



**City of Kingston
Report to Committee of Adjustment
Report Number COA-21-025**

To: Chair and Members of the Committee of Adjustment
From: Lindsay Sthamann, Planner
Date of Meeting: April 19, 2021
Application for: Minor Variance
File Number: D13-008-2021
Address: 867 Woodbine Road
Owner: Bryan Bach and Danielle Sanderson
Applicant: Bryan Bach

Council Strategic Plan Alignment:

Theme: Regulatory & compliance

Goal: See above

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for minor variance for the property located at 867 Woodbine Road. The applicant is proposing to reduce the minimum side yard width to accommodate the construction of an attached garage on the West side of the existing single-family home.

The requested minor variance is consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 76-26. The requested minor variance is desirable for the appropriate development or use of the land, building or structure and is minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

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Variance Number 1: Minimum Interior Side Yard Width

By-Law Number 76-26: Section 12(2)(e)(ii)

Requirement: 4 feet

Proposed: 2 feet

Variance Requested: 2 feet

Recommendation:

That minor variance application, File Number D13-008-2021, for the property located at 867 Woodbine Road to reduce the minimum side yard width to accommodate the construction of an attached garage on the West side of the existing single-family home, be approved; and

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-21-025.

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Authorizing Signatures:



Lindsay Sthamann, Planner

In Consultation with the following Management of the Community Services Group:

Tim Park, Acting Director, Planning Services

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Options/Discussion:

On February 11, 2021, a minor variance application was submitted by Bryan Bach, on behalf of the owner, Bryan Bach and Danielle Sanderson, with respect to the property located at 867 Woodbine Road. The variance is requested to reduce the minimum side yard width to accommodate the construction of an attached garage on the West side of the existing single-family home. The proposed garage is approximately 11.5 feet wide and 21.5 feet long and 14 feet tall.

In support of the application, the applicant has submitted the following:

- Site Plan & Elevations (Exhibit G)
- Cover Letter (Exhibit H)

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located on the south side of Woodbine Road east of Bayridge Drive (Exhibit B – Key Map).

The subject property is designated Residential in the Official Plan (Exhibit E – Official Plan Map) and zoned R1 – ‘Residential Type 1’ in Zoning By-Law Number 76-26 (Exhibit F – Zoning Map). The property abuts other residential properties to the west, south, and east and a commercial zone across Woodbine Road to the north.

Application

The review of an application for minor variance(s) is not a simple mathematical calculation, but rather a detailed assessment of whether the variance(s) requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

Provincial Policy Statement

In addition to the four tests of a minor variance detailed above, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

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1) The general intent and purpose of the Official Plan are maintained

The subject property is designated 'Residential' in the City of Kingston Official Plan.

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan. The following provides these nine requirements and an assessment of how the proposal is consistent with each.

1. The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

The proposal is not anticipated to have any negative impacts on abutting properties or residential uses and/or structures. The proposal is compatible with the surrounding residential uses and will not result in significant impacts or changes to the surrounding area.

2. The proposed development will be compatible with surrounding uses, buildings or structures and *development* standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

The proposed attached garage will result in a development that is consistent with the existing built form of several residential buildings located along Woodbine Road. The overall design and scale of the proposal is not anticipated to cause any adverse impacts on the adjacent residential properties.

3. The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

The proposed development will not impact the ability of this site to provide parking or accessibility concerns. The proposed garage is large enough to accommodate the required parking space and is designed to be pass-through to maintain access to the rear yard.

4. The conformity of the proposal to any applicable urban design policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

The proposal generally conforms to applicable urban design policies, as outlined in Section 8 of the Official Plan. The proposed garage will have a height that is permitted in the R1 zone.

5. If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the

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protected views shown on Schedule 9 of this Plan, then a Heritage Impact Statement may be required to assist staff to determine if the resulting development is desirable;

The subject property is not designated under the Ontario Heritage Act nor is it adjacent to a designated property

- 6. The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

The subject property is located within the Urban Boundary with municipal water and sanitary services. The application was circulated to Utilities Kingston through technical review, who noted that there were no concerns with the application.

- 7. Whether the application and the cumulative impact of the proposed variances would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The proposal meets the four tests of a Minor Variance as outlined in the Planning Act and described herein.

- 8. The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

Multiple conditions of approval are recommended in this report in Exhibit A.

- 9. The degree to which such approval may set an undesirable precedent for the immediate area.

The proposal is in keeping and compatible with the existing development in the surrounding area and will not set an undesirable precedent.

The proposal meets the intent of the Official Plan, as the proposed attached garage will not result in any negative impacts to adjacent properties or to the neighbourhood.

2) The general intent and purpose of the zoning by-law are maintained

The subject property is zoned 'R1 – Residential Type 1' in the City of Kingston Zoning By-Law Number 76-26, entitled "Township of Kingston Restricted Area By-Law", as amended. The R1 zone permits a single-family dwelling house with an attached garage.

The proposal requires a variance to Section 12(2)(e)(ii) for a reduction in the minimum interior side yard width from 4 feet to 2 feet.

Variance Number 1: Minimum Interior Side Yard Width

By-Law Number: 76-26 Section 12(2)(e)(ii)

Requirement: 4 feet

Proposed: 2 feet

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Variance Requested: 2 feet

The proposed attached garage does not meet the minimum interior side yard width. The proposal complies with all other requirements of the R1 zone.

The intent of the minimum side yard width is to ensure adequate separation is achieved between structures and the lot lines, neighbouring structures, and to maintain access to the rear of properties. The proposed garage maintains a 2-foot setback to reduce impact on the neighbouring property. It also proposed a pass-through design which will maintain access to the rear of the property. The general intent and purpose of the by-law is maintained.

3) The variance is minor in nature

The variance is considered minor as it would be limited to the subject site, limiting the scope of any impacts to the subject property. The subject property is located in an area characterized by residential development. The proposed attached garage is not anticipated to impact the functionality of the side yard or the streetscape and will meet all other zoning requirements. Negative impacts are not anticipated to result from the proposed variance.

4) The variance is desirable for the appropriate development or use of the land, building or structure

The requested variance is necessary to allow the construction of an approximately 11.5-foot-wide attached garage. There is only 13.5 feet between the existing home and the property line. It is not possible to build an adequately wide garage without a variance to the zoning by-law interior side yard width requirement. The variance would facilitate the re-investment and minor development associated with the existing single-detached dwelling within a residential designated area of the City.

The variance is desirable and appropriate use of the land.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue | <input checked="" type="checkbox"/> Kingston Hydro | <input checked="" type="checkbox"/> City's Environment Division |
| <input checked="" type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input checked="" type="checkbox"/> Kingston Airport | | |

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Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Public Comments

At the time this report was finalized, no public comments were received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

There are no concurrent or relevant historic planning applications on the subject property.

Conclusion

The requested variance(s) maintain(s) the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 76-26. The proposal is desirable for the appropriate development or use of the land, building or structure and the requested variance(s) **is** minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will permit the construction of an attached garage on the west side of the existing single-family dwelling.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 76-26

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Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on April 19, 2021. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 24 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Tim Park, Acting Director, Planning Services, 613-546-4291 extension 3223

Lindsay Sthamann, Planner, 613-546-4291 extension 3287

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Neighbourhood Context Map (2021)
- Exhibit D Public Notification Map
- Exhibit E Official Plan Map
- Exhibit F Zoning By-Law Number 76-26, Map 5
- Exhibit G Site Plan & Elevations
- Exhibit H Cover Letter

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Exhibit I Site Photo

Recommended Conditions

Application for minor variance, File Number D13-008-2021

Approval of the foregoing application shall be subject to the following recommended conditions:

1. Limitation

That the approved minor variance applies only to the attached garage as shown on the approved drawings attached to the notice of decision.

2. No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. Building Permit Application Requirements

The owner/applicant shall provide to the Building Services a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings, when they make application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

4. Standard Archaeological Condition

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132) and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries at the Ministry of Government and Consumer Services (416-212-7499), the Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132), and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.




