



**City of Kingston
Report to Committee of Adjustment
Report Number COA-21-031**

To: Chair and Members of the Committee of Adjustment
From: Sarah Oldenburger, Planner
Date of Meeting: April 19, 2021
Application for: Permission
File Number: D13-002-2021
Address: 11 Gardiner St
Owner: Kristen Brooks and Wesley Brooks
Applicant: Wesley Brooks

Council Strategic Plan Alignment:

Theme: Business as usual

Goal: See above

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for permission for the property located at 11 Gardiner Street. The applicant is proposing to expand the existing residential use by adding a second storey to the existing dwelling. The applicant is also proposing to build a new enclosed (2.12 metre by 1.5 metre) mudroom on the foundation of the existing (2.12 metre by 1.5 metre) porch, and add a new (1.03 metre by 1.5 metre) covered porch and a new (approximately 0.77 metre by 1.5 metre) set of stairs on the north elevation of the proposed mudroom which lead to the driveway. The proposed mudroom and second storey addition would increase the total floor area of the existing dwelling by approximately 88.78 square metres. While the existing dwelling has non-complying status, the existing use requires permission to expand the non-complying dwelling, as the existing dwelling does not meet the current side yard setback, front yard, lot width, and projections into yards provisions in Zoning By-Law Number 8499.

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The requested application for permission under Section 45(2)(a)(i) of the *Planning Act* is consistent with the general purpose and general intent of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposed requested permission is in keeping with the intent of the zoning by-law and represents appropriate and desirable development of the lot. Therefore, it is recommended that this application for permission under Section 45(2)(a)(i) of the *Planning Act* be approved.

Recommendation:

That the application for permission, File Number D13-002-2021, for the property located at 11 Gardiner Street to expand the existing dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom, be approved; and

That approval of the application be subject to the conditions attached as Exhibit A - Recommended Conditions to Report Number COA-21-031.

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Authorizing Signatures:



Sarah Oldenburger, Planner

Consultation with the following Management of the Community Services Group:

Tim Park, Acting Director, Planning Services

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Options/Discussion:

On January 25, 2021, an application for permission was submitted by Wesley Brooks, on behalf of the owners, Kristen Brooks and Wesley Brooks, with respect to the property located at 11 Gardiner Street. The application for permission requests to expand the existing non-complying residential use at 11 Gardiner Street to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom. The proposed mudroom and second storey addition would increase the total floor area of the existing dwelling by approximately 88.78 square metres. The existing primary dwelling currently has: a 0.84 metre setback from the interior side lot line which does not comply with the setback requirements of the zoning by-law; a 3.91 metre front yard which does not comply with the minimum front yard requirements of the zoning by-law; and, a front porch and stairs which project approximately 2.27 metres from the front of the principal dwelling and are setback 1.64 metres from the front lot line which do not comply with the projections into yard requirements in the zoning by-law.

In support of the application, the applicant has submitted the following:

- Drawing Package (Exhibit G)

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located within the urban boundary, at 11 Gardiner Street (Exhibit B). The subject property is located north of King Street West (an arterial road) and is located south of Union Street (a collector road). The subject property is facing Aberdeen Park (where the Portsmouth Historic Townhall is located) to the west. The subject property is designated "Residential" in the Official Plan and zoned "A5" in Zoning By-Law Number 8499. The property abuts five residential uses also in the "A5" zone: 3 Gardiner Street; 15 Gardiner Street; 585 King Street West; 589 King Street West; and 597 King Street West.

Legal Non-conforming

As stated in Subsection 45(2)(a)(i) of the *Planning Act*, where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, the Committee of Adjustment may permit the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed (Section 45(2)(a)(i)).

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Subsection 45(2)(a)(ii) of the *Planning Act* authorizes the Committee of Adjustment to permit the use of such land, building or structure for a purpose that, in the opinion of the Committee, is similar to the purpose for which it was used on the day the by-law was passed or is more compatible with the uses permitted by the by-law than the purpose for which it was used on the day the by-law was passed, if the use for a purpose prohibited by the by-law or another use for a purpose previously permitted by the Committee continued until the date of the application to the Committee. In determining whether to permit a use under Section 45(2)(a)(ii), the test is not one of reasonableness; rather, the test is established by the statutory criteria of:

- 1) A similarity between the uses; and
- 2) Whether the proposed expansion is desirable for the appropriate development or use of the land.

Zoning By-Law Number 8499 was passed by Council in 1975 and predates the City of Kingston Official Plan which came into effect in 2010. As a general rule, any land use legally existing at the date of approval of the implementing zoning by-law that does not conform to the policies, provisions or schedules of the Official Plan or the zoning by-law is deemed a non-conforming use and should cease to exist in the long run.

Provincial Policy Statement

Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

Official Plan

Schedule 3-A of the City of Kingston Official Plan indicates that the subject property is designated 'Residential'. The predominant use of the 'Residential' designation are residential dwellings, including detached, semi-detached or duplex dwellings, townhouses, and apartments of various types, tenure, and density that respond to a wide range of housing needs. Residential uses imply structures typical to such uses (i.e. decks and porches) and may change over time to meet the needs of residents (i.e. additions).

In certain circumstances, it may be desirable to grant the extension, enlargement or relocation of a non-conforming use as provided by the *Planning Act*. When reviewing an application for such extension, enlargement or relocation, the Committee of Adjustment must be satisfied that the legal non-conforming use continued to the date of the application to the Committee, and that the application would not extend such use beyond the area and site owned or used on the day of passage of the implementing zoning by-law, and that the application complies with the eight criteria as per Section 9.5.13 of the Official Plan regarding the extension or expansion of a non-

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conforming use. The subject application, requesting permission to permit a second storey, replace the existing porch with a new enclosed mudroom, and add covered porch and set of stairs, has been reviewed against these policies, provided below.

1. Consistency with provincial policy in effect at the time of the decision, and general conformity of the proposal with the intent of the policies and schedules of the Plan:

The proposal is consistent with the policies of the Provincial Policy Statement and will not hinder future development intended for the Residential designation in the Official Plan.

2. Compatibility of the proposal with existing uses and zones, the natural heritage system, cultural heritage resources, and with future planned uses in accordance with the Plan:

The continued residential use of the primary building and the proposed second storey addition, enclosed mudroom, covered porch and set of stairs are compatible with the adjacent residential uses. There are no identified cultural heritage resources adjacent to or on the subject property. Portsmouth Historic Town Hall is a protected heritage property across the road from 11 Gardiner Street. However, the proposed changes will not have an adverse impact on this heritage resource. The site is not located within a Heritage District. The existing residential use will be maintained on the subject property and will not have any adverse impacts on the natural heritage system.

3. Compatibility of proposed buildings or structures with existing buildings and structures, with zoning standards of adjacent sites, with any future planned standards as provided in the Plan, and with any urban design guidelines adopted by the City for the area or for the type of development:

The proposed expansion of the existing dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom will be compatible with the abutting residential uses and the character of the neighbourhood. The proposed addition meets the height requirements of the zoning by-law. The proposed enclosed mudroom, covered porch and stairs would project 1.5 metres from the existing dwelling and would be set back 2.41 metres from the front lot line while the existing porch and set of stairs currently project 2.27 metres from the front of the principal dwelling and are setback 1.64 metres from the front lot line. As such, the proposed configuration expands the existing non-complying single family dwelling at 11 Gardiner Street to increase the functionality of the space and provide more interior living space while reducing the overall projection from the dwelling and increasing the setback from the front lot line which improves the existing non-complying situation.

