTIAL: ACCESSIBLE PARKING SPACES ARE PROVIDED AT A MINIMUM OF ONE PERCENT OF THE REQUIRED PARKING SPACES. A MINIMUM OF ONE TYPE A (VAN ACCESSIBLE) SPACE SHALL BE PROVIDED FOR EVERY TEN (10) TYPE A (VAN ACCESSIBLE) SPACES. (B) TYPE A (VAN ACCESSIBLE) SPACES SHALL HAVE MINIMUM RECTANGULAR DIMENSIONS OF 3.4 M WIDTH BY 6.0 M LENGTH AND MUST HAVE STORAGE SPECIFYING THAT THEY ARE VAN-ACCESSIBLE. (C) BICYCLE PARKING SPACES: 1 BICYCLE PARKING SPACE PER DWELLING UNIT, WITHIN A BICYCLE PARKING AREA. RESIDENTIAL AS DEFINED BY SECTION 4.7.2 OF THIS BY-LAW. 4.7A BICYCLE PARKING AREA, RESIDENTIAL IS DEFINED AS AN AREA ON OR IN WHICH A BICYCLE MAY BE PARKED AND WHICH HAS ACCESS SPECIFICALLY OR BY WAY OF AN ACCESSIBLE, UNOBSTRUCTED AND UNIMPEDED PATHWAY TO THE BICYCLE PARKING AREA WITHOUT THE NECESSITY OF MOVING ANY OTHER VEHICLE AND WHICH IS SECURED AND COVERED FROM WEATHER ELEMENTS (E.G. BY WAY OF BUILDING OR ROOF OVERHANGS, AWNINGS, LOUNGERS OR BICYCLE STORAGE SPACES WITHIN BUILDINGS) AND EACH SPACE WITHIN THE PARKING AREA SHALL NOT BE LESS THAN 1.8 M (FEET) BY 0.8 M (FEET), AND OVERHEAD CLEARANCE IN COVERED SPACES BE A MINIMUM OF 2.1 M (7 FT)	17	17	17	REQUIRED	REQUIRED
(K) LOADING AREAS (AS PER SECTION 5.4 OF THIS BY-LAW)	N/A	N/A	N/A	REQUIRED	REQUIRED
(L) ACCESSORY BUILDINGS (AS PER SECTION 5.17 OF THIS BY-LAW)	N/A	N/A	N/A	REQUIRED	REQUIRED
(M) MINIMUM PERCENTAGE OF LANDSCAPED OPEN SPACE (A) MINIMUM PERCENTAGE OF LANDSCAPED OPEN SPACE: EXISTING + PROPOSED = 560.5 m ² PROPOSED OPEN SPACE: = 302.0 m ² TOTAL = 1182.4 m ² 1681.79 - 1182.4 = 518.39 (30.82%)	30.00 %	30.82 %	30.82 %	REQUIRED	REQUIRED

* PER APPROVED MINOR VARIANCE D13-069-2020 TO REDUCE THE PARKING SPACES DIMENSIONS FOR TYPICAL AND ACCESSIBLE SPACES, REDUCE THE LENGTH OF AN ACCESSIBLE, INCREASE THE HEIGHT OF THE SIDE YARD, AND REDUCE THE INTERIOR SIDE YARD AND ADJACENT INTERIOR

1 Site Plan
A020 3/32" = 1'-0"

NO.	ISSUED FOR	DATE
4	ISSUED FOR HERITAGE APPROVAL	2000-12-04
3	APPROVAL FOR BUILDING	2000-10-23
2	REQUIRED FOR SECOND	2000-08-26
1	REQUIRED FOR SITE PLAN APPROVAL	2000-07-27

Revision: Issued For Heritage Approval Date

Partway Properties

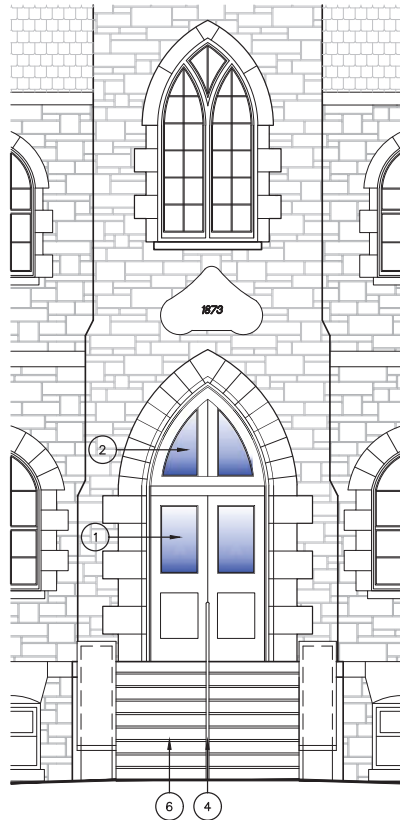
Location:
47 Wellington Street
Kingston, Ontario
Client:
Mr. Peter Sauerbri

Drawing:
Site Plan

Drawn by:	Date:
DTL:AJL	2001-03-08
File Name:	Scale:
17077_SPS1	As Noted
Client/Project #	Drawing Number:
Project # 17077	Revision #
	A020

Drawing Notes:

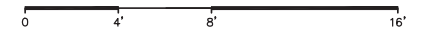
1. EXISTING DOOR TO BE REMOVED AND REPLACED WITH NEW WOODEN DOOR. REFER TO DOOR SCHEDULE.
2. EXISTING DOOR TRANSOM TO BE REPAIR AND PAINT TO MATCH THE NEW DOOR.
3. NEW WOODEN DOOR. PAINTED BLACK. REFER TO DOOR SCHEDULE FOR MORE INFORMATION.
4. EXISTING METAL RAILING TO BE REMOVED AND REUSED WITH THE NEW CONCRETE STAIR.
5. RESERVED.
6. EXISTING WOODEN STAIR TO BE REMOVED.
7. NEW WOODEN TEXTURE CONCRETE STAIR.



1 Existing Building Entrance
3/16"=1'-0"

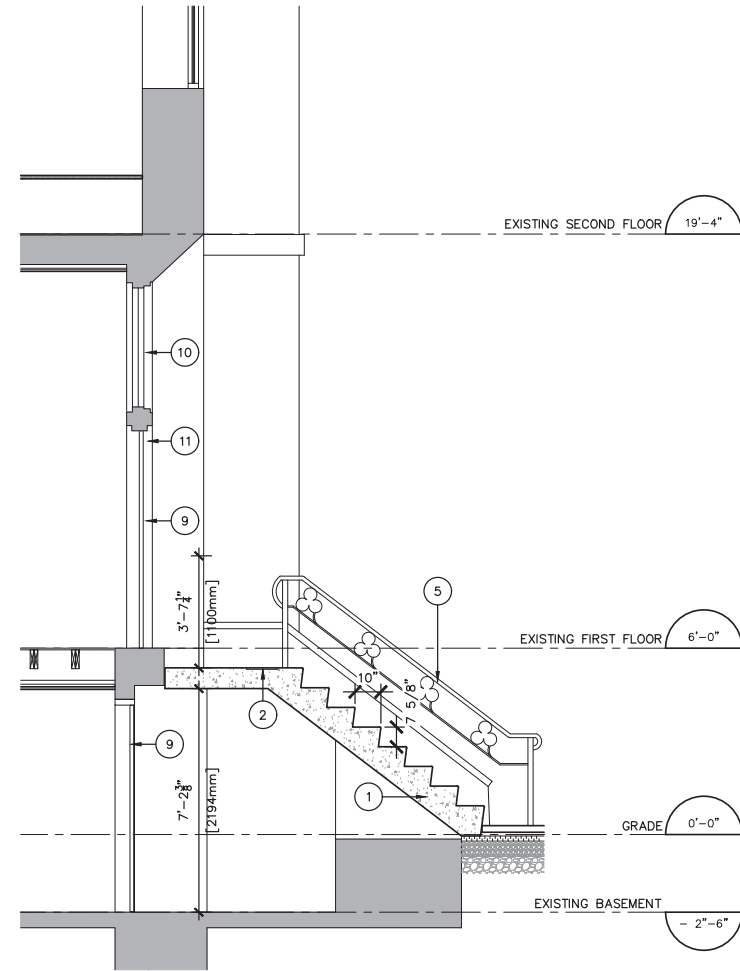
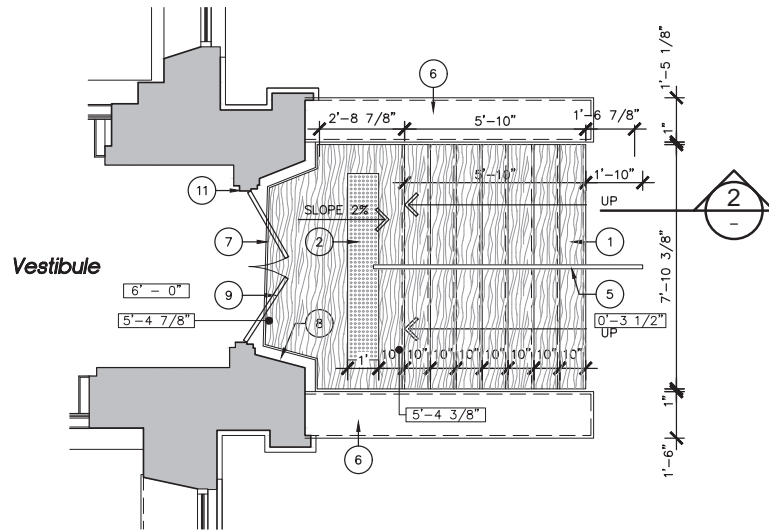


2 Existing Building New Entrance
3/16"=1'-0"



Drawing Notes:

1. NEW WOOD TEXTURE FINISHED CONCRETE STAIR. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. CAST IRON DETECTABLE WARNING TILE.
3. RESERVED.
4. RESERVED.
5. EXISTING METAL RAILING.
6. EXISTING MASONRY STONE CURB WITH STONE SILL.
7. REVEAL IN CONCRETE.
8. EXISTING STONE BASE.
9. NEW DOOR. REFER TO DOOR SCHEDULE.
10. EXISTING DOOR TRANSOM.
11. EXISTING DOOR FRAME.