Planning Services

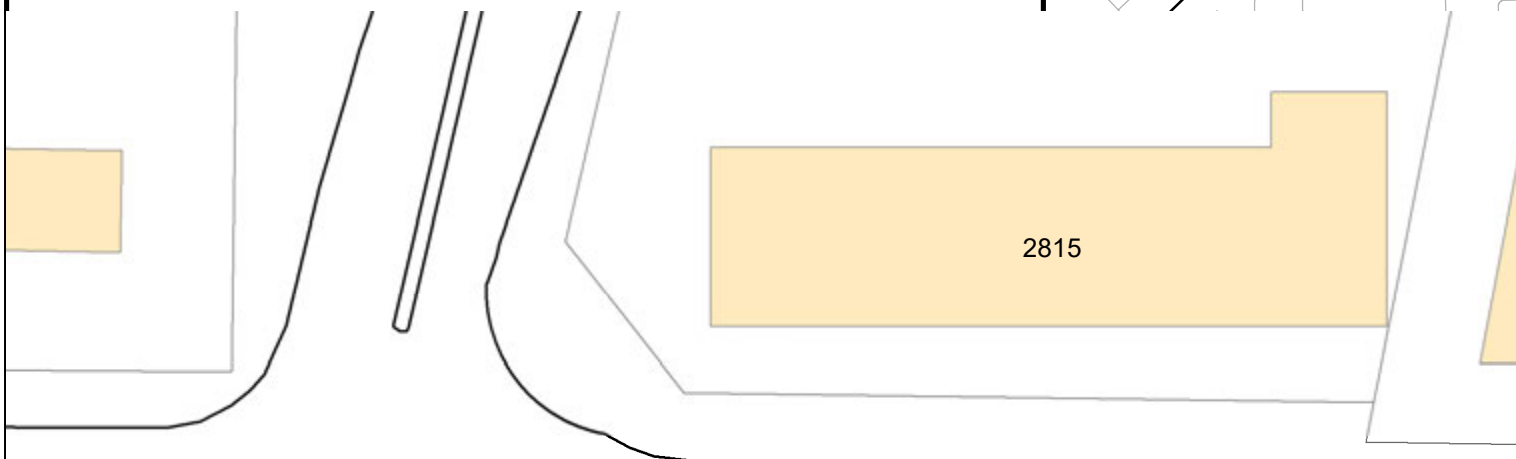
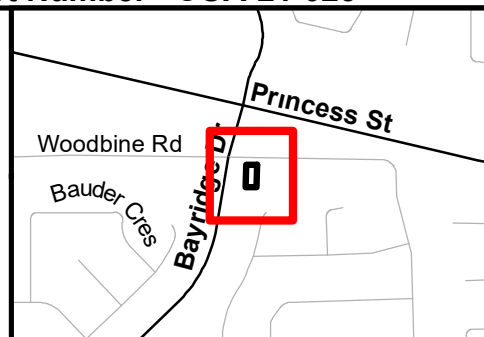
Committee of Adjustment