4. The extent to which the proposal is warranted in this location and the extent to which areas zoned for the proposed use are available for development:

The subject property is designated 'Residential' in the Official Plan and will remain within the 'A5' zone as per Zoning By-Law Number 8499. The proposed expansion of the

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existing dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom is not anticipated to have any adverse impact on the future development/redevelopment of the property or the surrounding neighbourhood.

5. The suitability of the site for the proposal, including its ability to meet all usual standards of parking for vehicles and bicycles, open space or amenity areas as well as the lack of any potential for noise, odour, traffic conflict or other nuisance from the proposal:

There will be adequate parking space for the primary dwelling. The proposal will not significantly affect the private amenity areas or open space on the site. The continued residential use on the property will not create any new noise, odour, traffic conflict or other nuisance.

6. The impact on municipal infrastructure, services and traffic:

The proposal will not have a negative impact on municipal infrastructure, services and traffic.

7. Comments and submissions by staff, agencies and the public:

Parking Services advises that it is expected that all parking related to this development will be accommodated on-site. Long-term residential parking is not available on-street, as parking is prohibited overnight between December 1 and March 31 of each year.

Utilities Kingston noted that, if increasing the gas load a Gas Load summary should be filled out and submitted to a Utilities Kingston Service Advisor as well as provided with the application.

Building Services noted that there is an open Building Permit for the property that is currently under review.

Storm Water Review noted that changes to grading and/or drainage shall not adversely affect the neighbouring or the subject lands. Please ensure suitable space between buildings and the property limit to allow for on-site drainage.

Engineering had no objections.

Heritage Planning noted that the subject property is not a protected heritage property, nor is it adjacent, as defined in the Official Plan, to a protected heritage property. Portsmouth Historic Town Hall is a protected heritage property across the road from 11 Gardiner Street, however, as proposed, the second-floor addition and enclosed mudroom will not have an adverse impact on this heritage resource. The subject property is identified as having composite archaeological potential on the Archaeological Master Plan, however, given that the only new construction below grade is the mudroom entrance, it is

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anticipated that this area within 6 feet of the existing foundation has been previously disturbed and accordingly, an assessment will not be required.

Forestry requires that the owner/applicant shall apply for and obtain a Tree Permit through the Planning Department to address the tree preservation requirements for the two trees located in the road allowance area in front of 11 Gardiner Street prior to Building Permit issuance. A Tree Preservation and Protection Plan prepared by an ISA Certified Arborist will be required and shall be submitted as per the guidelines at www.cityofkingston.ca/trees.

8. The degree to which the proposal may inhibit conforming uses or creates a precedent:

The proposal will not negatively impact the surrounding lands or buildings or inhibit them from developing for their intended uses. The approval of the requested permission will not set a precedent for the immediate area, as each permission is reviewed independently and judged on its own merits and metrics.

The subject property is not designated or listed on the City of Kingston's Heritage Property Register, or adjacent to a property which is designated or listed.

Based on the City of Kingston archaeological potential mapping the property is in an area of "composite archaeological potential", however, an Archaeological Assessment will not be required given the changes proposed.

The requested permission to expand the existing dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom meets the general intent and purpose of the City of Kingston Official Plan.

Zoning By-Law

The subject property is zoned "A5" in the City of Kingston Zoning By-Law Number 8499, as amended (Exhibit E). The "A5" zone requires a side yard set back of 1.2 metres, a minimum front yard of 7.5 metres, a lot width of 15.0 metres, and permits a projection of 2.5 metres into the front yard but not closer than 3.5 metres to the front lot line for porches and stairs with a height of more than 0.6 metres and less than 1.2 metres above finished grade.

The existing dwelling does not meet the current side yard setback, front yard, lot width, and projections into yards provisions in Zoning By-Law Number 8499. The current structure is 0.84 metres from the side lot line, has a front yard of 3.91 metres, a lot width of 11.68 metres, and a porch and set of stairs (with a height of more than 0.6 metres and less than 1.2 metres above finished grade) which currently project 2.27 metres from the principal dwelling and are setback 1.64 metres from the front lot line. The primary dwelling is considered non-complying as the dwelling existed prior to the passing of Zoning By-Law Number 8499 in 1975.

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The applicant is proposing to expand the existing dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom which lead to the driveway. The proposed expansion of the existing dwelling will be compatible with the abutting residential uses and the character of the neighbourhood. The proposed addition meets the height requirements of the zoning by-law and is similar to a number of other properties on Gardiner Street which are also two storeys tall. The proposed mudroom on the front of the principal dwelling would increase the functional interior living space and is similar to two other homes on this segment of Gardiner Street, which also have street-facing enclosed mudrooms. The proposed mudroom, covered porch and stairs would project 1.5 metres from the existing dwelling and would be set back 2.41 metres from the front lot line while the existing porch and set of stairs currently project 2.27 metres from the front of the principal dwelling and are setback 1.64 metres from the front lot line. As such, the proposed configuration expands the existing non-complying dwelling at 11 Gardiner Street to increase the functionality of the space and provide more interior living space while reducing the overall projection from the dwelling and the increasing the setback from the front lot line which improves the existing non-complying situation.

The proposed site plan shows the slight widening of the driveway which complies with the requirements of the Zoning By-Law and does not require a planning application.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue | <input checked="" type="checkbox"/> Kingston Hydro | <input checked="" type="checkbox"/> City’s Environment Division |
| <input checked="" type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input checked="" type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input type="checkbox"/> Kingston Airport | | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

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Public Comments

At the time this report was finalized, no public comments have been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

There are no concurrent or relevant historic planning applications on the subject property.

Conclusion

The requested application for permission is consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The use, lot coverage, and height of the accessory structure is in keeping with the intent of the zoning by-law and represents appropriate and desirable development of the lot and will be functional for the continued residential use.

Approval of this application will allow for a second storey addition, a new enclosed mudroom to replace the existing porch, and the addition of a new covered porch and set of stairs on the north elevation of the proposed mudroom which lead to the driveway.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 8499

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on April 19, 2021. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 23 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

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Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Tim Park, Acting Director, Planning Services, 613-546-4291 extension 3223

Sarah Oldenburger, Planner, 613-546-4291 extension 3288

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Public Notification Map
- Exhibit D Official Plan Map
- Exhibit E Zoning By-Law Number 8499, Map 29
- Exhibit F Neighbourhood Context Map (2020)
- Exhibit G Drawing Package

Recommended Conditions for Approval

Application for Permission, File Number: D13-002-2021

Approval of the foregoing permission shall be subject to the following conditions:

1. Limitation

That the approved variance applies only to the proposed second storey addition, enclosed mudroom, and covered porch and stairs on the north elevation of the proposed mudroom at 11 Gardiner Street as shown on the approved plans attached to the Notice of Decision.

2. No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. Tree Permit Requirements

Prior to Building Permit issuance, the owner/applicant shall apply for and obtain a Tree Permit through the Planning Department to address the tree preservation requirements for the two trees located in the road allowance area in front of 11 Gardiner Street. A Tree Preservation and Protection Plan prepared by an ISA Certified Arborist will be required and shall be submitted as per the guidelines at www.cityofkingston.ca/trees.

4. Building Permit Application Requirements

The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings. The drawings submitted with the building permit application must, in the opinion of the City, conform to the general intent and description of the approved drawings, including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. Additional planning applications may be required should further zoning deficiencies be identified through the Building Permit application process.

5. Standard Archaeological Condition

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132) and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted. In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries Regulation Section of the Ontario Ministry of Consumer Business Services

(416-326-8404), the Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132), and the City of Kingston's Planning Division (613-546-4291 extension 3180) must be immediately contacted.