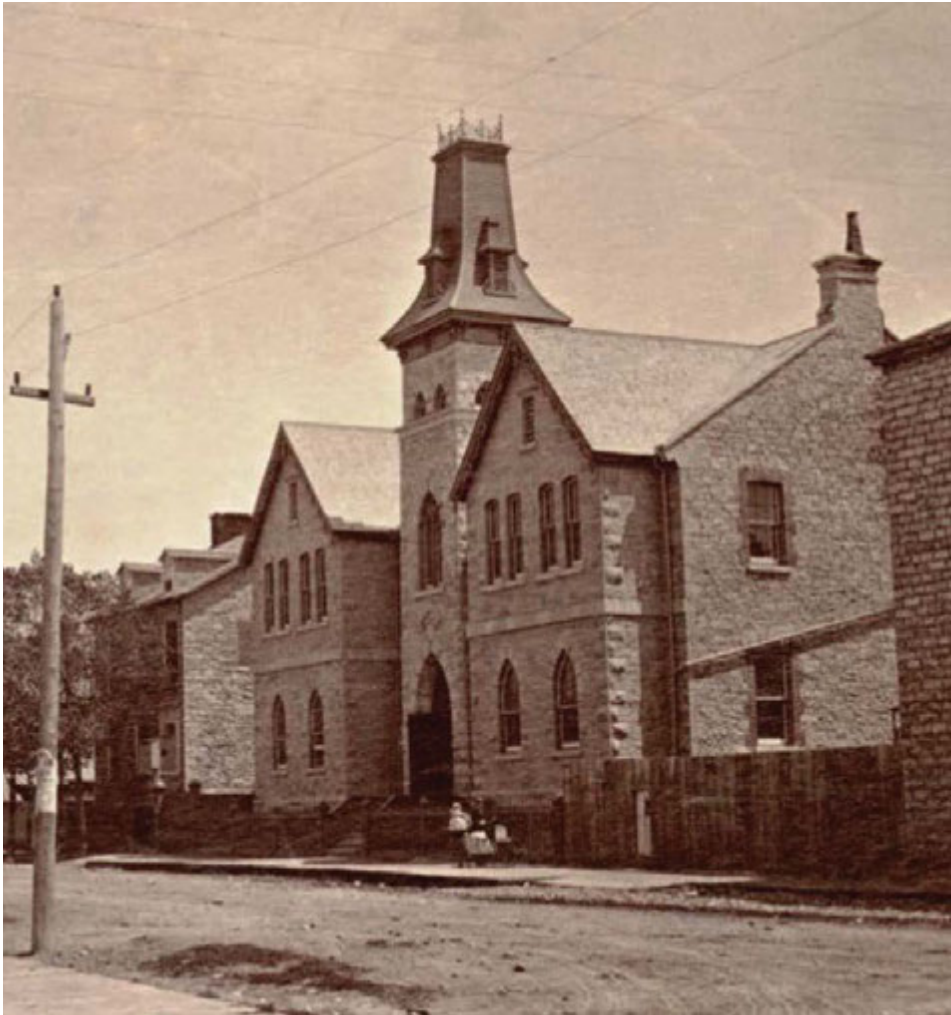
1 New Concrete Stair Plan
1/4" = 1'-0"

2 Section
1/4" = 1'-0"





Wood Textured Concrete



Ontario archives 10009553



See the Hewett House of 1875 RMC, for a recently replaced metal fringe



Ontario archives 10009553 cropped



Special number British Whig, May 1895 , coll. J. McKendry

Note: All other windows to be repair/fix and repainted black

There are two windows on each side of the tower and will be replaced with fixed windows to match the existing.

To be replace with new side-hung window

To be replace with new side-hung window

To be replaced with new sliding windows

To be replaced with fire rated window.

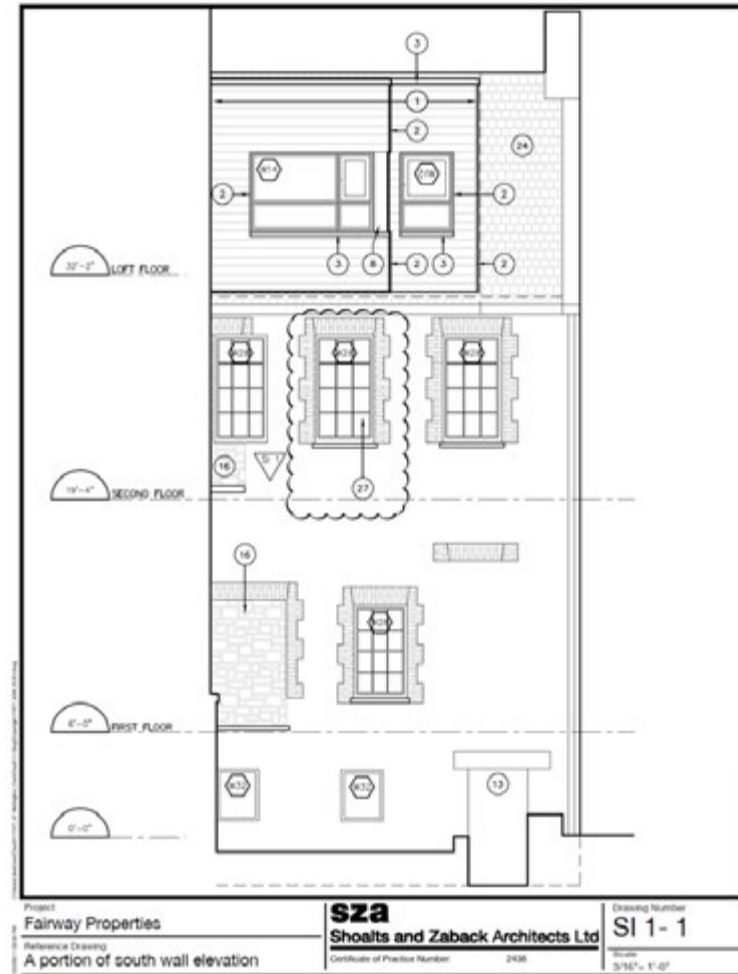
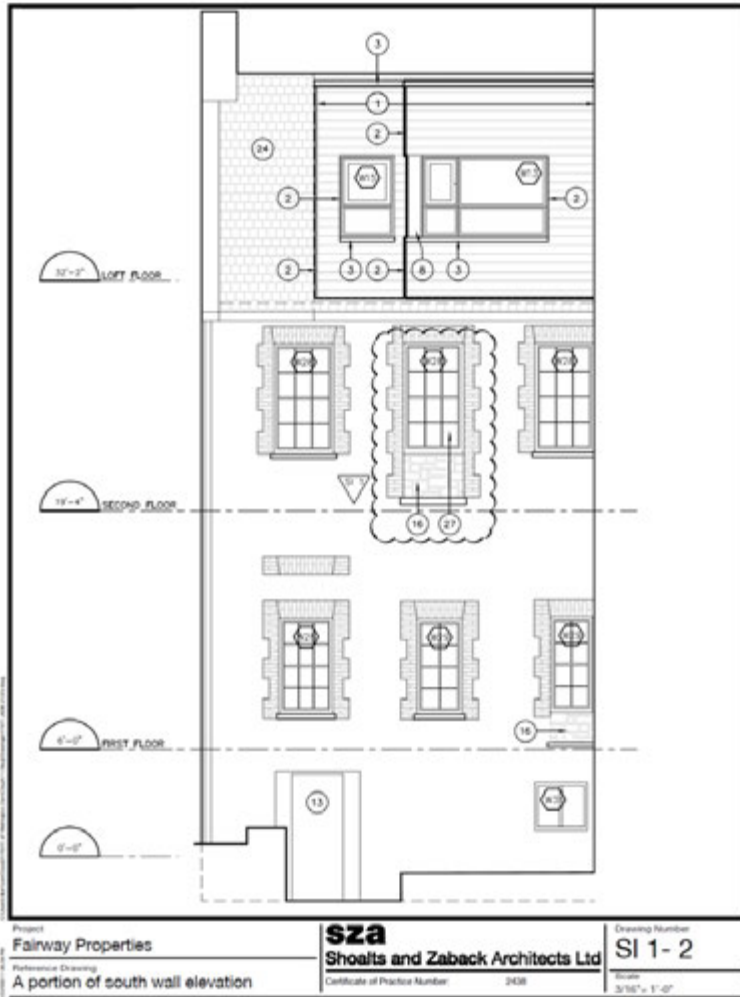
To be replaced with new sash window

To be replaced with new sliding windows

North Elevation



South Elevation



The screenshot shows a web browser displaying the Norwood Windows & Doors website. The page features a navigation menu with links for HOME, ABOUT, WINDOWS, DOORS, OPTIONS, RESOURCES, IDEA GALLERY, NEWS, and CONTACT US. The main content area is titled "NORCLAD™ SERIES WINDOWS" and describes the extruded aluminum clad product line. It highlights the benefits of both the exterior aluminum cladding and the interior natural wood. A central image shows a cross-section of the window frame. Below this, a section titled "NORCLAD™ ALUMINUM CLAD EXTERIOR COLOR OPTIONS" lists 14 color swatches arranged in a grid.

NORCLAD™ SERIES WINDOWS

Our extruded aluminum clad product line is broad and offers individualized solutions that exceed even the most stringent requirements of residential, commercial and institutional projects alike. No matter the style, size, color and features, all our extruded aluminum clad windows are constructed using the same proven manufacturing and quality control processes that Norwood has prioritized since day one.

OUTSIDE
THE BENEFITS OF EXTRUDED ALUMINUM

- Long lasting color and performance •
- Available in a multitude of colors •
- Low maintenance and weather resistant •

The extruded aluminum clad sits away from wood, allowing for air circulation that translates to higher U-values •

INSIDE
THE BENEFITS OF NATURAL WOOD

- Maintains its properties throughout drastic temperature changes
- Gives exceptional insulation
- Brings a warm, natural look
- Endless customization options

NORCLAD™ ALUMINUM CLAD EXTERIOR COLOR OPTIONS

Choose from one of our 14 standard paint colors, or create your own personal style with our custom paint color option. Meets AAMA (American Architectural Manufacturers Association) specifications. Comes with a 20 year warranty.