Key Map

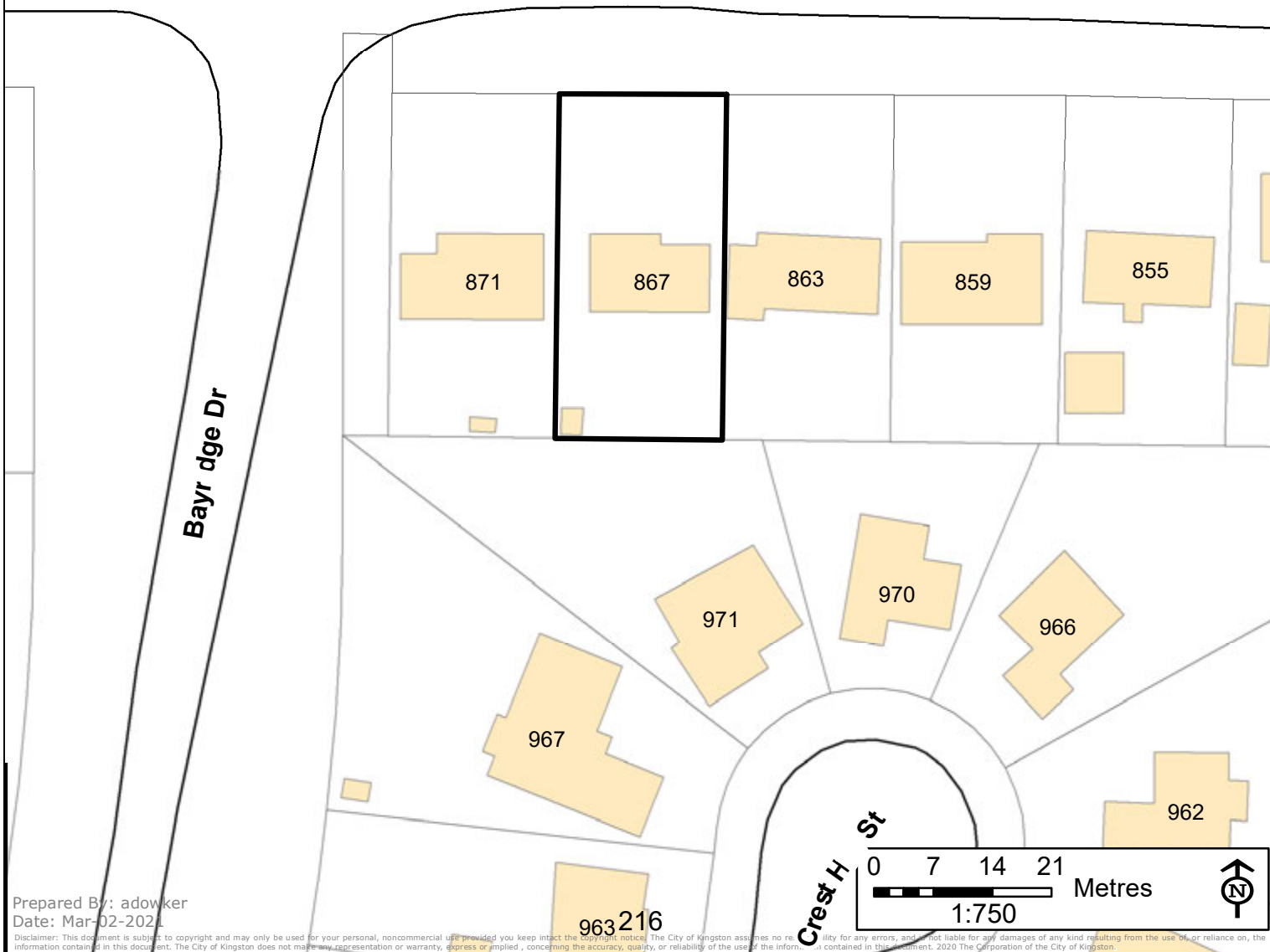
Address: 867 Woodbine Rd

File Number: D13-008-2021

 Lands Subject to Minor Variance

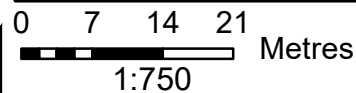


Woodbine Rd



Bayridge Dr




Crest H St

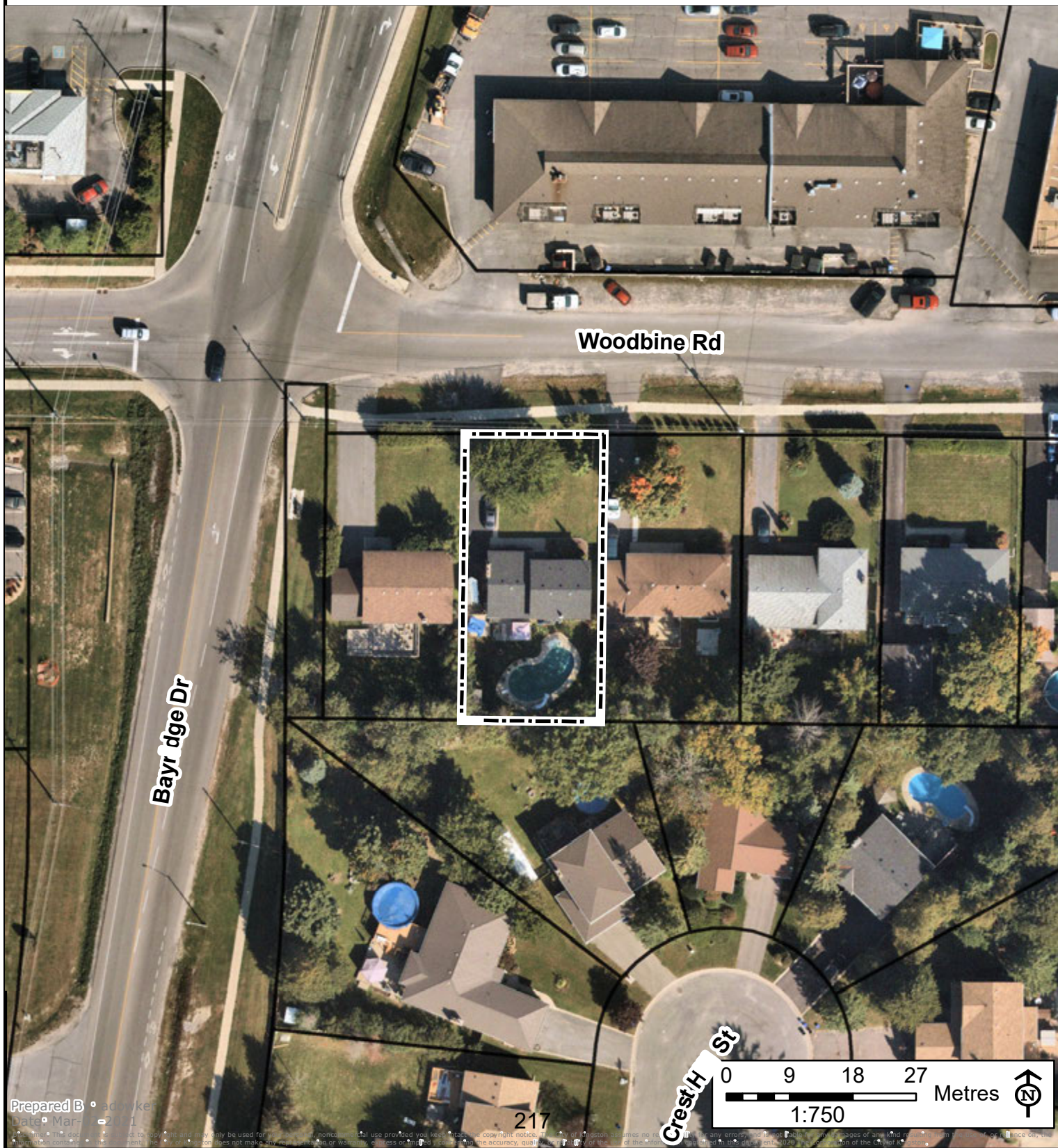




Committee of Adjustment Neighbourhood Context (2020)

Address: 867 Woodbine Rd
File Number: D13-008-2021

-  Subject Lands
-  Property Boundaries
-  Proposed Parcels







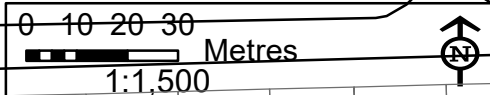
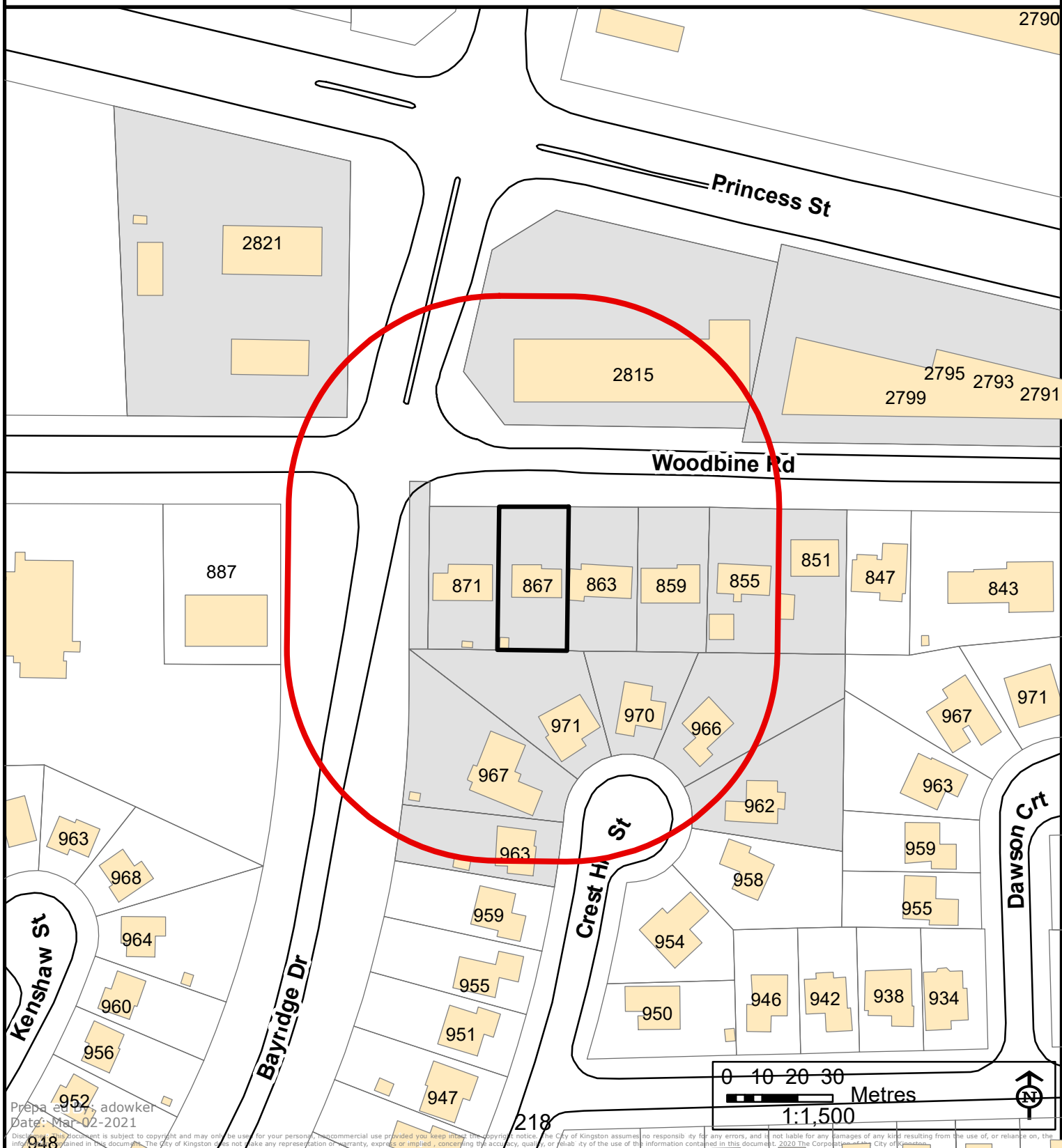


Planning Services

Committee of Adjustment Public Notice Notification Map

Address: 867 Woodbine Rd
File Number: D13-008-2021

-  60m Public Notification Boundary
-  Subject Lands
-  Property Boundaries
-  15 Properties in Receipt of Notice (MPAC)