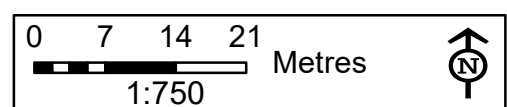
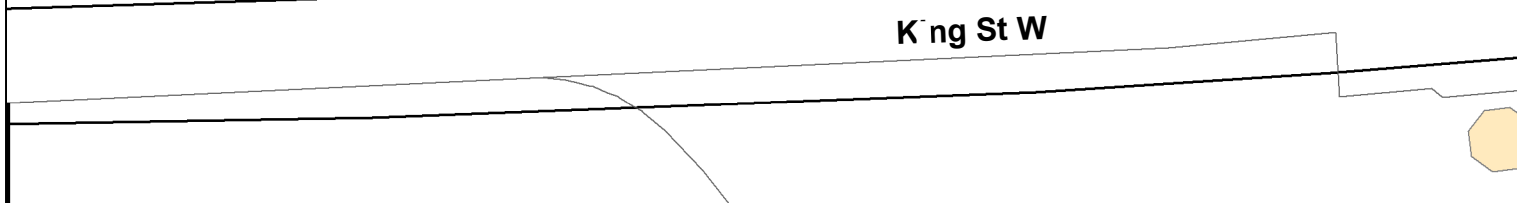
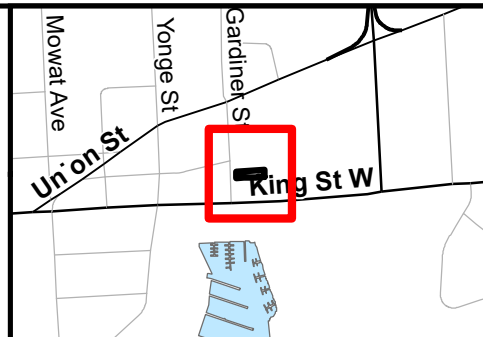
Committee of Adjustment

Key Map

Address: 11 Gardiner Street

File Number: D13-002-2021

 Lands Subject to Permission









Planning Services

Committee of Adjustment Public Notice Notification Map

Address: 11 Gardiner Street
File Number: D13-002-2021





-  60m Public Notification Boundary
-  Subject Lands
-  Property Boundaries
-  17 Properties in Receipt of Notice (MPAC)

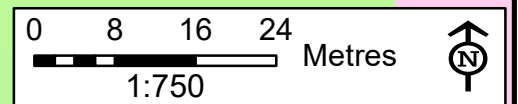
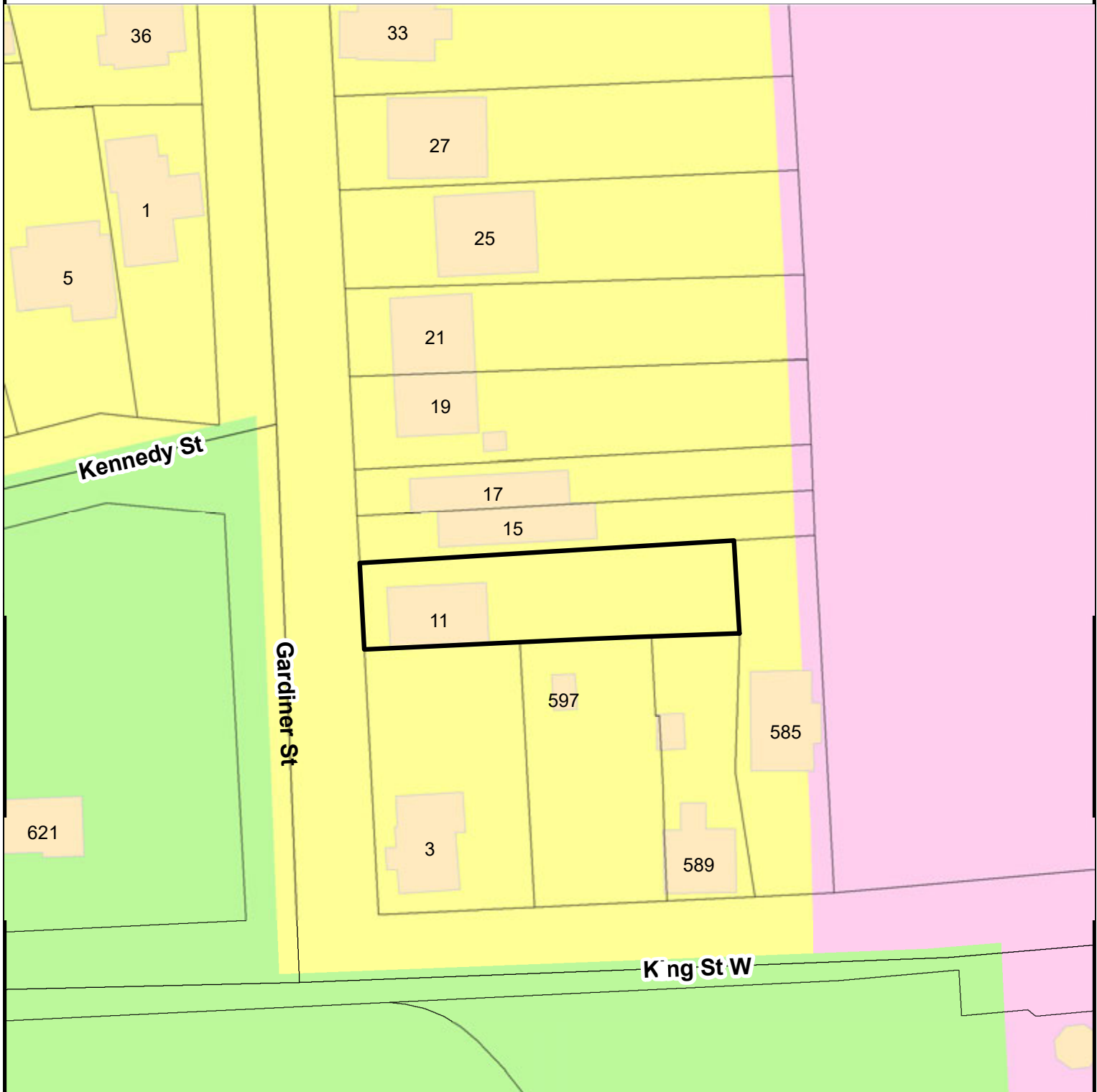