DELICATE WHITE	NORCLAD WHITE	SANDY BEIGE	SANDSTONE	SIMARD SABLE
BROOKLYN BRONZE	HEATHER'S GRAY	BLACK PANTHER	CELTIC BLACK	HARTFORD GREEN
GRAPHITE	IRON ORE	MIDNIGHT SURE	SLATE	

South Side Doors



Suite - to be replaced with matching door (metal-clad wood) painted grey or black

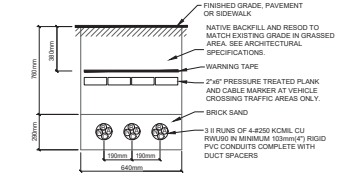
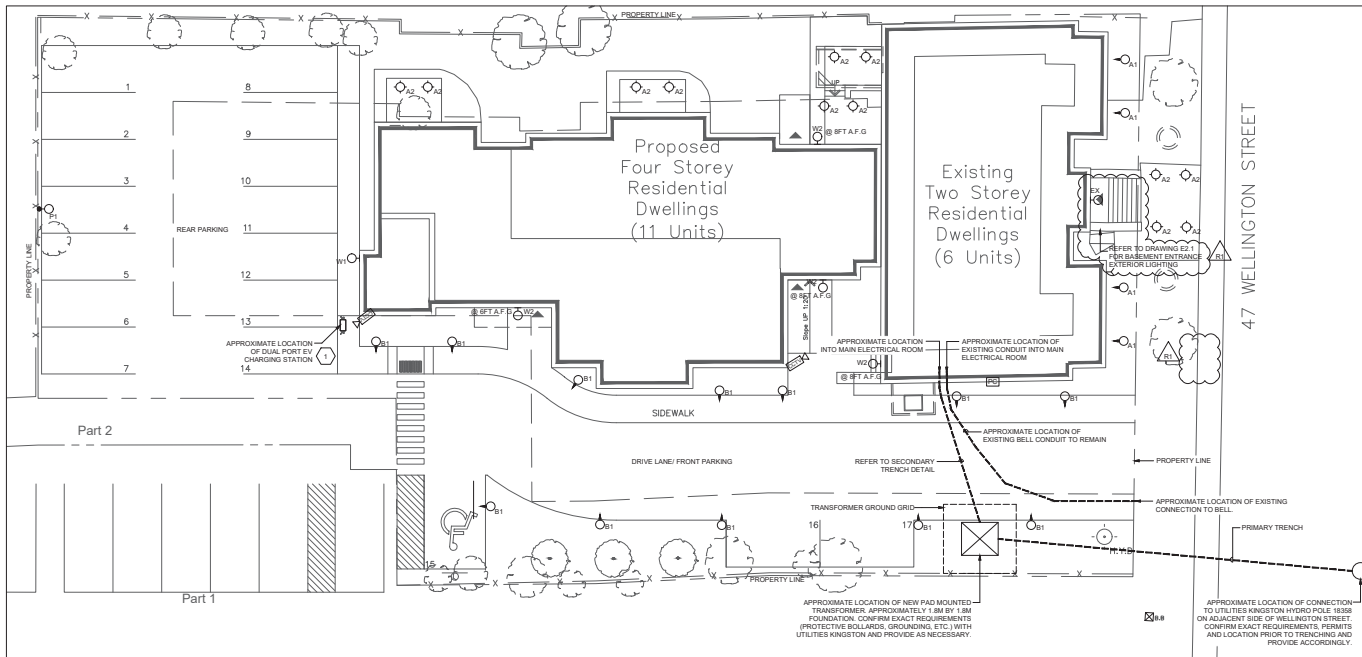


Garbage Room – to be retained and painted grey or black

North Side Doors



Basement - to be replaced with matching door (metal-clad wood) painted black



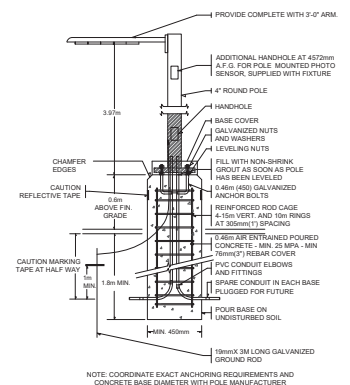
NOTES: INSTALL AS PER DESC DIAGRAM D11 DETAIL 3 AND TABLE D11A

SECONDARY TRENCH DETAIL
SCALE: N.T.S.

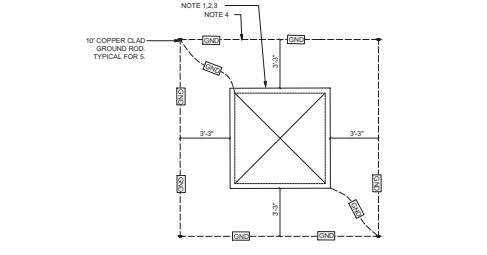
ELECTRICAL SITE PLAN LAYOUT
SCALE: 3/32" = 1'-0"

- GENERAL NOTES:**
- COORDINATE MAIN BUILDING SERVICE AND ALL WORKS RELATED TO THE MAIN SERVICE TRANSFORMER WITH UTILITIES KINGSTON.
 - ROUTING OF TRENCHES ARE PROPOSED ROUTES ONLY. COORDINATE WITH CITY OF KINGSTON FOR WELLINGTON ST DODGING, CIVIL AND STRUCTURAL FOR SERVICES AND COLUMN FOUNDATION FOOTINGS.
 - ROUTING OF CONDUITS ARE PROPOSED ROUTES ONLY. COORDINATE WITH MECHANICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL ENGINEERS FOR ANY INTERFERENCE WITH INTERIOR PIPING EQUIPMENTS, ETC.
 - PROVIDE WATER PROOF SEAL (LINK SEAL OR APPROVED ALTERNATE) FOR PENETRATIONS OF CABLES AND CONDUITS THROUGH EXTERIOR WALLS.
 - PROVIDE TRANSFORMER VALVETS TO MEET THE REQUIREMENTS OF THE ONTARIO ELECTRICAL SAFETY CODE, THE BUILDING CODE AND UTILITIES KINGSTON.
 - THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CIVIL WORK RELATED TO THE ELECTRICAL SYSTEM INCLUDING PRIMARY AND SECONDARY CABLES AND DUCT WORK AND ALL ELECTRICAL WORK FOR SECONDARY.
 - ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL PRIMARY CABLES FROM THE RISER POLE ON WELLINGTON STREET TO THE TRANSFORMER PAD. PRIMARY CABLES TO BE OF SUFFICIENT LENGTH TO EXTEND 1' ABOVE THE SYSTEM NEUTRAL ON RISER POLE, COMPLETE 1' FULL LOOP INSIDE THE TRANSFORMER PAD AND EXTEND 6' ABOVE THE CENTRE OF THE TRANSFORMER PAD OPENING.
 - ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL SECONDARY CABLES FROM THE SWITCHBOARD TO THE TRANSFORMER PAD. SECONDARY CABLES TO BE OF SUFFICIENT LENGTH TO COMPLETE 1' FULL LOOP INSIDE THE TRANSFORMER PAD AND EXTEND 6' ABOVE THE CENTRE OF THE TRANSFORMER PAD OPENING.

- DRAWING NOTES (INDICATED WITH HEXAGONS):**
- PROVIDE DUAL EV CHARGING STATION AND ALL REQUIRED POWER AND DATA CONNECTIONS TO STATION, CONFIRM EXACT REQUIREMENTS WITH MANUFACTURER INSTALLATION GUIDE AND PROVIDE AS NECESSARY.



TYPICAL POLE BASE DETAIL
SCALE: N.T.S.



- TRANSFORMER PAD NOTES:**
- PROPOSED LOCATION FOR DISTRIBUTION TRANSFORMER SUPPLIED BY KINGSTON HYDRO. COORDINATE EXACT LOCATION ON SITE.
 - PROVIDE TRANSFORMER BASE AND PAD PER KINGSTON HYDRO DRAWINGS K03-03-123
 - PROVIDE ADEQUATE SECONDARY CONDUCTOR SLACK IN TRANSFORMER BASE FOR CONNECTION BY KINGSTON HYDRO.
 - PROVIDE GROUNDING GRID AROUND TRANSFORMER PER DRAWING. REFER TO KINGSTON HYDRO DRAWING K03-03-107 AND ESA BULLETIN 36-15-16.
 - KINGSTON HYDRO TO PROVIDE PRIMARY SERVICE TRANSFORMER AND TRANSFORMER CONNECTIONS.

TRANSFORMER PAD DETAIL
SCALE: 1/4" = 1'-0"

EXTERIOR LIGHTING FIXTURE SCHEDULE				
SYMBOL	DESCRIPTION	VOLTAGE	LAMPS	MOUNTING
P1	LED POLE MOUNTED PARKING LOT DARK SKY COMPLIANCE FIXTURE C/W TYPE A MEDIUM DISTRIBUTION C/W HOUSE SHIELD, 3FT ARM, BUILT-IN PHOTOCELL AND POLE MOUNTED OCCUPANCY MOTION SENSOR. FIXTURE TO BE CONTROLLED BY TIME CLOCK PHOTOCELL AND POLE MOUNTED OCCUPANCY SENSOR MOUNTING SENSOR AT 4' OR AS RECOMMENDED BY MANUFACTURER. PROVIDE MOUNTING KIT AND EXTERNAL GLASS SHIELD.	120	38W LED 4200 LUMENS 3000K	POLE MOUNTED AT 19FT A.F.G.
W1	LED WALL PACK WITH DARK SKY COMPLIANCE. FIXTURE TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL, C/W TYPE 3 MEDIA DISTRIBUTION C/W WITH HOUSE SHIELD.	120	28W LED 2500 LUMENS 3000K	WALL MOUNTED AT 11FT A.F.G.
W2	LED WALL PACK WITH DARK SKY COMPLIANCE. FIXTURE TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL, C/W VISUAL COMFORT FORWARD THROW DISTRIBUTION.	120	10W LED 1100 LUMENS 3000K	WALL MOUNTED. REFER TO DRAWINGS FOR HEIGHT A.F.G.
B1	4" LED BOLLARD WITH DARK SKY COMPLIANCE. FIXTURE TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL, C/W ASYMMETRIC DISTRIBUTION.	120	22W LED 1700 LUMENS 3000K	GROUND MOUNTED
A1	LED WALL WASH LANDSCAPE FIXTURE. FIXTURE TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL, C/W WIDE DISTRIBUTION, INTEGRAL DIMMER, AND ALL MOUNTING ACCESSORIES.	120	3.4 TO 16.5W LED 95 TO 800 LUMENS 3000K	GROUND MOUNTED
A2	2" LED RECESSED IN GROUND FIXTURE. FIXTURE TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL, C/W ALL MOUNTING ACCESSORIES.	120	4.1W LED 245 LUMENS 3000K	RECESSED IN GROUND
C1	9" LED SURFACE MOUNTED FIXTURE. FIXTURE TO BE CONTROLLED BY TIME CLOCK AND PHOTOCELL, C/W ALL MOUNTING ACCESSORIES.	120	12W LED 1000 LUMENS 3000K	SURFACE MOUNTED, CEILING