Prepared by: adowker
Date: Mar-02-2021

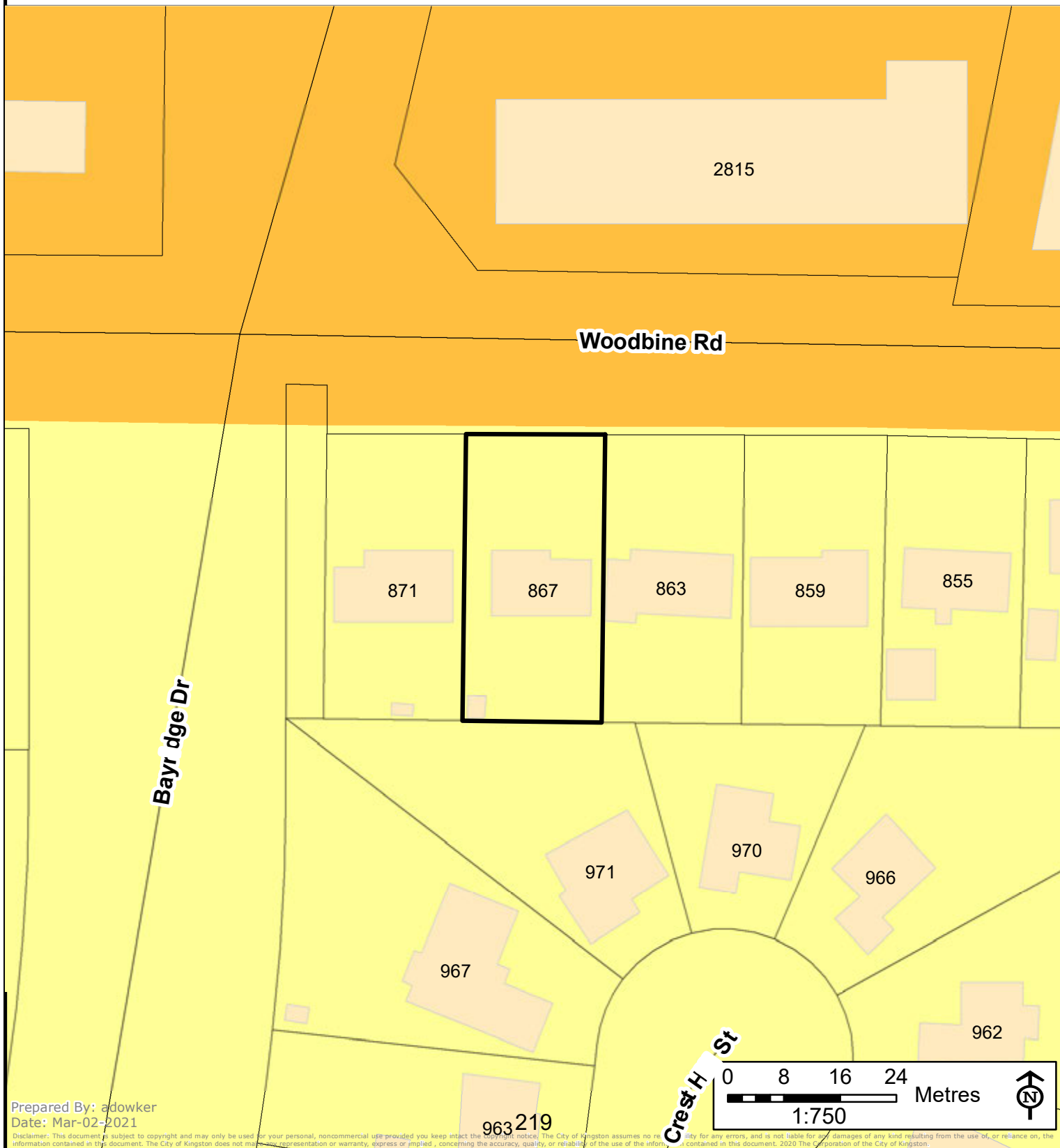


Planning Services

Committee of Adjustment
Official Plan, Existing Land Use

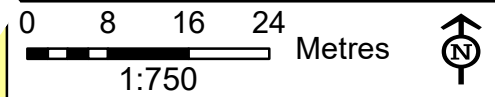
Address: 867 Woodbine Rd
File Number: D13-008-2021

-  Subject Lands
-  ARTERIAL COMMERCIAL
-  RESIDENTIAL



Prepared By: adowker
Date: Mar-02-2021

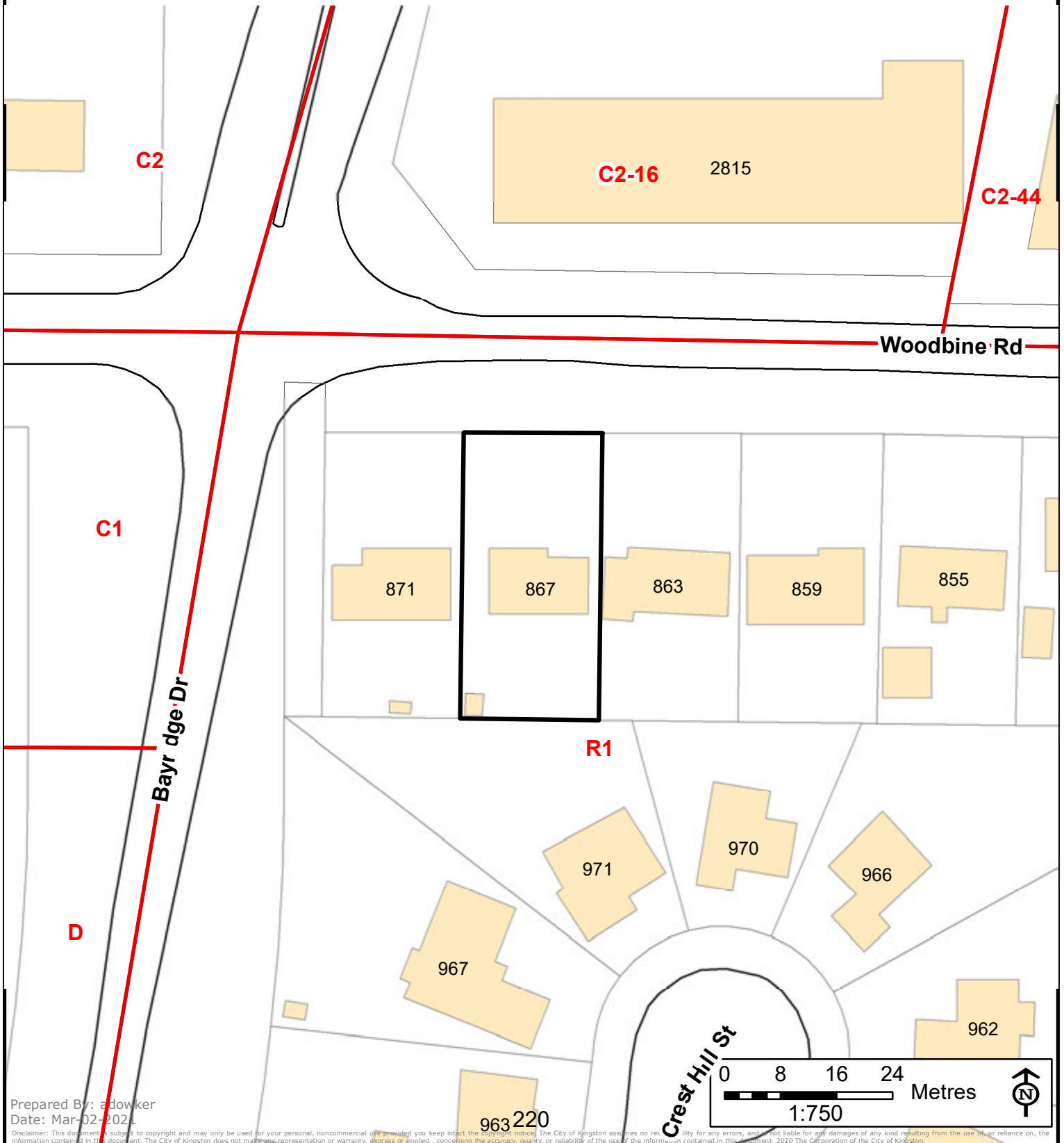
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Committee of Adjustment
Existing Zoning - By-law 76-26, Map 5
Address: 867 Woodbine Rd
File Number: D13-008-2021

Subject Lands
 Consolidated Zoning



Prepared By: adowker
Date: Mar-02-2021

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3D



Proposed Garage Addition For: Bryan Bach

**867 Woodbine Road,
Kingston
K7P 2X3**

December 1, 2020



If this stamp is not in red then these drawings have been duplicated unlawfully. Any other colour indicates infringement of copyright laws. Plans are provided for the sole purpose of application for a building permit.