Committee of Adjustment Official Plan, Existing Land Use

Address: 11 Gardiner Street
File Number: D13-002-2021

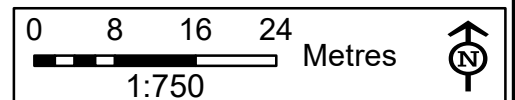
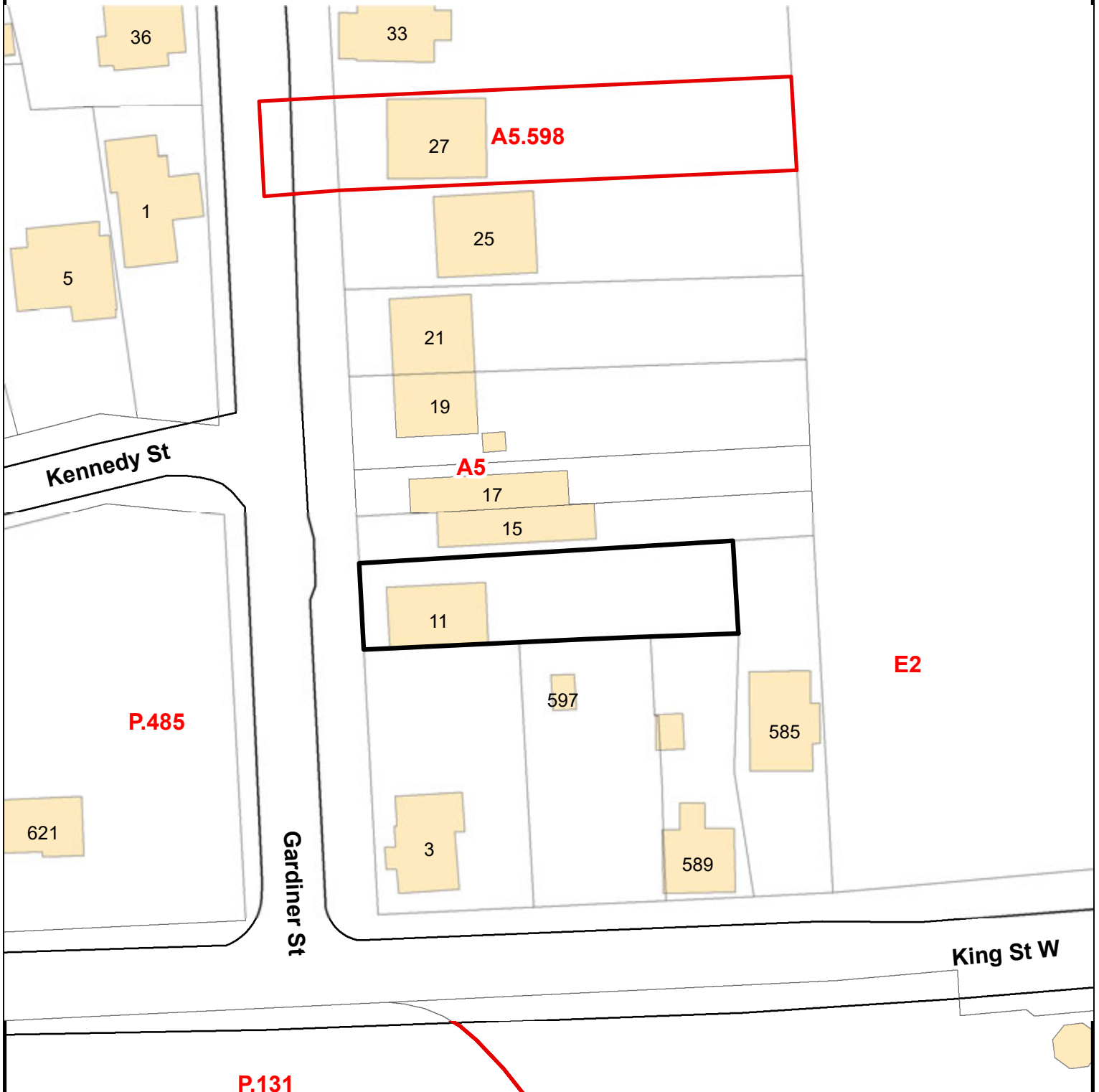
-  Subject Lands
-  INSTITUTIONAL
-  OPEN SPACE
-  RESIDENTIAL





Committee of Adjustment
Existing Zoning - By-law 8499, Map 29
Address: 11 Gardiner Street
File Number: D13-002-2021

- Subject Lands
- Consolidated Zoning



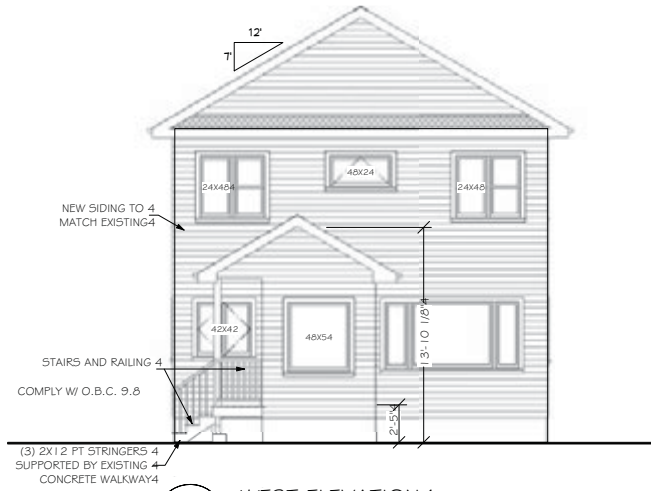


Committee of Adjustment
Neighbourhood Context (2020)

Address: 11 Gardiner Street
File Number: D13-002-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels





14 WEST ELEVATION 4
A14 SCALE: 4 1/8" = 1'-0" 4



24 SOUTH ELEVATION 4
A14 SCALE: 4 1/8" = 1'-0" 4



34 EAST ELEVATION 4
A14 SCALE: 4 1/8" = 1'-0" 4



4 NORTH ELEVATION 4
A14 SCALE: 4 1/8" = 1'-0" 4



THIS DRAWING AND DESIGN ARE THE COPYRIGHT PROPERTY OF E.R. TROUGHT DESIGN AND SHALL NOT BE COPIED, REPRODUCED OR DISTRIBUTED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF THE DESIGNER. DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

ERIC TROUGHT, P. ENG

I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES WHICH BEARS THE DECLARATION AND HAVE MET THE REQUIREMENTS OF THE O.B.C. AS A REGISTERED DESIGNER, THESE DRAWINGS SHALL BE CONSIDERED AS NOT FOR CONSTRUCTION UNLESS AUTHORIZED BY THE DESIGNER'S SIGNATURE FOR PERMIT APPLICATION


SIGNATURE

BCIN: 24453, 30033

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATION FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, GOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT



31 HILLENDALE VE.
KINGSTON, ONTARIO
K7M 1S2

TEL 613 531-7873
CELL 613 561-3428
F X 613 531-0602

PROPOSED ADDITION TO
RESIDENCE

CLIENT: WESLEY BROOKS
LOCATION: 11 GARDINER ST., KINGSTON, ON

PROPOSED ELEVATIONS

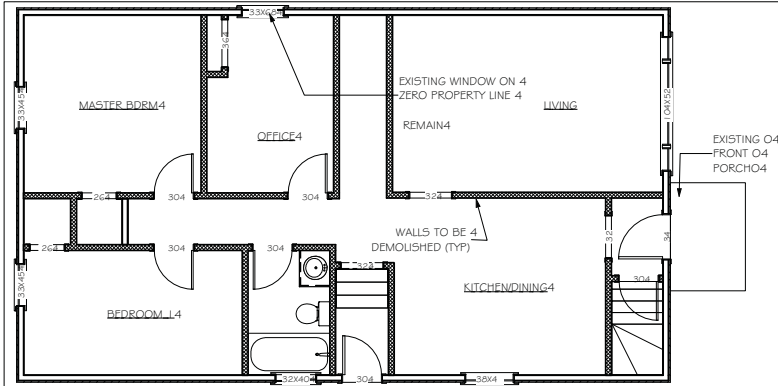
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MONDAY, FEBRUARY 22, 2021

Sheet
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DWG NO.