KEYPLAN

REVISIONS

NO.	REVISIONS	DATE
00	ISSUED FOR BUILDING PERMIT	20.10.23
01	ISSUED FOR ESA SUBMISSION	20.11.17
02	RE-ISSUED FOR PERMIT	20.12.16
R1	RE-ISSUED FOR PERMIT	21.01.29



DESIGN	KRG	DRAWN	KRG
CHECKED	AMA	REVIEWED	AMA

PROJECT
47 WELLINGTON APARTMENTS

ADDRESS
47 WELLINGTON ST. KINGSTON, ON

PROJECT NO.
CE-4404

DRAWING TITLE
ELECTRICAL SITE PLAN & DETAILS

DRAWING NUMBER
E1.1 OF 3



View 1
47 Wellington



View 2
47 Wellington



View 3
47 Wellington



View 4
47 Wellington

Heritage Kingston

Summary of Input from the Technical Review Process

P18-111-2020

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Bridget Doherty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councilor Gary Oosterhof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Mitchell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Zoe Harris	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Banfield	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Moya Dumville	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

City of Kingston
216 Ontario Street
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Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	February 3, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	Alterations and/or repair
File Number:	P18-111-2020
Property Address:	47 WELLINGTON ST

Description of Proposal:

The subject property is located on the east side of Wellington Street, between Gore and Earl Street in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. Heritage Act approval was granted for a four storey rear addition on May 8, 2019 (file P18-135-2018). The applicant is now requesting heritage approval to make a number of alterations to the existing historic former school building. The alterations include: 1. replacing a total of 38 later windows on all sides of the building with metal-clad wood windows from Norwood, painted black, that match the existing window patterns/styles (17 period windows on north elevation are to be retained); 2. infilling portions of four rear (south) facing openings with stone, recessed 3 inches, to accommodate new windows; 3. replace two south facing and one north facing doors (lower level); 4. install new metal cresting on the tower; 5. replace the main front steps with a wood-textured concrete staircase (grey tone); 6. replace main front door with a new wooden door with glazing, and repair arched transoms above; 7. replace the roofing with similar grey asphalt single roofing; 8. replace rain gear with a grey aluminium product; 9. repair all wooden features in-kind as needed and repaint in a light grey tone; 10. Install a number of ground-mounted LED lights to illuminate the building and entrance. Details plans, cover letter and specifications have been uploaded as part of this submission.

Comments for Consideration on the Application:

This is a complicated application and I may have missed some items. There may need to be some follow-up comments. On the whole this project looks very promising but there are some issues.

I did not see the condition report on doors and windows that was mentioned. It is good that the main windows on the street façade will be retained. Presumably they will be

upgraded thermally but there is no information to ensure that the exterior appearance will be protected.

The main door appears to be in good condition and should be retained. There is some damage at the lower edge but that should be repairable or could be covered with a brass plate. I agree with staff that the lower door panels should remain as wood, not replaced with glass. The upper windows and the transom provide ample natural light and extra light at knee level will not be significant.

My understanding is that there will not be glass guards on the stairs and I agree with staff that they are not appropriate. The replacement of the wood stairs with a concrete product seems unnecessary but could be acceptable.

The appearance of the infilled lower part of doorways to be converted to windows is not clear without a diagram. Presumably infilling with stone set back 3" is intended to retain the line of the existing brick jambs and this should be reasonable.

It is good that the cresting will be returned to the tower. However the proposed design looks more like a railing than cresting. It should look similar to the original but need not be an accurate copy.

The proposed shiny black cladding on parts of the new structure will not be sympathetic to the heritage building. A softer textured colour (graphite?) is desirable.

The proposed black finish on the doors and windows on the heritage building is most unsuitable. Limestone is an admirable building material but it should be complemented by a trim in a softer warmer colour. Are there any black doors on the "Kingston Doors" poster? What colour for the bargeboards?

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Date:	February 4, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Alteration and/or repair
File Number:	P18-111-2020
Property Address:	47 WELLINGTON ST

Description of Proposal:

The subject property is located on the east side of Wellington Street, between Gore and Earl Street in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. Heritage Act approval was granted for a four storey rear addition on May 8, 2019 (file P18-135-2018). The applicant is now requesting heritage approval to make a number of alterations to the existing historic former school building. The alterations include: 1. replacing a total of 38 later windows on all sides of the building with metal-clad wood windows from Norwood, painted black, that match the existing window patterns/styles (17 period windows on north elevation are to be retained); 2. infilling portions of four rear (south) facing openings with stone, recessed 3 inches, to accommodate new windows; 3. replace two south facing and one north facing doors (lower level); 4. install new metal cresting on the tower; 5. replace the main front steps with a wood-textured concrete staircase (grey tone); 6. replace main front door with a new wooden door with glazing, and repair arched transoms above; 7. replace the roofing with similar grey asphalt single roofing; 8. replace rain gear with a grey aluminium product; 9. repair all wooden features in-kind as needed and repaint in a light grey tone; 10. Install a number of ground-mounted LED lights to illuminate the building and entrance. Details plans, cover letter and specifications have been uploaded as part of this submission.

Comments for Consideration on the Application:

The intent of this application is excellent. However there are so many details that I would prefer to be taken through them individually, with specifics – thus 9 and 10 are far too general to comment on. As long as staff are satisfied that the proposed changes are sympathetic, I can agree.



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Date:	February 9, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Donald Mitchell
Application Type:	Alterations and/or repair
File Number:	P18-111-2020
Property Address:	47 WELLINGTON ST

Description of Proposal:

The subject property is located on the east side of Wellington Street, between Gore and Earl Street in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. Heritage Act approval was granted for a four storey rear addition on May 8, 2019 (file P18-135-2018). The applicant is now requesting heritage approval to make a number of alterations to the existing historic former school building. The alterations include: 1. replacing a total of 38 later windows on all sides of the building with metal-clad wood windows from Norwood, painted black, that match the existing window patterns/styles (17 period windows on north elevation are to be retained); 2. infilling portions of four rear (south) facing openings with stone, recessed 3 inches, to accommodate new windows; 3. replace two south facing and one north facing doors (lower level); 4. install new metal cresting on the tower; 5. replace the main front steps with a wood-textured concrete staircase (grey tone); 6. replace main front door with a new wooden door with glazing, and repair arched transoms above; 7. replace the roofing with similar grey asphalt single roofing; 8. replace rain gear with a grey aluminium product; 9. repair all wooden features in-kind as needed and repaint in a light grey tone; 10. Install a number of ground-mounted LED lights to illuminate the building and entrance. Details plans, cover letter and specifications have been uploaded as part of this submission.

Comments for Consideration on the Application:

Interesting to note that Report HK-19-021 from April 17, 2019 which related to an application that proposed a rear addition linked centrally to the original schoolhouse “*did not at that time propose any repairs or alterations to the front or side elevations of the heritage building.*” As emergency masonry repairs have been undertaken by Director’s approval since and now a scope of work for repair and replacement of elements/attributes on the original heritage structure it seems curious whether some awareness of this current application’s scope of work was known in early 2019. It seems the HK committee of that composition would have been more fully informed to address

this scope of work as well. I'd echo comments on DASH by other committee members that fuller explanation and walk through is likely advisable to delve into and discuss the considerations and potential conditions. Staff would possess this greater understanding and knowing which elements are delegated authority versus HK Committee advisory aspects would also be beneficial to providing effective input.

I question, to what degree the decisions of separate applications should be handled in relation to one another versus wholly separate decisions. It is a concern, perhaps baseless, that applications could strategically propose an addition and then once approved justify changes to elements/attributes of the Part IV & V to align with the new addition that might otherwise not be deemed acceptable.

For example, to what extent should colour choice of window frames and other elements be made as though no addition existed versus in direct relation to the new addition. As renderings in 2019 presented both white – mostly white – and in some cases possibly a 'darker' colour on the heritage structure (see page 7 of Exhibit C of that Apr. 17th 2019 report for 'dark' rendering and page 1-6 for white) and now 'black' is presented in the current renderings in visual context of the additions' adoption of dark brown, which was seemingly not presented in 2019, it is difficult to accept the 'black' as being appropriate for the heritage structure judged entirely on its own merits.

I question, what is the heritage 'support' for this choice over white, blue or other treatments of similar school or institutional buildings in the heritage district that in some cases possess window colours such as dark grey or green? Many structures in the immediate street actually appear to possess two colour treatments around their windows with white a popular choice for colour contrast.

Understood that with the existence of the addition and its design choices that black or dark brown might 'now' to some people be more effective with the addition as it is approved. To my mind, it becomes a subjective question of what's 'appropriate' for the heritage structure itself where in the area context and from an intangible heritage perspective the choice of black visually changes the public's perception of the heritage where the white or white and another mid-spectrum colour appears to accentuate the openings against both the red brick and grey limestone materials. The black appears to 'lose' the windows existing quality and their dimensional details especially in the night (lit) rendering provided.