General Notes:
These plans were designed in accordance with the requirements of the Ontario Building Code.
All dimensions are to be checked on site, prior to construction. All dimensions are structural.
Drawings must not be scaled.

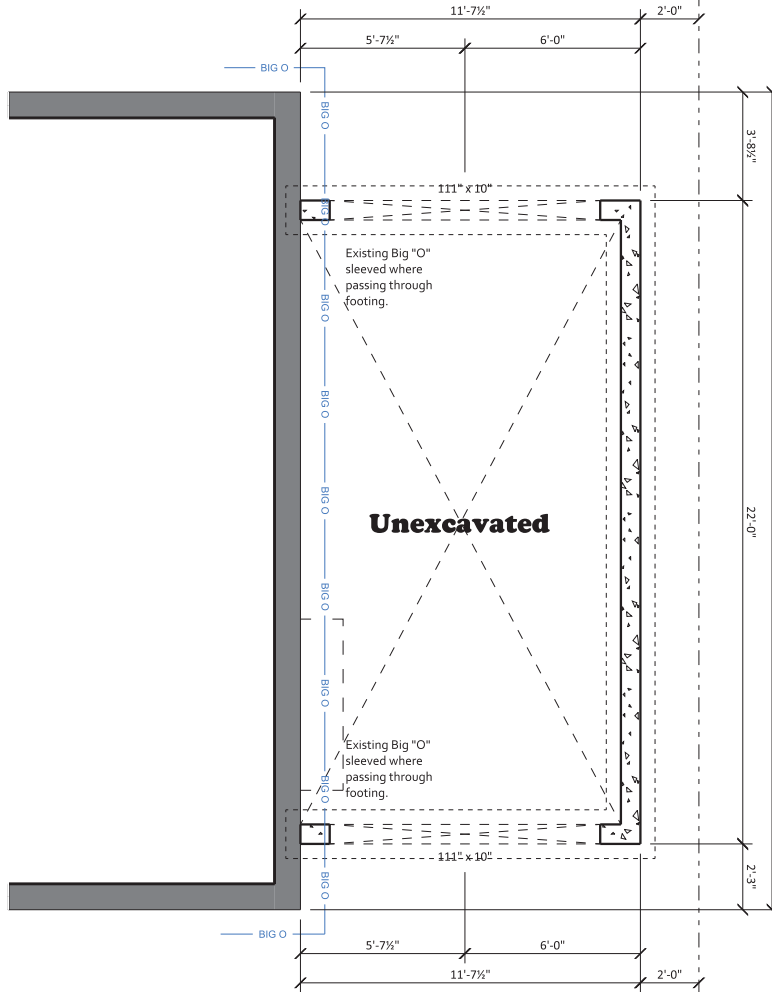
General Notes (Continued):
Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Designer before proceeding with any work.
Plans are copyrighted - unlawful for use without company's express and written permission.
These plans form the basis for permit issuance and any deviation from these plans and details; including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department".

Contractor to verify all roof pitches and dimensions prior to ordering of trusses.

General Notes (Continued):
The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Designer prior to installation.
All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes.

Engineered Details:
In the event that any engineered details are required, in addition of these drawings, it will be the responsibility of the home owner or contractor to provide.

All dimensions are taken to outside face of block/poured concrete, outside face of wall sheathing to front and back elevations and outside face of drywall on right hand side elevation.



Footings Tied to Existing:
New footings to be tied to existing footings with 12" long horizontal 15M bars @ 12" o.c. drilled 6" into the centre of the existing footings and epoxied into place to the satisfaction of the building inspector, to prevent differential movement.

Footings:
20" x 6" - 20 Mpa concrete strip footings.
Footings to be taken down to rock, or min. 4' 0" below grade to undisturbed soil with an allowable bearing pressure of at least 75 kPa (10.88 lbs/sq.in).
Where stepped footings are used, the vertical rise between horizontal portions shall not exceed 23 5/8", and the horizontal distance between risers shall be not less than 23 5/8".

Foundation Wall - Garage:
Cement parging to exterior face of wall.
8" concrete blockwork including 1 course solid or semi solid concrete block at or below grade to control convection currents in core spaces.
or 8" - 20MPa poured concrete foundation wall.

Backfill to Garage:
Min. 4'-0" from underside of the footing to grade where on undisturbed soil.
Unreinforced 8" concrete blockwork - Max. 2'-11" backfill.
8" - 20MPa poured concrete - Max. 3'-11" backfill.

Garage Door Openings:
Height of foundation under garage doors to be dropped min. 8" below finished garage floor level.
4" slab thickened to 8" at door openings
No anchor bolts to be located in door openings.

Foundation Plan

Foundation may be constructed from either 8" concrete blockwork or 8" poured concrete at customers option.



	5276 Hinchinbrooke Road Hartington Ontario. K0H 1W0 Tel: (613) 372-2838 Fax: (613) 372-0009 © Copyright ATKINSON Home Building Centre	Proposed Garage Addition 867 Woodbine Road, Kingston K7P 2X3 For: Bryan Bach	AREA 255 R-2
	DESIGNER Keith Almond	SCALE 1/4" = 1'-0"	DATE December 1, 2020
			DRAWING # 1 of 7

If this stamp is not in red then these drawings have been duplicated unlawfully. Any other colour indicates infringement of copyright laws. Plans are provided for the sole purpose of application for a building permit.

General Notes:
These plans were designed in accordance with the requirements of the Ontario Building Code.
All dimensions are to be checked on site, prior to construction. All dimensions are structural.
Drawings must not be scaled.

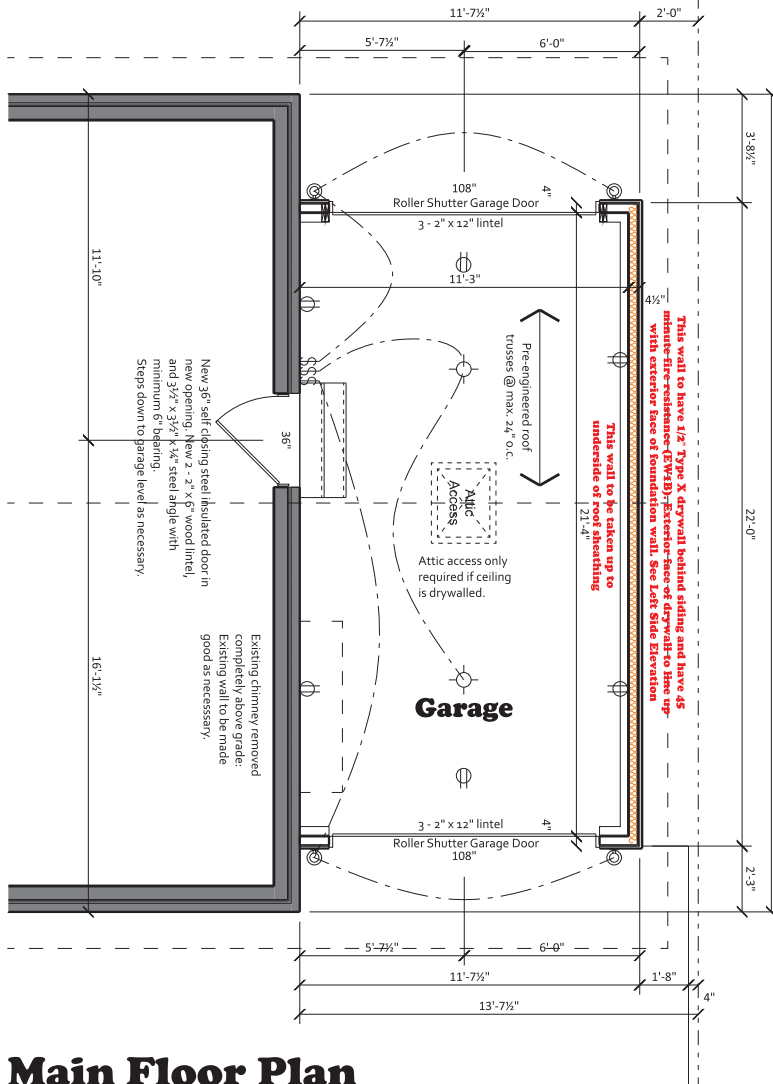
General Notes (Continued):
Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Designer before proceeding with any work.
Plans are copyrighted - unlawful for use without company's express and written permission.
These plans form the basis for permit issuance and any deviation from these plans and details; including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department".