A1

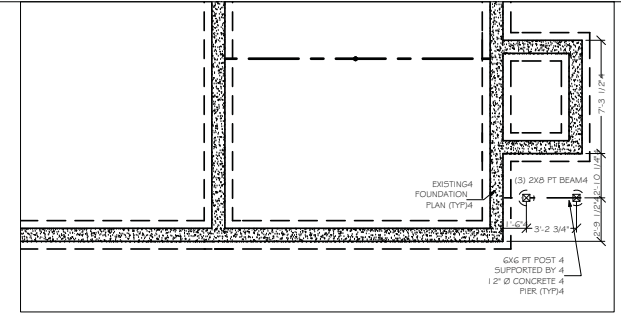
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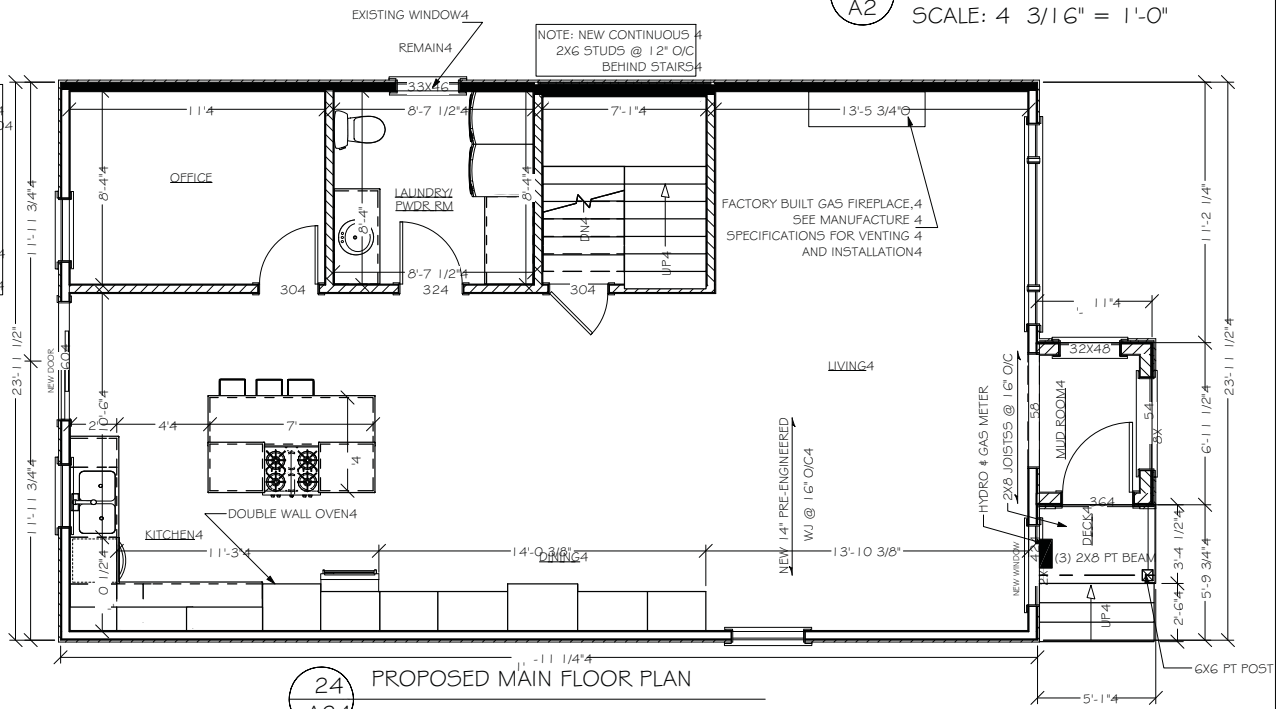
14
A24
EXISTING MAIN FLOOR PLAN
SCALE: 4 1/8" = 1'-0"

	EXISTING MAIN FLOOR EXTERIOR WALLS (TYP)4 -EXISTING SIDING4 -EXISTING AIR BARRIER4 -EXISTING WALL SHEATHING4 -EXISTING FULL 2X4 STUD WALL @ 16" O/C4 -NEW R14 BATT INSULATION4 -NEW 6 MIL POLY VAPOR BARRIER4 -NEW 1/2" GYPSUM BOARD4
	EXISTING SOUTH MAIN FLOOR EXTERIOR WALL4 -EXISTING SIDING4 -EXISTING AIR BARRIER4 -EXISTING WALL SHEATHING4 -EXISTING FULL 2X4 STUD WALL @ 16" O/C4 -NEW R14 ROXUL SAFE & SOUND BATT INSULATION4 -NEW 6 MIL POLY VAPOR BARRIER4 -NEW 5/8" TYPE -X GYPSUM BOARD4
	EXISTING MAIN FLOOR INTERIOR STUD WALL4 -NEW 1/2" GYPSUM BOARD4 -EXISTING FULL 2X4 STUD WALL @ 16" O/C4 -NEW 1/2" GYPSUM BOARD4
	NEW INTERIOR STUD WALL4 -NEW 1/2" GYPSUM BOARD4 -NEW 2X4 STUD WALL @ 16" O/C4 -NEW 1/2" GYPSUM BOARD4
	NEW EXTERIOR WALLS (TYP)4 -NEW SIDING4 -NEW 1" R5 RIGID INSULATION, TUCT TAPE SEAMS4 -NEW 1/2" OSB4 -NEW 2X6 STUD WALL @ 16" O/C4 -NEW R20 BATT INSULATION4 -NEW 6 MIL POLY VAPOR BARRIER4 -NEW 1/2" GYPSUM BOARD4
	EXISTING SOUTH MAIN FLOOR EXTERIOR WALL4 -NEW SIDING4 -NEW 1" R5 RIGID INSULATION, TUCT TAPE SEAMS4 -NEW 1/2" OSB4 -NEW 2X6 STUD WALL @ 16" O/C4 -NEW R20 ROXUL SAFE & SOUND BATT INSULATION4 -NEW 6 MIL POLY VAPOR BARRIER4 -NEW 5/8" TYPE -X GYPSUM BOARD4

- NOTE:
- ALL EXTERIOR WALLS ON MAIN FLOOR AREA4 EXISTING FULL 2X4 STUD WALLS @ 16" O/C4 UNLESS NOTED OTHERWISE, O4 CONTRACTOR TO ADD 2X4 HORIZONTAL4 BLOCKING AT MID SPAN OF ALL EXISTING4 2X4 EXTERIOR WALLS4
 - EXISTING FOUNDATION AND FOOTINGS4 ARE ADEQUATE TO SUPPORT NEW LOADS4 IMPOSED BY SECOND FLOOR AND ROOF4
 - EXISTING MAIN FLOOR SOUTH WALL & NEW4 SECOND FLOOR SOUTH WALL TO BE FIRE4 RATE AS PER O.B.C 5B-3 EW 1a (1HR FRR)4



34
A2
PROPOSED FOUNDATION PLAN
SCALE: 4 3/16" = 1'-0"



24
A24
PROPOSED MAIN FLOOR PLAN
SCALE: 4 3/16" = 1'-0"



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PROPOSED ADDITION
0 RESIDENCE