Generally, it seems in the current renderings, the high contrast of the brown & white materials of the addition now appears to draw focus away from the heritage structure and the heritage structure itself now appears to have less colouring and contrast in its elements like the stairs, door and doorway now proposed as single shades of a mid-range grey and black.

Have no present concerns with construction aspects of replacements and repairs as I understand them from the application materials. Assumed tactile warning will be black and metal as opposed to plastic or yellow – code specifies colour contrast not a specific colour is my understanding. Assumed 3" recess (recedes?) is to provision distinctness from original openings and new infill materials.

Overall, it seems a positive project both applications current and previously approved. Would appreciate aforementioned explanations and walk-through of the changes with some understanding of the rationale behind decisions and how they are supported in relevant legislations and guidelines plus with area context.

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Date:	February 10, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	Alteration and/or repair
File Number:	P18-111-2020
Property Address:	47 WELLINGTON ST

Description of Proposal:

The subject property is located on the east side of Wellington Street, between Gore and Earl Street in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. Heritage Act approval was granted for a four storey rear addition on May 8, 2019 (file P18-135-2018). The applicant is now requesting heritage approval to make a number of alterations to the existing historic former school building. The alterations include: 1. replacing a total of 38 later windows on all sides of the building with metal-clad wood windows from Norwood, painted black, that match the existing window patterns/styles (17 period windows on north elevation are to be retained); 2. infilling portions of four rear (south) facing openings with stone, recessed 3 inches, to accommodate new windows; 3. replace two south facing and one north facing doors (lower level); 4. install new metal cresting on the tower; 5. replace the main front steps with a wood-textured concrete staircase (grey tone); 6. replace main front door with a new wooden door with glazing, and repair arched transoms above; 7. replace the roofing with similar grey asphalt single roofing; 8. replace rain gear with a grey aluminum product; 9. repair all wooden features in-kind as needed and repaint in a light grey tone; 10. Install a number of ground-mounted LED lights to illuminate the building and entrance. Details plans, cover letter and specifications have been uploaded as part of this submission.

Comments for Consideration on the Application:

On the whole the proposed rehabilitation of this Part IV and Part V designated Heritage building has many merits, however concerns with some of the alterations for approval are outlined below:

1. Replacement windows: Best practice is the retention of the 17 period windows on the north elevation and is to be commended. The style proposed to replace the non-original windows is acceptable but the colour chosen is not appropriate for this Heritage building or HCD. Norwood window colour selections such as Graphite, Slate and even the darker Iron Ore would be less harsh and more complimentary to the building.

Although not part of this application, by changing the colour of the cladding and trim material on the addition from Midnight Black to Aged Pewter or again the darker Iron Grey, consistency and coordination between the original building and the addition could be achieved. Samples of window and building cladding should be presented to Heritage staff for approval to ascertain that they are appropriate and complimentary to the original building.

2. Infill of 4 rear windows: Although infill of windows is never the first choice, the proposal to recess the infill seems the best option taking into consideration the rehabilitation needs of this building.
3. Replacement of 3 doors: Examples of the types of doors proposed will need to be provided to ensure that they are compatible to the original building.
4. Tower cresting: Because there are existing photos of original tower cresting, replacement cresting should be designed to replicate the original and not appear like “fencing” shown in the architectural drawings and renderings. Reference: Standards & Guidelines For the Conservation of Historic Places in Canada - Roofs 4.3.3 #31, 32, 35
5. Replacement of main front steps: This modern looking replacement using “wood texture” concrete in such an obvious location should not be undertaken and other options for ensuring safe ingress and egress for both the lower and upper levels should be explored, for example, a replacement wooden staircase design by a Heritage carpenter that incorporates safety features and shelters the lower entrance. Repairing and reusing the existing metal railing is desired. Reference: S & G - Entrances, Porches & Balconies 4.3.6 #19
6. Replacement of front door: Refurbishment of the existing front door, the main entrance of the building and very conspicuous street side is best practice and is to be expected given the number of products now available for this type of work. Reference: S & G - Windows, Doors & Storefronts 4.3.5 #15, 16, 17, 19
7. Replacement of roofing: The BP Everest Twilight Grey shingles selected are Architectural shingles and not acceptable in the Old Sydenham HCD Plan 4.3.1. If asphalt is to be used then plain solid coloured dark shingles should be chosen, for example, BP Classic 3-Tab.
8. Replace rain gear: A sample of the grey aluminum needs to be provided to Heritage staff to ensure compatibility with the original building.
9. Repair all wooden features: This is commendable and will enhance this project. Paint colour selected will need to be provided to Heritage staff for approval.
10. Building lighting: Justification for the need of ground mounted lighting to illuminate the exterior of this privately owned building other than lighting the entrances and exits should be provided. For any lighting, specifications are needed to ensure compatibility

with the Heritage exterior. Fixtures should be Dark Sky Friendly and avoid light pollution and light trespass on neighbouring properties. A soft white light, 3000K, is recommended.

Recommended Conditions for the Application:
{Please enter your recommended conditions here}

Summary of Final Comments at March 17, 2021 Heritage Kingston Meeting

Ms. McFarlane suggested a grey tone from Norwood for the windows would be more suitable to the black. She also noted that the new lighting should be shielded to not bleed onto neighbouring properties.

Mr. Taylor commented that black is not the right colour for the windows and suggested that dark green would be more suitable to the Victorian style.

Mr. Mitchell commented on the window colour referencing examples along Wellington Street and Sydenham Street where a comparison can be made between the use of light and dark colours. He acknowledged that staff have indicated that direction cannot be provided on the use of colours; however, he noted that there is the potential to lose the quality of the window detailing when darker colours are used as the frame blends with the window pane itself. He also provided comment on the use of ground lighting suggesting that a timer as well as programming different intensities depending on the time of day could assist with limiting the adverse effects of the lighting on neighbouring properties and that way-finding programming can provide strategic light bleeds to help visitors navigate the site safely.



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-018**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Andrea Gummo, Manager, Heritage Planning
Date of Meeting: March 17, 2021
Subject: Application for Heritage Permit
Address: 40 Lower Union Street P18-822
File Number: File Number - P18-007-2021

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property with the municipal address of 40 Lower Union Street is located on the southwest side of Lower Union Street and is designated under Part V of the *Ontario Heritage Act*.

Applications for alteration under Section 42 of the *Ontario Heritage Act* (File Number - P18-007-2021) have been submitted to request approval to replace the rear deck with an enclosed porch addition.

This application was deemed complete on February 4, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on May 5, 2021.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

March 17, 2021

Page 2 of 7

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations to the property at 40 Lower Union Street, be approved in accordance with details described in the application (File Number - P18-007-2021), which was deemed completed on February 4, 2021 with said alterations to include:

1. The replacement of the existing rear deck with an enclosed porch addition; and

That the approval of the alterations be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. All *Planning Act* applications, including a Minor Variance application, as necessary, shall be completed;
3. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
4. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
5. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
6. Details related to the colour(s) of the siding, roof, windows and door shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property; and
7. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Planning Services for review and approval.

March 17, 2021

Page 3 of 7

Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Corporate Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required

March 17, 2021

Page 4 of 7

Options/Discussion:**Description of Application/Background**

The subject property at 40 Lower Union Street is located on the southwest side of Lower Union Street, just south of King Street East (Exhibit A – Context Maps & Photographs). The property contains a two-storey brick row house, which was constructed sometime between 1865 and 1875. The property is designated under Part V of the *Ontario Heritage Act* through By-Law Number 2015-67 as part of the Old Sydenham Heritage Conservation District.

An application for alteration under Section 42 of the *Ontario Heritage Act* (File Number - P18-007-2021) has been submitted to request approval to replace the existing rear deck with an enclosed porch addition. Supporting information, including architectural drawings and photographs are included as Exhibit B - Concept Plans, prepared by Mark Peabody Custom Builder of this report.

This application was deemed complete on February 4, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on May 5, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The property was designated under Part V of the *Ontario Heritage Act* in 2015 as part of the Old Sydenham Heritage Conservation District (HCD) through By-Law Number 2015-67. The HCD Property Inventory notes that the subject property is Significant to the District.

The Property Inventory Form describes this building as:

“...a more elaborate version of the mid-19th century row houses which they abut, and with which they are flush in setback.”

The full description and evaluation have been included as Exhibit C - Property Inventory Evaluation Form.

Cultural Heritage Analysis

Staff visited the site on February 9, 2021. The existing deck on the rear (west elevation) of the house is virtually invisible from the public realm. Looking north from Ontario Street, the replacement porch with walls and a roof and a minimally enlarged floor area may be minimally visible. As a result, the impact of the porch addition to the character of the Old Sydenham Heritage Conservation District (HCD) will be negligible.

March 17, 2021

Page 5 of 7

As proposed, the porch addition complies with the policies set out in Section 5.2.2 Additions and Section 5.4 Additions to Heritage Properties, of the Old Sydenham HCD Plan. The enclosed porch addition will be located at the rear (west elevation) of the house. At just under 14 feet at its highest point, the enclosed porch will be clearly secondary in terms of size to the house. The enclosed porch will be clad in board and batten wood siding to match the existing board and batten that clads the carriageway infill. The proposed windows and door are wood storm windows with divided lights and wood storm door. The proposed mono-pitch roof is a dark grey metal roof. This palette of materials and wood detailing will provide a distinguishable, but complementary contrast from the main house with its red brick exterior walls. The proposed porch addition will conceal the rear entrance doorway with brick jack arch; however, this entrance is not currently visible from the public realm. The metal roof flashing will be tucked into a mortar joint, which will need to be raked to 3/4 inch deep to accommodate the flashing; however, this is a reversible alteration. If the porch addition were to be removed in the future, this joint could be repaired and repointed. This addition will not cause irreversible changes to the building. In this instance, Section 5.4.3 Porches, verandahs and balconies is not relevant to this application, as it addresses porches facing the street.

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries' Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 6 and 7:
 - 6. Reversibility – Alterations should be able to be returned to original conditions.
 - 7. Legibility – New work should be distinguishable from old; and
- Achieve Standard 11 of Parks Canada's Standards and Guidelines, which directs one to "Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place."