Contractor to verify all roof pitches and dimensions prior to ordering of trusses.

General Notes (Continued):
The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Designer prior to installation.
All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes.

Engineered Details:
In the event that any engineered details are required, in addition of these drawings, it will be the responsibility of the home owner or contractor to provide.

All dimensions are taken to outside face of block/poured concrete, outside face of wall sheathing to front and back elevations and outside face of drywall on right hand side elevation.



Damp Protection:
All non pressure treated wood framing supported on concrete in contact with the ground, to be separated from the concrete with polyethylene film not less than 2 mil thick.

Exterior Wall - Garage - Front and Rear Elevations:
Vinyl siding by specialist.
"Tygar Housewrap" or similar proprietary air barrier system.
7/16" O.S.B. sheathing board
2" x 4" studs @ 16" o.c.

Fire Assembly - Garage Wall - Type EW1B - Right Side Elevation:
Vinyl siding by specialist.
"Tygar Housewrap" or similar proprietary air barrier system.
1 layer 1/2" Type X gypsum board.
7/16" O.S.B. sheathing board
2" x 4" wood studs @ 16" o.c.
R12 (3-1/2") absorptive material.
Absorptive material includes fibre processed from rock, slag, glass or cellulose fibre.
1 layer 1/2" Type X gypsum board.
To give min. 45 fire resistance in accordance with Supplementary Standard SB-3

Garage Floor Slab and Exterior Concrete:
4" 32 Mpa concrete with 5-8% air entrainment on min. 4" coarse clean granular fill.
Garage floor slab to slope 1/4" (100mm) to the front.
It is recommended that the garage floor and exterior concrete slabs incorporate 1" deep crack control joints @ max. 15'-0" centres.

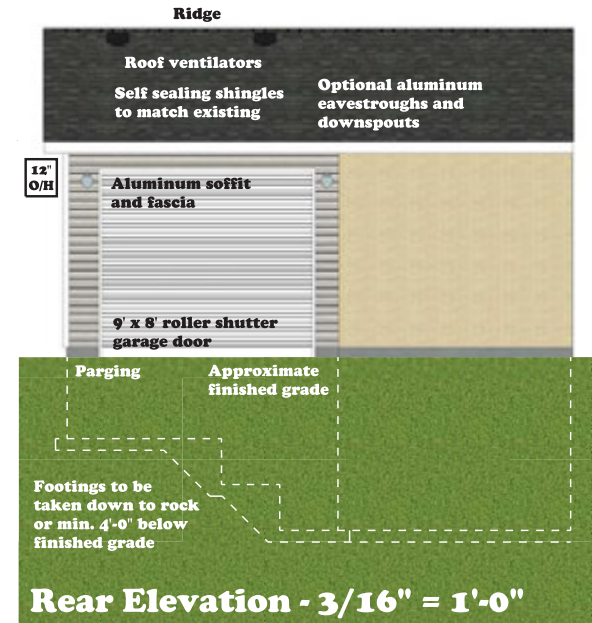
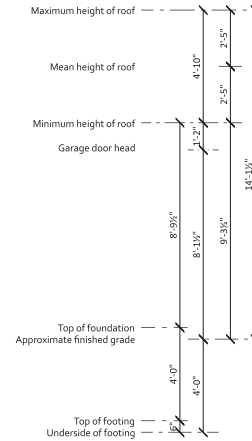
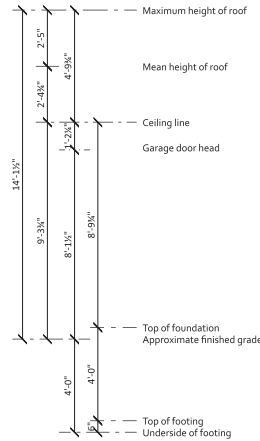
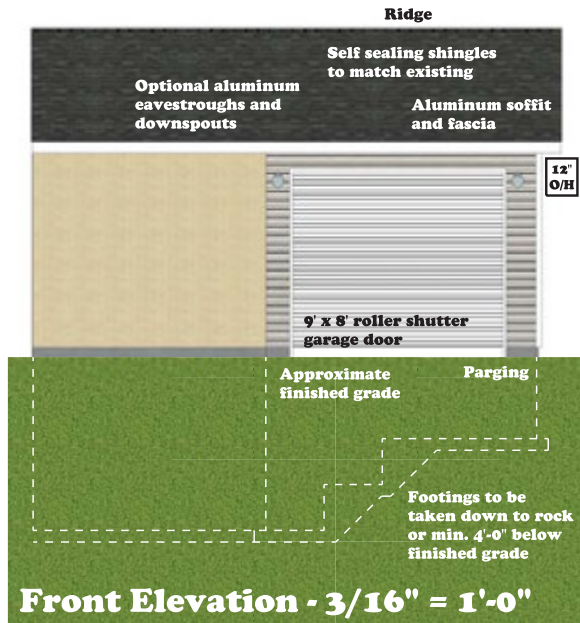
Garage Gas Sealing:
Door between garage and house to be tight fitting and weatherstripped, and shall be fitted with a self closing device.

Main Floor Plan



	5276 Hinchinbrooke Road Hartington Ontario. K0H 1W0 Tel: (613) 372-2838 Fax: (613) 372-0009 © Copyright ATKINSON Home Building Centre		Proposed Garage Addition 867 Woodbine Road, Kingston K7P 2X3 For: Bryan Bach		AREA 255 R-2
	DESIGNER Keith Almond	SCALE 1/4" = 1'-0"	DATE December 1, 2020	DRAWING TITLE Main Floor	

Contractor to verify all roof pitches and dimensions prior to ordering of trusses.



Colours shown are diagrammatic only, and may not reflect customers final colour choice. Refer to customer for actual colours

Colours shown are diagrammatic only, and may not reflect customers final colour choice. Refer to customer for actual colours



General Notes:
These plans were designed in accordance with the requirements of the Ontario Building Code. All dimensions are to be checked on site, prior to construction. All dimensions are structural. Drawings must not be scaled. Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Designer before proceeding with any work. Plans are copyrighted - unlawful for use without company's express and written permission.

"These plans form the basis for permit issuance and any deviation from these plans and details; including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department". The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Designer prior to installation. All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes.

Engineered Details:
In the event that any engineered details are required, in addition of these drawings, it will be the responsibility of the home owner or contractor to provide.

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	5276 Hinchinbrooke Road Hartington Ontario. K0H 1W0 Tel: (613) 372-2838 Fax: (613) 372-0009 © Copyright ATKINSON Home Building Centre	Proposed Garage Addition 867 Woodbine Road, Kingston K7P 2X3 For: Bryan Bach	AREA 255 ft ²
	DESIGNER Keith Almond	SCALE 3/16" = 1'-0"	
DATE December 1, 2020	DRAWING # 3 of 7		

Contractor to verify all roof pitches and dimensions prior to ordering of trusses.