CLIENT: WESLEY BROOKS

LOCATION: 11 GARDINER ST., KINGSTON, ON

EXISTING & PROPOSED MAIN FLOOR PLAN

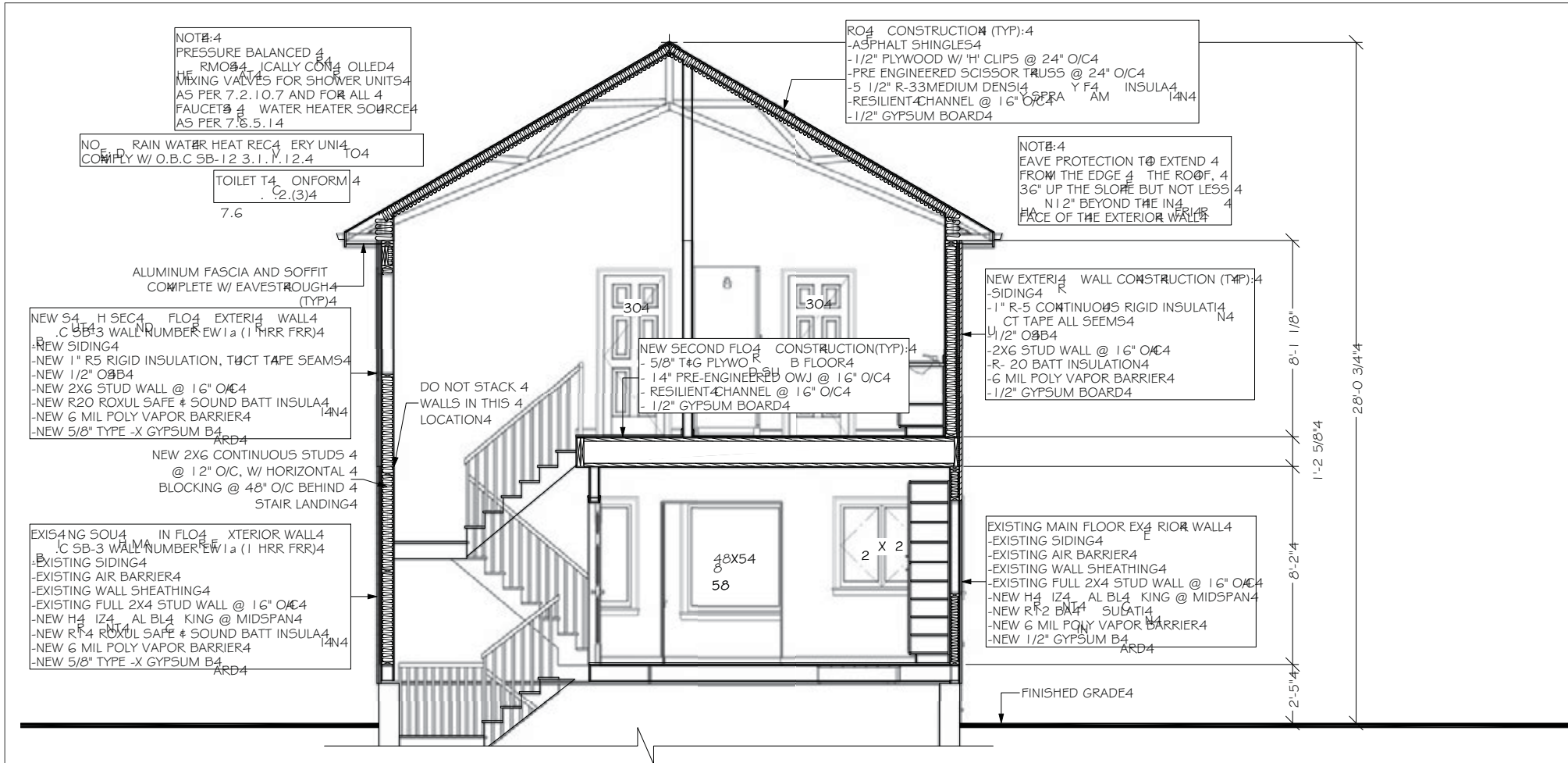
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PROPOSED ADDITION
TO RESIDENCE

CLIENT: WESLEY BROOKS

LOCATION: 11 GARDINER ST., KINGSTON, ON

BUILDING SECTION

SCALE:

1/4" = 1'-0"

MONDAY, FEBRUARY 22, 2021

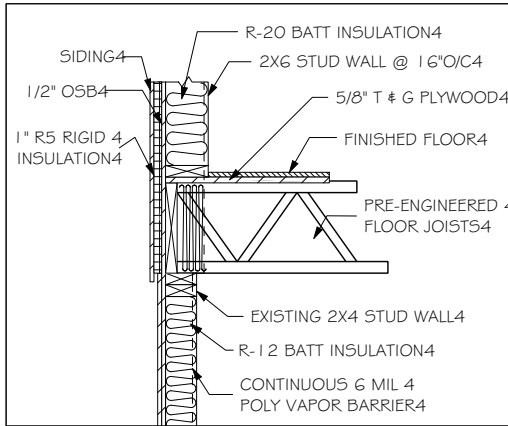
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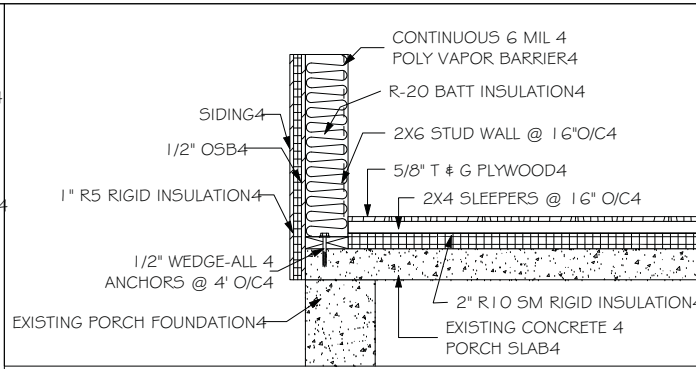
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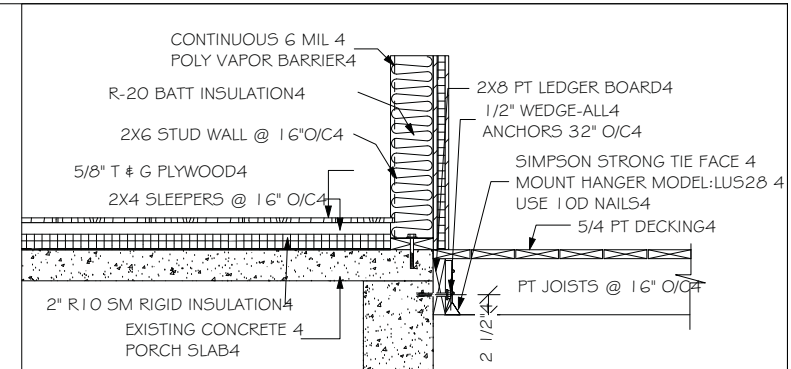
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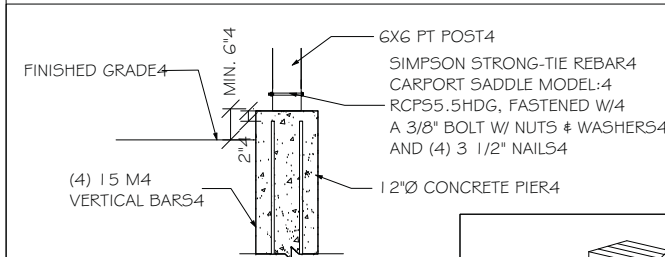
14
A5 FLOOR @ SECOND FLOOR (TYP)
SCALE: 4 3/4" = 1'-0"4