Previous Approvals

None

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

March 17, 2021

Page 6 of 7

Planning Services: The subject property is designated 'Residential' on Schedule 3-A Land Use of the Official Plan and is zoned B.179 in Zoning By-Law Number 8499. Its site-specific zoning specifically states that the existing multiple family dwelling containing seven dwelling units shall be deemed a conforming use. Therefore, it is not considered a legal non-conforming use, and a minor variance application is required for any alteration (i.e. the porch addition) to the existing structure that does not conform to the provisions of the "B" Zone.

Building Division: The applicant is advised that a Building Permit is required for the proposed construction to the single-family townhouse dwelling.

Engineering Services Department: No comments

Kingston Hydro: No comments

Licensing and Enforcement: No comments

Utilities Kingston: Utilities Kingston has no issues or concerns with this application.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit D - Correspondence Received from Heritage Kingston.

Responding members provided that they had no concerns with the proposed porch addition. One member asked for clarification on its level of visibility from the public realm, and accordingly, staff have included photographs showing its minimal visibility.

Conclusion

Staff recommends approval of the application File Number (File Number - P18-007-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

March 17, 2021

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Old Sydenham Heritage Conservation District Plan

Designating By-Law Number 2015-67

City's Policy on Masonry Restoration in Heritage Buildings

City's Policy on Window Renovations in Heritage Buildings

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Alex Rowse -Thompson, Planner (Heritage), 613-546-4291 extension 3251

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

Exhibit A Context Maps and Photographs

Exhibit B Concept Plans, prepared by Mark Peabody Custom Builder

Exhibit C Property Inventory Evaluation Form

Exhibit D Correspondence Received from Heritage Kingston

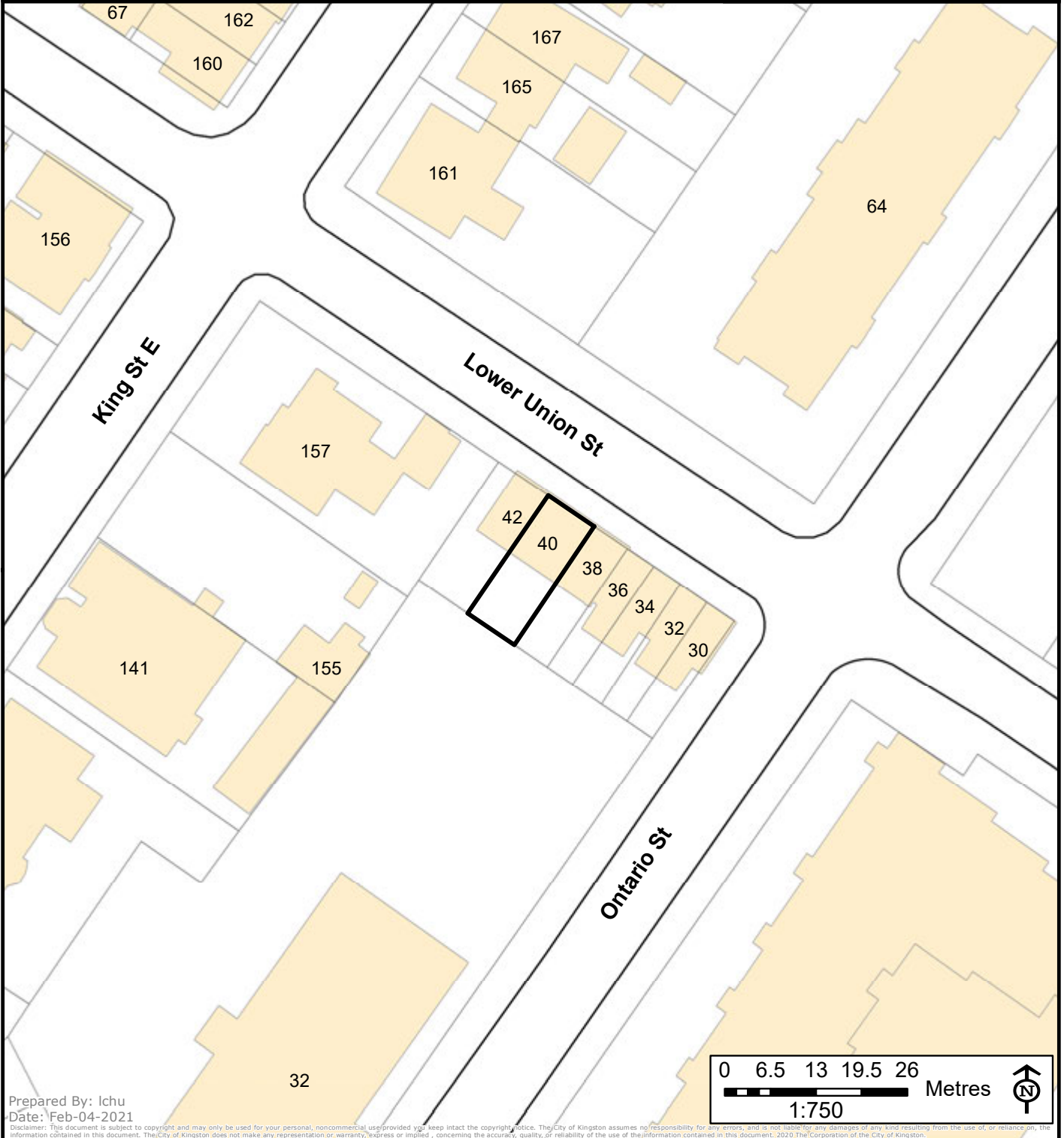
Exhibit E Final Comments from Heritage Kingston March 17, 2021



HERITAGE KINGSTON COMMITTEE

Key Map
Address: 40 Lower Union Street
File Number: P18-007-2021

 Subject Lands



Prepared By: Ichu
Date: Feb-04-2021

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HERITAGE KINGSTON COMMITTEE

Neighbourhood Context (2020)

Address: 40 Lower Union Street

File Number: P18-007-2021

-  Subject Lands
-  Property Boundaries
-  Proposed Parcels










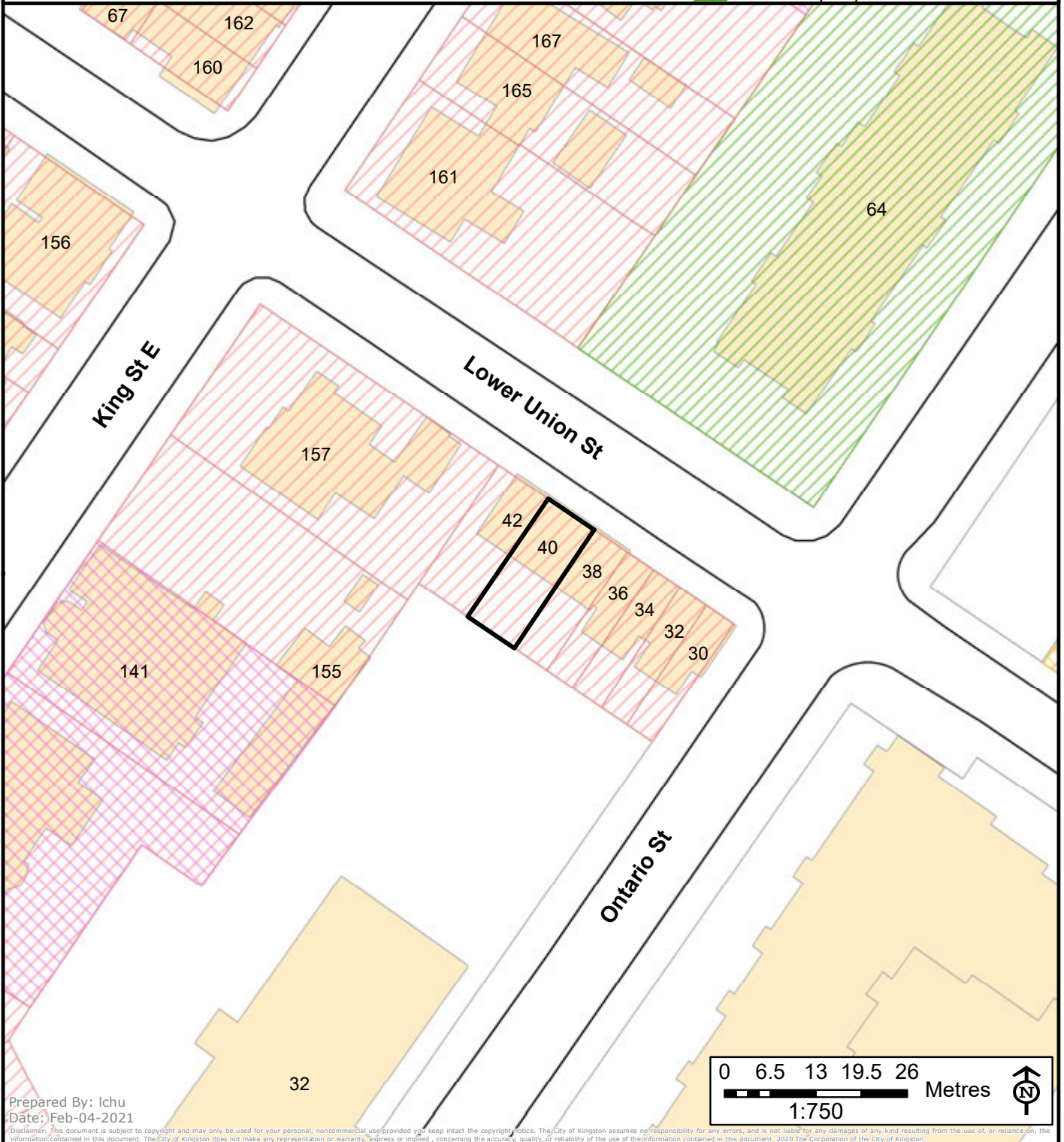
HERITAGE KINGSTON COMMITTEE

City of Kingston Heritage Register

Address: 40 Lower Union Street

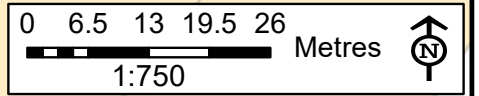
File Number: P18-007-2021

-  Subject Lands (Old Sydenham Heritage Conservation District)
-  National Historic Site
-  Designated Property
-  Easement
-  Listed Property