Trusses shown are diagrammatic only. Actual truss designs and layout to be taken from Truss Manufacturers details.

Roof Construction - Trusses:
Contractor to verify all roof pitches prior to ordering of trusses.
Self sealing shingles.
Eaves protection - extending min. 3'-0" up the slope of the roof and min. 1'-0" beyond the inner face of the exterior wall.
#15 plain or perforated asphalt-saturated felt underlay
7/16" O.S.B. sheathing or 1/2" plywood with "H" clips - min. 4 per board.
Pre-engineered roof trusses by specialist @ 24" o.c.
R60 ceiling insulation.
6 mil CGSB-5334 poly air/vapour barrier.
Resilient channel.
1/2" drywall.

Roof Ventilation - Durafluo Vent
Roof ventilation to be split evenly between slotted soffits at eaves level and roof vents at ridge level.
Total unobstructed vent area to be equal to min. 1/300 th insulated ceiling area.
Vents shown are Durafluo 6065 Slantback roof vents with 61 in² net ventilation area - Min. 1 roof vent per 253 sq.ft. (23.57 sq.m.)

Roof Construction - Low Slope (3:12):
Proprietary self adhesive roofing membrane over the entire roof deck, lapped in accordance with manufacturers requirements.
Standard felt underlayment as noted elsewhere. It is possible that the felt underlayment may be omitted - refer to manufacturers low-slope shingle application specification.
Shingle installation procedure is the same as for standard slopes (1:3 and over).

Attic Access:
ONLY REQUIRED IF CEILING IS DRYWALLED.
Attic access hatches with min. 24" clearance above the hatch.
Hatch size to be 3.4ft² with no dimension less than 21 1/2" or min. 19 3/4" x 28"

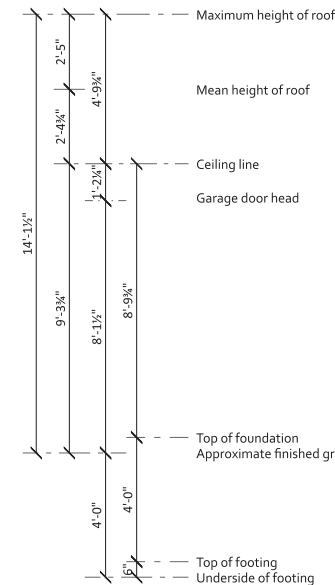
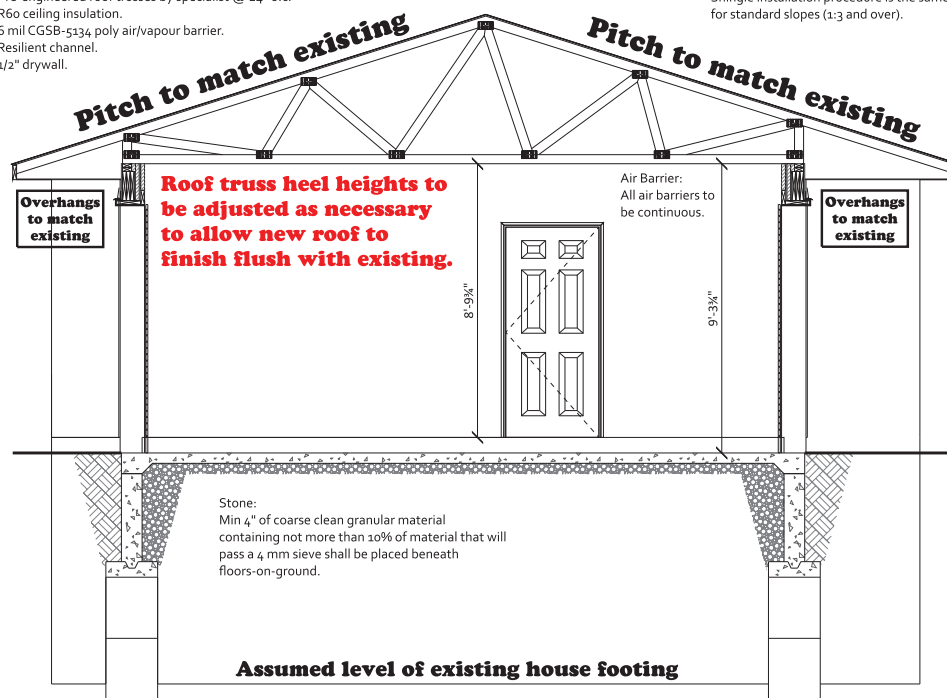
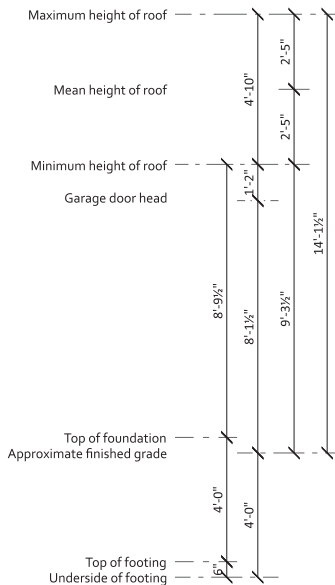
Top Plates:
Double top plates to be provided in all loadbearing walls.
All joints in top plates shall be staggered not less than one stud spacing.
All top plates shall be lapped at corners or intersecting walls.

Lintels:
3 - 2" x 12" headers over garage door openings.
2 ply lintels up to 9'-8" span require min 1-1/2" end bearing - 3 ply lintels to have min 3" end bearing.

Eaves:
Aluminum vented soffits.
2" x 6" fascia backing.
Aluminum fascia with optional aluminum eavestroughs and downspouts.

Ground Clearance:
Min. 6" between top of foundation and finished grade. Except a clearance of not less than 8" shall be provided between finished ground and cladding that is adversely affected by moisture, such as untreated wood, plywood, O.S.B., waferboard and hardboard.

Sill Plate:
2" x 4" sill plate on proprietary sill gasket bolted down to block/poured concrete wall with 1/2" anchor bolts @ max. 7'-10" o.c.



Stone:
Min 4" of coarse clean granular material containing not more than 10% of material that will pass a 4 mm sieve shall be placed beneath floors-on-ground.

Engineered Details:
In the event that any engineered details are required, in addition of these drawings, it will be the responsibility of the home owner or contractor to provide.

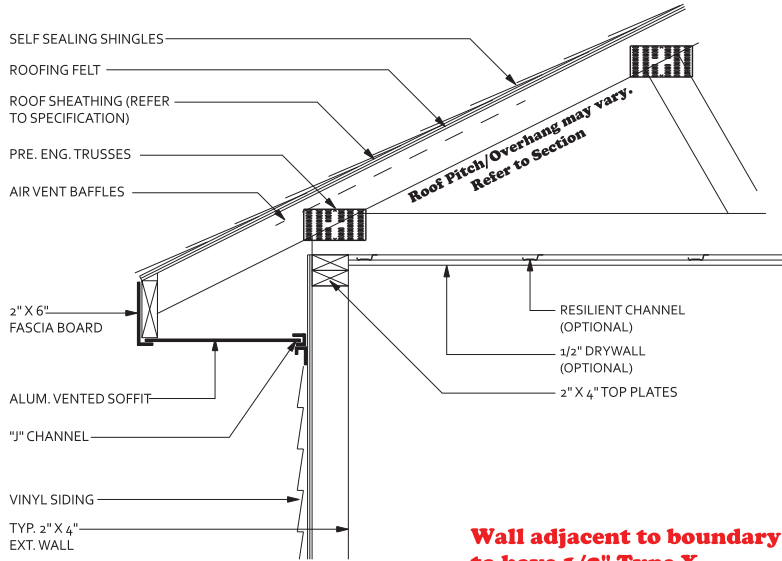
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General Notes:
These plans were designed in accordance with the requirements of the Ontario Building Code.
All dimensions are to be checked on site, prior to construction.
All dimensions are structural.
Drawings must not be scaled.
Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Designer before proceeding with any work.
Plans are copyrighted - unlawful for use without company's express and written permission.