24
A5 MUDROOM @ EXISTING FRONT PORCH
SCALE: 4 3/4" = 1'-0"4

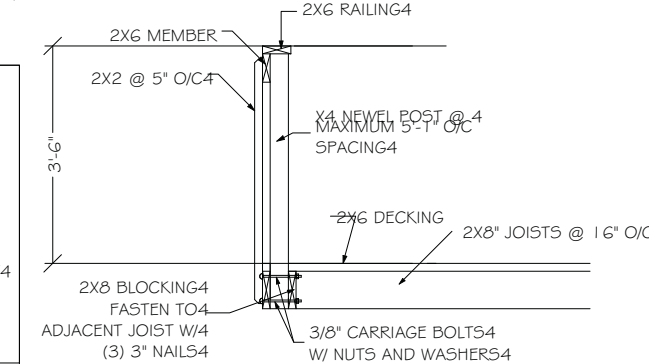


34
A5 LEDGER BOARD DETAIL (TYP)
SCALE: 4 3/4" = 1'-0"4

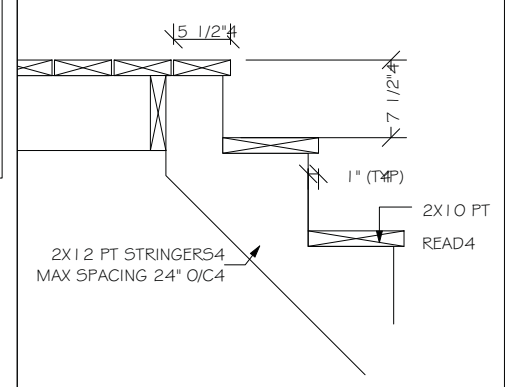


4
A5 CONCRETE PIER DETAIL (TYP)
SCALE: 4 1/2" = 1'-0"4

NOTE:
1) IF DIFFERENCE IN ELEVATION BETWEEN GRADE AND TOP OF DECK 4 EXCEEDS 5'-1 1", THE RAILING MUST BE 3'-6" HIGH 4
2) MAXIMUM 4X4 NEWEL POST SPACING IS 5'-1 4"
3) IF DIFFERENCE IN ELEVATION BETWEEN GRADE AND TOP OF DECK IS LESS 4 THAN 23 1/2" 4 NO RAILING REQUIRED
RAILING HEIGHT ALONG STAIRS IS 36" 4

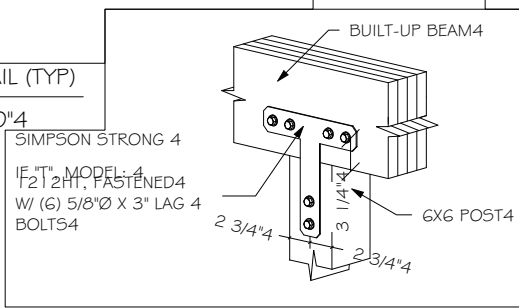


5
A5 RAILING DETAIL (TYP)
SCALE: 4 3/4" = 1'-0"4



2
A5 STAIR CONNECTION DETAIL (TYP)
SCALE: 4 1" = 1'-0"4

4
A5 POST TO BEAM DETAIL (TYP)
SCALE: 4 1" = 1'-0"4



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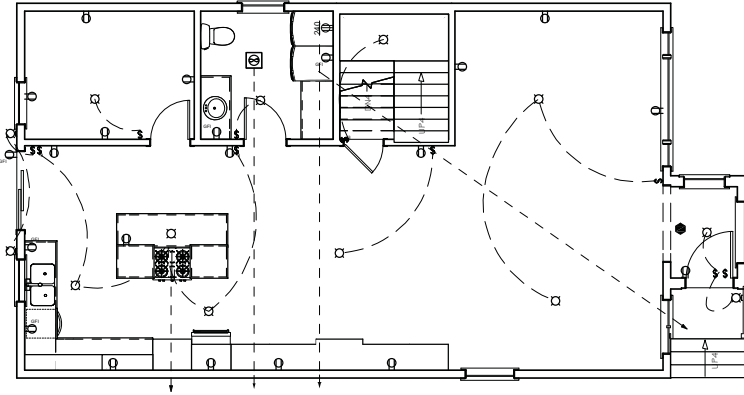


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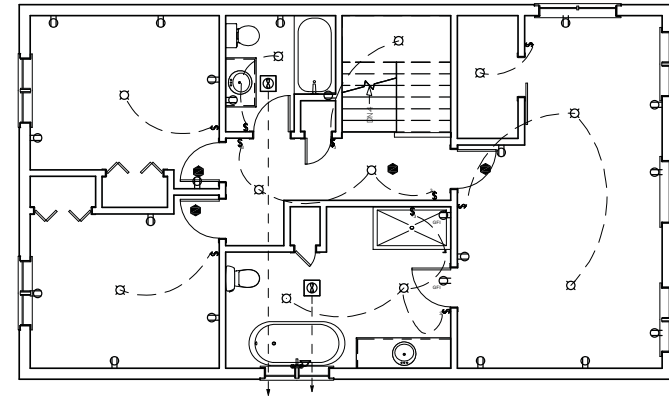
PROPOSED ADDITION 0 RESIDENCE	
CLIENT: WESLEY BROOKS	
LOCATION: 11 GARDINER ST., KINGSTON, ON	
DETAILS	
SCALE: AS SHOWN	Sheet MONDAY, FEBRUARY 22, 2021 5 of 7

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14
A64 MAIN FLOOR ELECTRICAL PLAN4
SCALE: 4 1/8" = 1'-0"4

ELECTRICAL LEGEND4	
SYMBOL4	DESCRIPTION4
	BROAN 110 CFM EXHAUS4 FAN MODEL: QTXE110C4
	Ceiling Mounted Light Fixtures: Surface/Pendant4
	Wall Mounted Light Fixtures: Flush Mounted,4
	240V Receptacle4
	110V Receptacles: Duplex,4
	GFI: Ground Fault Receptacles4
	Single Pole Switch4
	3-Way Switch4
	Smoke Alarms w/ visual signaling4 component as per 4 C 9.10.19.1.(2) 4 and CO2 detector4B.



24
A64 SECOND FLOOR ELECTRICAL PLAN4
SCALE: 4 1/8" = 1'-0"4



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PROPOSED ADDITION
O RESIDENCE

CLIENT: WESLEY BROOKS

LOCATION: 11 GARDINER ST., KINGSTON, ON

ELECTRICAL PLANS

SCALE:
1/8" = 1'-0"