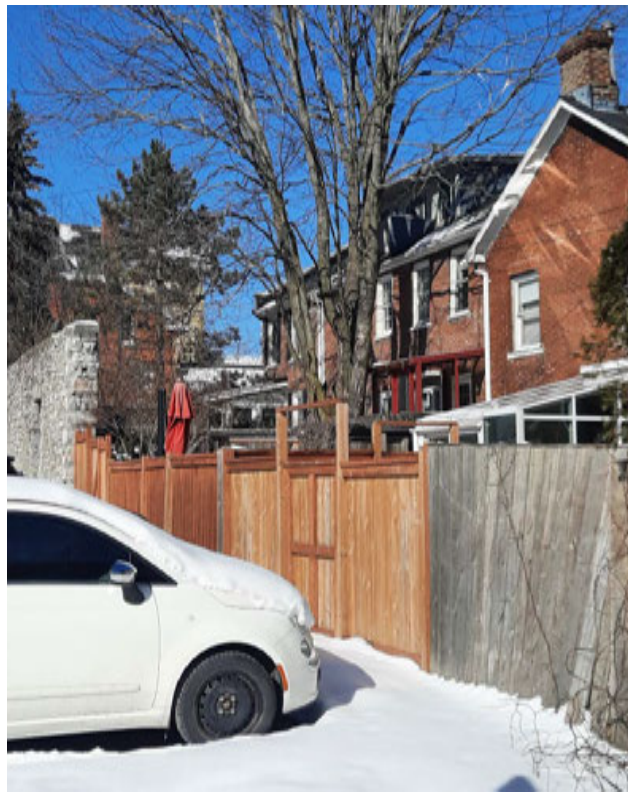
Prepared By: Ichu
Date: Feb-04-2021

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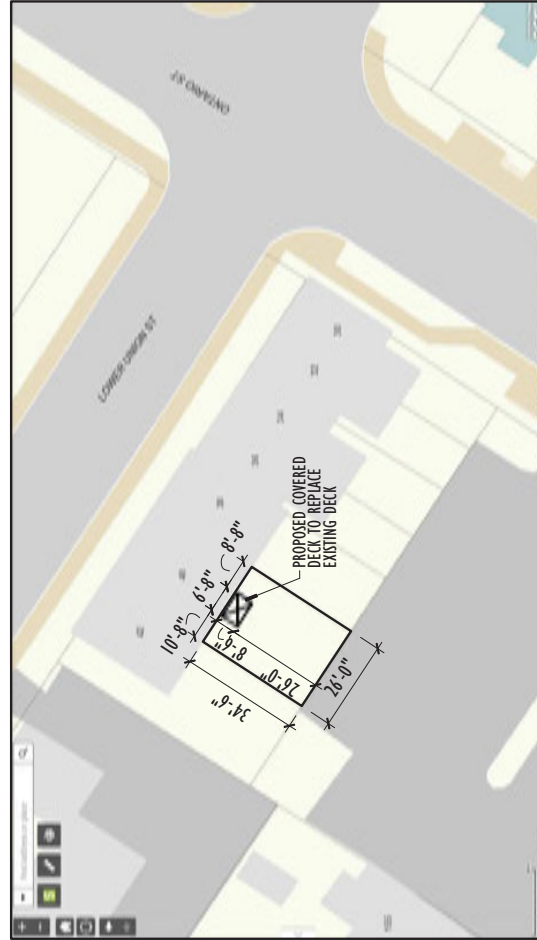
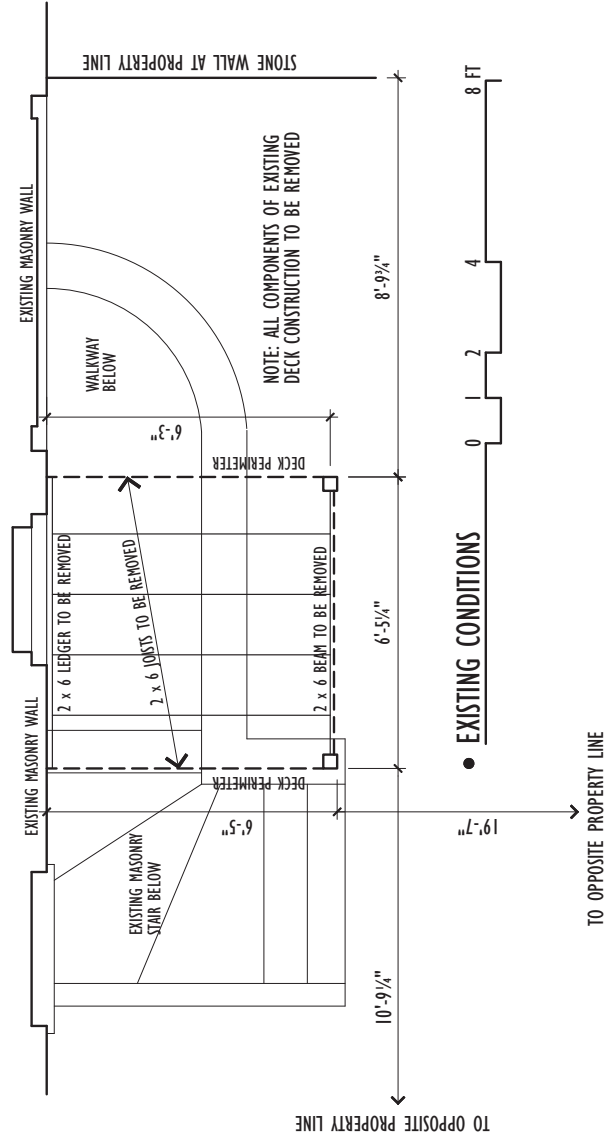
Front Elevation (Northeast)



View northeast from Ontario Street



View north from Ontario Street



• SITE DIAGRAM
NO SCALE

MARK PEABODY
CUSTOM BUILDER
DESIGN BUILD
613-561-2687
BCIN 23891

I, THE UNDERSIGNED, TAKE RESPONSIBILITY FOR THESE DRAWINGS AND DEEM THEM COMPLETE.

MARK PEABODY
13 JAN 2021

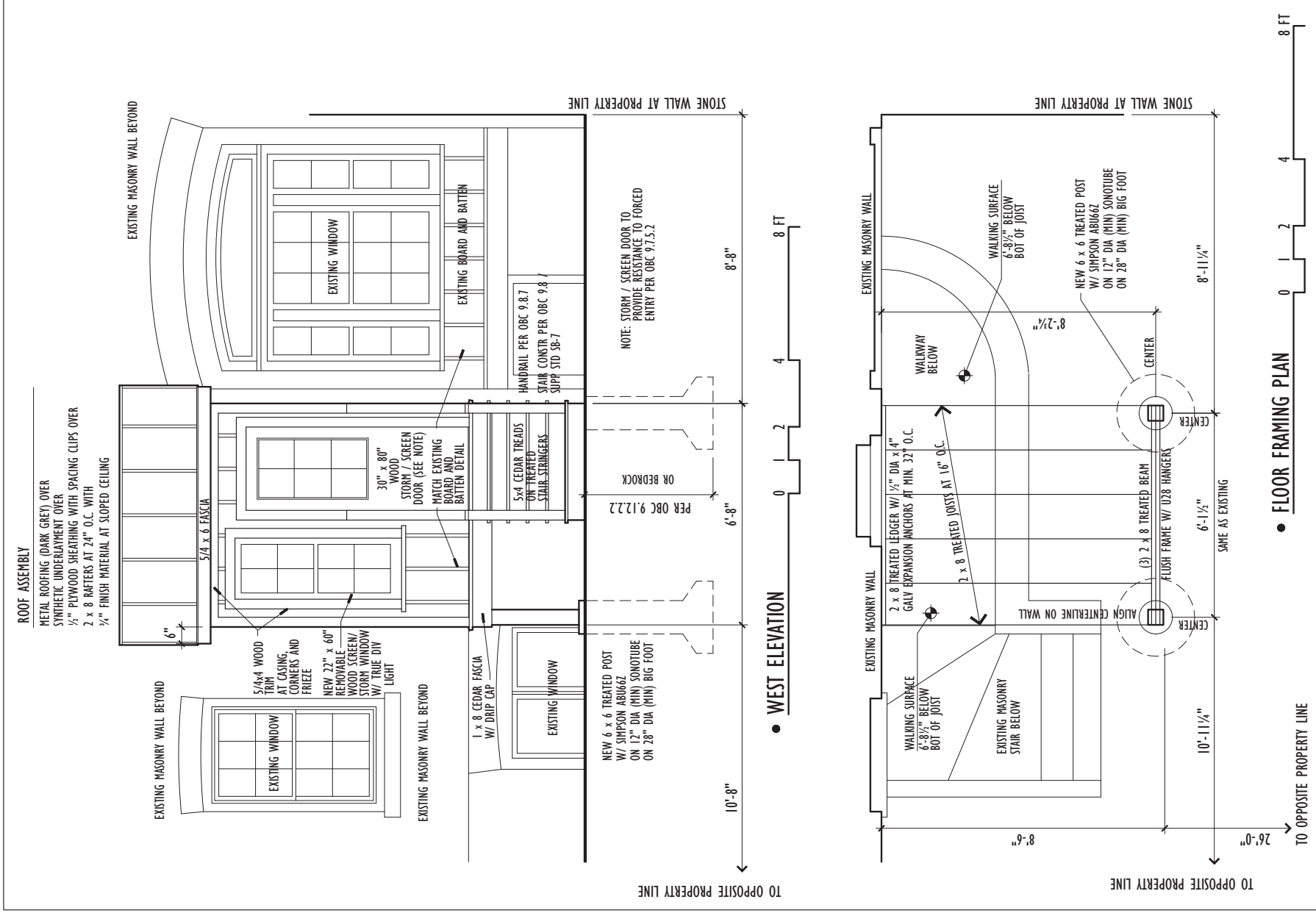
40 LOWER UNION
REAR COVERED DECK
KINGSTON ONTARIO

NOTE:
THESE PLANS ARE A REPRESENTATION OF THE PROPOSED BUILDING PROJECT. ALTHOUGH TO SCALE, DRAWINGS SHOULD NOT BE SCALED FOR CONSTRUCTION PURPOSES. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE. ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTOR AND ANY VARIATION IS TO BE VERIFIED WITH THE PROJECT DESIGNER AND STRUCTURAL ENGINEER.