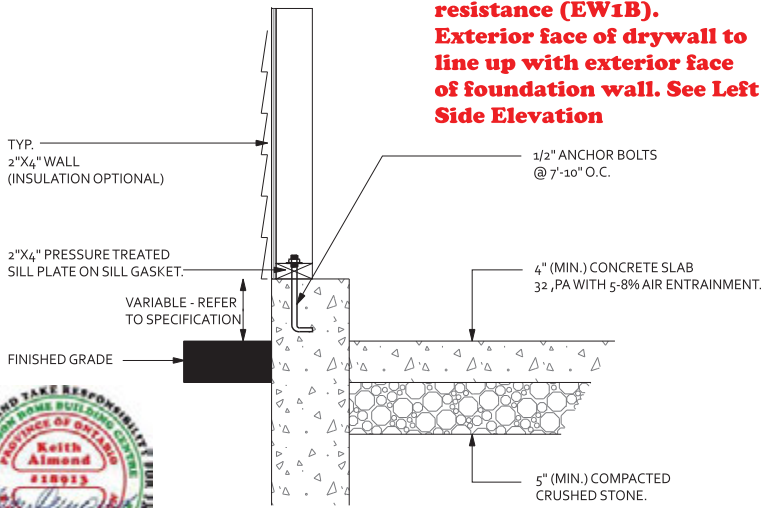
"These plans form the basis for permit issuance and any deviation from these plans and details; including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department".
The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Designer prior to installation.
All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes.

	5276 Hinchinbrooke Road Hartington Ontario. K0H 1W0 Tel: (613) 372-2838 Fax: (613) 372-0009 © Copyright ATKINSON Home Building Centre	Proposed Garage Addition 867 Woodbine Road, Kingston K7P 2X3 For: Bryan Bach	AREA 255 ft²	
	DESIGNER Keith Almond	SCALE 1/4" = 1'-0"		DATE December 1, 2020

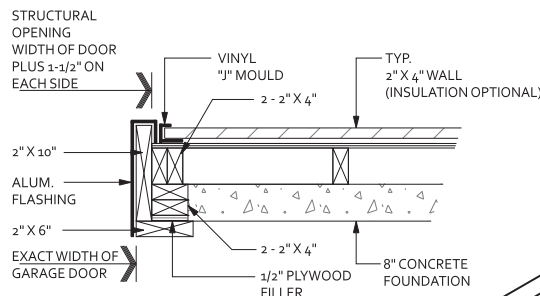
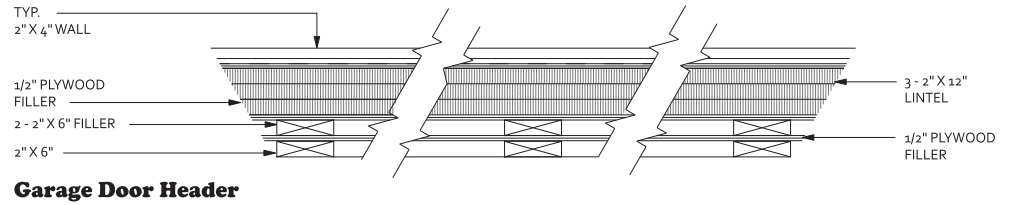


Typical Soffit Detail - 2" x 4"

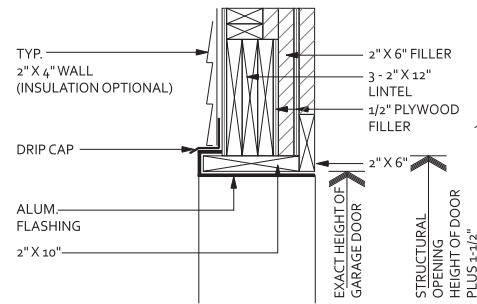
Wall adjacent to boundary to have 1/2" Type X drywall behind siding and have 45 minute fire resistance (EW1B). Exterior face of drywall to line up with exterior face of foundation wall. See Left Side Elevation



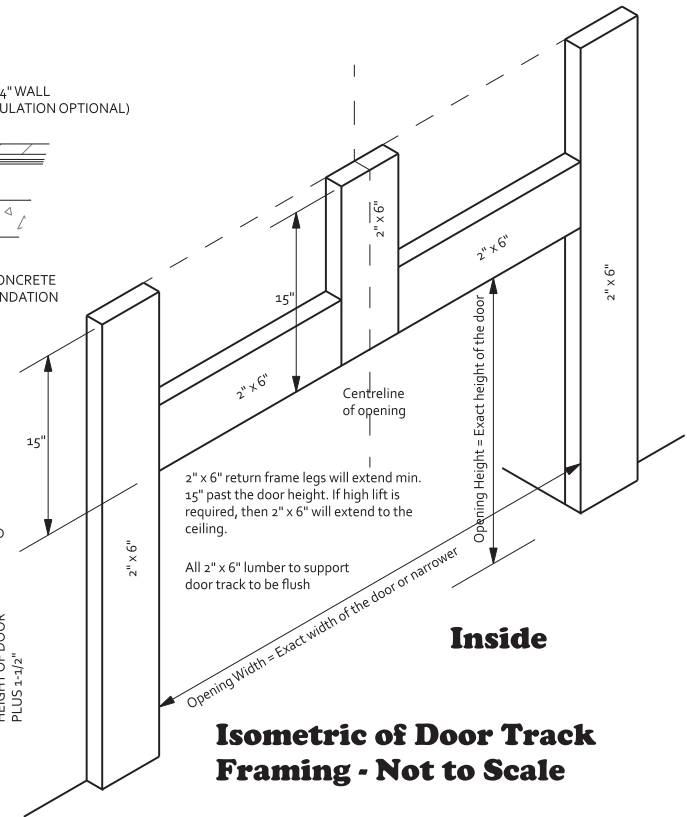
Foundation Wall - 2" x 4" Wall



Jamb Build Out - For Garage Door



3 - 2" x 10" Over - Garage Door



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	DESIGNER Keith Almond	SCALE 1.0000" = 1'-0"	
3D	DATE December 1, 2020	DRAWING # 6 of 7	



	5276 Hinchinbrooke Road Hartington Ontario. K0H 1W0 Tel: (613) 372-2838 Fax: (613) 372-0009 © Copyright ATKINSON Home Building Centre	Proposed Garage Addition 867 Woodbine Road, Kingston K7P 2X3 For: Bryan Bach	AREA 255 ft ²
	DESIGNER Keith Almond	SCALE As Noted	
DRAWING TITLE 3D Views		DRAWING # 7 of 7	

Cover Letter for Proposed Attached Garage at 867 Woodbine rd.

The location for the proposed garage was chosen to least effect the property with building coverage/less landscaped open space and to resemble most other garages in the neighborhood.

The current use of the space is asphalt driveway and the proposed garage footings would stay entirely within the space.

The size of the garage was chosen for two reasons. The first is to have large enough doors on the front and rear of the garage to allow through access for equipment or trailers. This was a consideration as there is an in-ground pool that will at some point require maintenance or repairs. The second is to meet the size requirements to be classified as a parking space.

There are no buildings in the proposed area for the garage. There are two structures including an A/C unit and the chimney. The A/C unit will be moved roughly 1ft and will comply with all by-laws. The chimney will be removed with just the gas stack remaining for the newer gas fireplace. The chimney is likely original to the house in 1969, is not in use and could use repairs, so removal during the garage construction would make sense.

The current drainage includes a downspout at the northwest (front) corner and one at southwest (back) corner of the home. The proposed garage would move the back downspout closer to the west at the southwest corner of the garage, but would come to the front of the garage along the side before going to ground level. The water would then continue to run down the driveway. The eaves at the front of the garage would meet with the downspout at the front of the house. The neighbor should have less impact from drainage if any.

To reduce impact on the neighbor, no windows will be installed on the west side of the garage.

Bryan Bach (Homeowner)





Image from Google Street View: Image Capture November 2020