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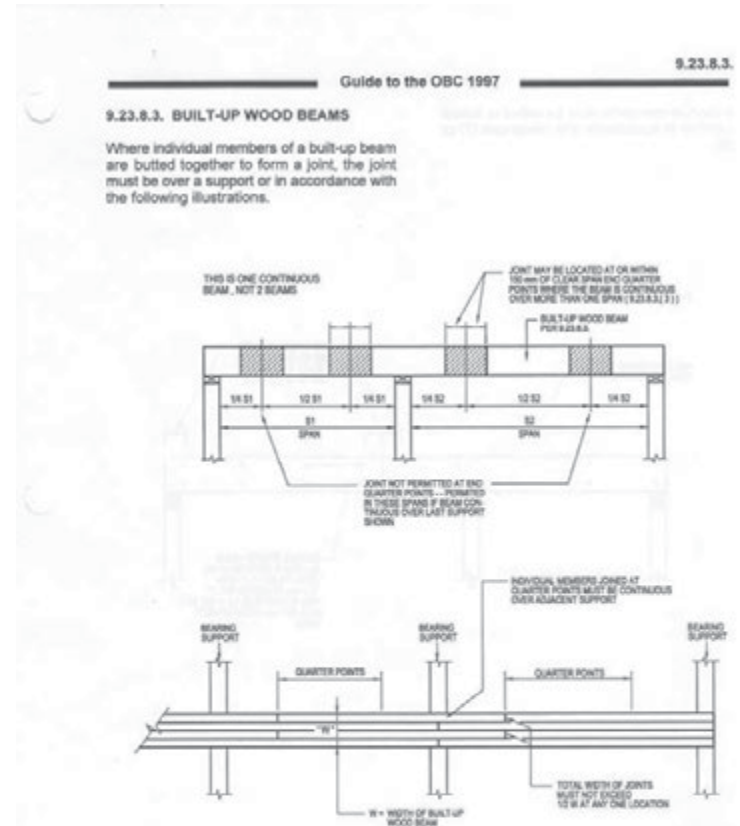
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- GENERAL NOTES:4
1. CONNECT ALL SMOKE AND CARBON MONOXIDE DETECTORS TO ALARM, ANY DETECTION WILL SOUND ALL ALARMS.4
 2. STAIRS AND HANDRAILS TO CONFORM WITH SECTION 9.8. O.B.C.4
 3. EAVE PROTECTION TO CONFORM WITH SECTION 9.26.3.1 O.B.C.4
 4. ALL LINTELS ARE (2)2X10, UNLESS NOTED OTHERWISE4
 5. INSTALL ATTIC VENTILATION TO CONFORM WITH SECTION 9.19.1. O.B.C.4
 6. ENSURE THAT THERE IS A MINIMUM CLEARANCE OF 17 3/4" TO ANY COMBUSTIBLE MATERIAL AT EITHER SIDE OF THE KITCHEN STOVE RANGE, AS WELL AS 30" CLEAR HEIGHT ABOVE THE RANGE UNLESS4
 7. PERWOOD PROTECT DECKS, EXTERIOR STAIRS AND EXTERIOR RAILINGS TO BE PRESSURE TREATED.4
 8. ALL GIRDER TRUSSES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUDS FORMING A COLUMN4 INSIDE THE STUD WALL AS INDICATED ON TABLE A-35 O.B.C. P287. ALL GIRDER TRUSSES REQUIRE A4 MINIMUM BEARING LENGTH OF 140mm UNLESS SPECIFIED OTHERWISE BY THE TRUSS MANUFACTURER.4
 9. IF ANY GIRDER TRUSSES BEAR ON A LINTEL OR TRANSFER THE APPLIED LOAD FROM THE GIRDER TRUSS4 DOWN TO A LINTEL, THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY LINTEL4 SIZING.4
 10. IF TILE IS TO BE PLACED AROUND TUB/SHOWER UNITS, ENSURE MOISTURE RESISTANT BACKING IS4 PROVIDED AS PER THE REQUIREMENTS OF THE O.B.C.4
 11. BLOCKING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AS PER4 B.C.4
 12. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS4
 13. ALL ELECTRICAL TO BE CONFIRMED BY OWNER PRIOR TO ORDERING ELECTRICAL COMPONENTS4
 14. SMOKE ALARMS ARE TO CONFORM TO THE REQUIREMENTS 18.5.3. OF NFPA 72 AND 9.10.19.1(2)4 B.C.4



BUILT-UP WOOD COLUMNS AND BEAMS

MEMBER	MIN. 3 1/2" NAIL SPACING
2X4	2 NAILS @ 16" O/C
2X6	3 NAILS @ 16" O/C
2X8	3 NAILS @ 16" O/C
2X10	4 NAILS @ 16" O/C
2X12	4 NAILS @ 16" O/C

EVERY SET OF NAILS ARE STAGGERED



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CLIENT: WESLEY BROOKS

LOCATION: 11 GARDINER ST., KINGSTON, ON

GENERAL NOTES

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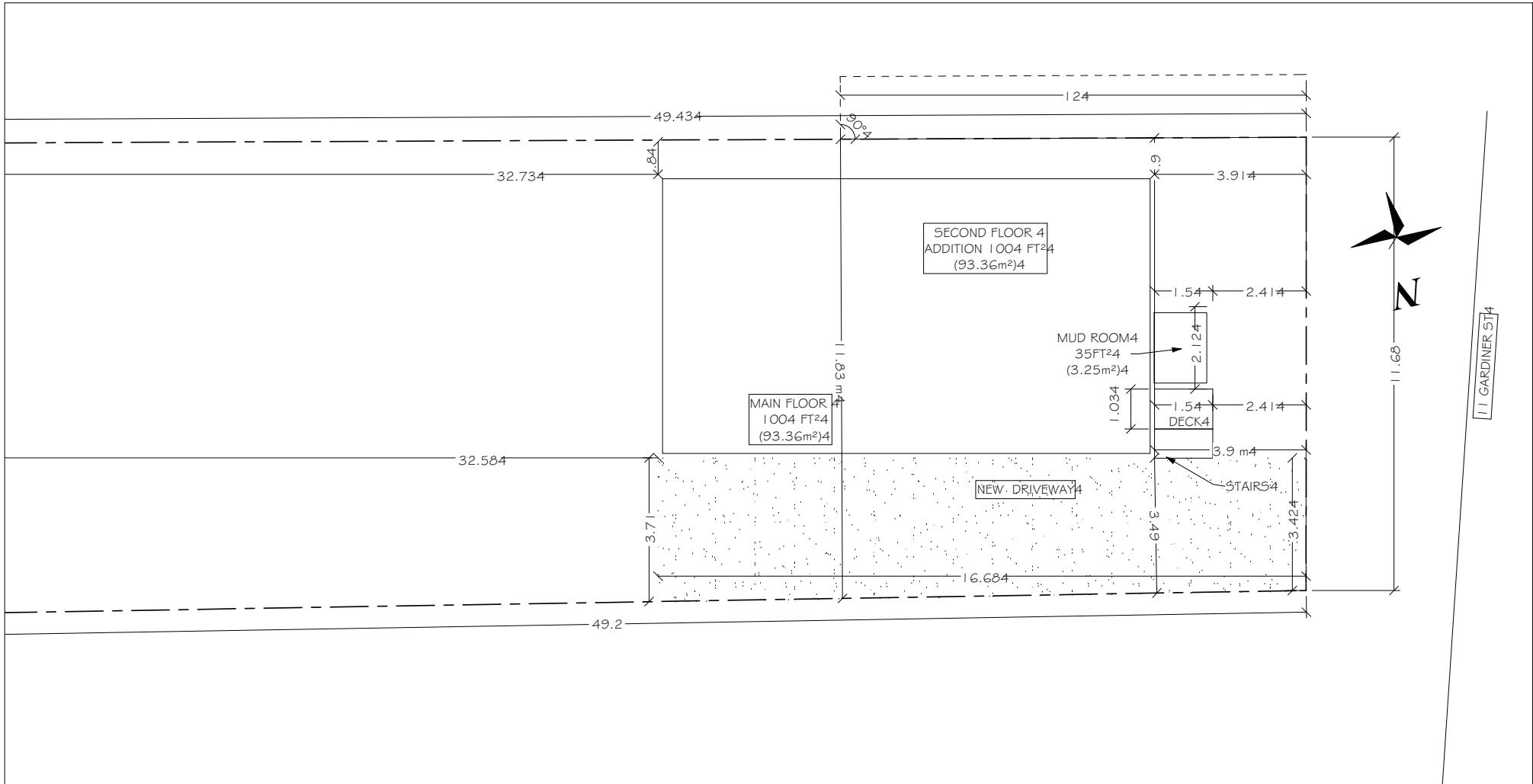
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LOCATION: 11 GARDINER ST., KINGSTON, ON

PLOT PLAN

SCALE: 1/8" = 1'-0"

MONDAY, FEBRUARY 22, 2021

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