ISSUE DATE:
13 JAN 21: PERMIT APPLY
03 FEB 21

DRAWN BY: TB

PORCH DRAWINGS
A·1.0



MARK PEABODY
 CUSTOM BUILDER
 DESIGN BUILD
 613-561-2687
 BCIN 23891

I, THE UNDERSIGNED, TAKE RESPONSIBILITY FOR THESE DRAWINGS AND DEEM THEM COMPLETE.

[Signature]
 MARK PEABODY
 13 JAN 2021

40 LOWER UNION
 REAR COVERED DECK
 KINGSTON ONTARIO

NOTE: THESE PLANS ARE A REPRESENTATION OF THE PROPOSED BUILDING PROJECT. ALTHOUGH TO SCALE, DRAWINGS SHOULD NOT BE SCALED FOR CONSTRUCTION PURPOSES. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE. ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY VARIATION IS TO BE VERIFIED WITH THE PROJECT DESIGNER AND STRUCTURAL ENGINEER.


ISSUE DATE:
 13 JAN 21: PERMIT APPLY
 03 FEB 21

DRAWN BY: TB

PORCH DRAWINGS

A.I.I.

MARK PEABODY
CUSTOM BUILDER
DESIGN BUILD
613-561-2687
BCIN 23891

I, THE UNDERSIGNED, TAKE RESPONSIBILITY FOR THESE DRAWINGS AND DEEM THEM COMPLETE.

MARK PEABODY
03 JUNE, 2020

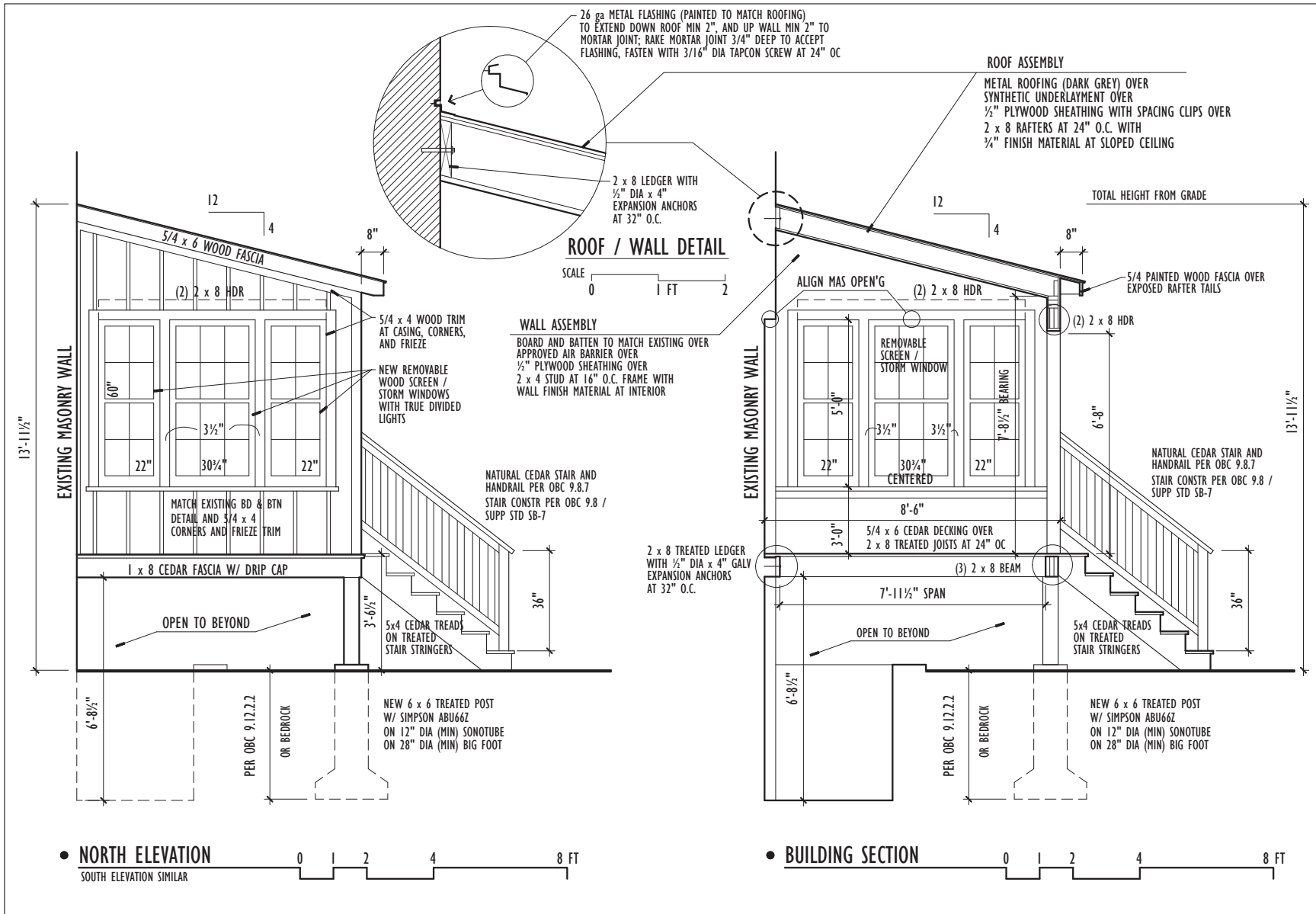
40 LOWER UNION
REAR COVERED DECK
KINGSTON ONTARIO

NOTE:
THESE PLANS ARE A REPRESENTATION OF THE PROPOSED BUILDING PROJECT. ALTHOUGH TO SCALE, DRAWINGS SHOULD NOT BE SCALED FOR CONSTRUCTION PURPOSES. WHETHER DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE. ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTOR AND ANY VARIATION IS TO BE VERIFIED WITH THE PROJECT DESIGNER AND STRUCTURAL ENGINEER.

ISSUE DATE:
13 JAN 21; PERMIT APPLY
03 FEB 21

DRAWN BY: TB

PORCH DRAWINGS
A·1.2



38-42 LOWER UNION STREET

Built: by 1875

Rating: S



This set of buildings is in place by 1875, when it is shown on a map by H. Brosius. They are not evident, however, on an 1865 map by Innes, which appears to depict a different structure in the middle of this block. Differences in the brickwork indicate that the present 42 Lower Union was after 38 and 40.

This is a more elaborate version of the mid-19th century row houses which they abut, and with which they are flush in setback. A distinguishing characteristic of this terrace is that, owing to slope of the street, the exposed part of its foundation is graduated. As such 38 Lower Union has a much taller foundation than 40 and 42. All three units feature basement windows with flat arches.

A carriageway that once divided 38 and 40 has been filled in, and a sunken entranceway has been added. Above the entrance is a 12-piece rectangular window with 4-piece sidelights, matching the first-storey windows of each unit. Because these features are recessed, the carriageway entrance remains an important design element of this building.

Each main entrance is recessed, flanked by plain wood reveals, and accessed by stairs that are flush with the façade. Their fanlight transoms contain 3 lights each, divided by thin radial arms. Plain stone sills support each window; the second storey windows are rectangular and 6/6.

The building's side-gable roof is raised above that of its neighbour on the southeast side. Its other end terminates at a firewall. Brick chimneys extend from the southeast side of 38 and 42 Lower Union. Dormers above the 40 Lower Union units are recent relative to the age of the building.*

* See photo, *Buildings of Architectural and Historical Significance*, Vol. 5, p. 203 (1980).



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

Date:
Form: Heritage Kingston Reviewer Form
Reviewer Name: Don Taylor
Application Type: New Construction
File Number: [P18-007-2021](#)
Property Address: 40 LOWER UNION ST

Description of Proposal:

The subject property at 40 Lower Union Street is located on the west side of Lower Union Street just south of King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant is seeking heritage approval to replace the existing rear deck with an enclosed porch addition. The proposed rear porch addition will be approximately 1.58 square metres larger in floor area than the existing deck.

Comments for Consideration on the Application:

No concerns.



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

Date:
Form: Heritage Kingston Reviewer Form
Reviewer Name: Peter Gower
Application Type: New Construction
File Number: [P18-007-2021](#)
Property Address: 40 LOWER UNION ST

Description of Proposal:

The subject property at 40 Lower Union Street is located on the west side of Lower Union Street just south of King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant is seeking heritage approval to replace the existing rear deck with an enclosed porch addition. The proposed rear porch addition will be approximately 1.58 square metres larger in floor area than the existing deck.

Comments for Consideration on the Application:

{Please enter your comments here} While I have no concerns with the proposal, I would like to know how well the site can be seen by the public.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

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Date:	February 10, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	New Construction
File Number:	P18-007-2021
Property Address:	40 LOWER UNION ST

Description of Proposal:

The subject property at 40 Lower Union Street is located on the west side of Lower Union Street just south of King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant is seeking heritage approval to replace the existing rear deck with an enclosed porch addition. The proposed rear porch addition will be approximately 1.58 square metres larger in floor area than the existing deck.

Comments for Consideration on the Application:

The detailed plans and photos are appreciated. No concerns.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

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Date:	2021-02-09
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Donald Mitchell
Application Type:	New Construction
File Number:	P18-007-2021
Property Address:	40 LOWER UNION ST

Description of Proposal:

The subject property at 40 Lower Union Street is located on the west side of Lower Union Street just south of King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant is seeking heritage approval to replace the existing rear deck with an enclosed porch addition. The proposed rear porch addition will be approximately 1.58 square metres larger in floor area than the existing deck.

Comments for Consideration on the Application:

No concerns. Assumed the retaining walls underneath existing deck are not heritage features. Enclosed porch with appropriate eaves and downspouts will presumably evacuate water well away from the heritage structure. Thanks for opportunity to comment.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

Summary of Final Comments at March 17, 2021 Heritage Kingston Meeting

No further comment was provided.