



**City of Kingston  
Report to Committee of Adjustment  
Report Number COA-21-043**

---

**To:** Chair and Members of the Committee of Adjustment  
**From:** James Bar, Acting Manager, Development Approvals  
**Date of Meeting:** May 17, 2021  
**Application for:** Permission  
**File Number:** D13-027-2021  
**Address:** 585 Union Street  
**Owner:** Rory Dyke  
**Applicant:** Fotenn Consultants Inc.

---

**Council Strategic Plan Alignment:**

Theme: 2. Increase housing affordability

Goal: 2.1 Pursue development of all types of housing city-wide through intensification and land use policies.

**Executive Summary:**

This report provides a recommendation to the Committee of Adjustment regarding an application for permission for the property located at 585 Union Street. The existing building at 585 Union Street is developed with two residential units in a two-storey building that contains a small one storey rear addition. The existing structure is not compliant with the A5 Zones front and interior side yard setbacks. The application for Permission would permit the owner to expand the building through a second storey addition within the existing footprint of the rear addition and a re-configuration of the existing two units.

The application is subject to Zoning By-Law Amendment File Number D14-26-2020 to rezone the property to allow for the increase in the number of units on-site from 2 to 4. Due to the timing of the application and the construction timeline of the applicant, this Permission application has been applied for to permit the expansion of the two-unit non-complying building while the additional units and other built form considerations are being reviewed through the Planning

May 17, 2021

Page 2 of 10

Committee. This Permission application only deals with the construction of the two storey addition at the rear of the existing building.

The property is also the subject of an application for Site Plan Control under the *Planning Act* (File Number D11-045-2020) which is currently under review in conjunction with the zoning by-law amendment application.

The requested application for permission under Section 45(2)(a)(i) of the *Planning Act* is consistent with the general purpose and general intent of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposed two storey addition to the rear of the existing building is in keeping with the intent of the zoning by-law and represents appropriate and desirable development of the lot. Therefore, it is recommended that this application for permission under Section 45(2)(a)(i) of the *Planning Act* be approved.

**Recommendation:**

**That** the application for permission, File Number D13-027-2021, for the property located at 585 Union Street to construct a two-story addition at the rear of the existing building, be approved; and

**That** approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-21-043.

May 17, 2021

Page 3 of 10

**Authorizing Signatures:**



---

James Bar, Acting Manager of  
Development Approvals

**Consultation with the following Management of the Community Services Group:**

Tim Park, Acting Director, Planning Services

May 17, 2021

Page 4 of 10

**Options/Discussion:**

On April 30, 2021, an application for permission was submitted by OTFotenn Consultants Inc., on behalf of the owner, Rory Dyke, with respect to the property located at 585 Union Street. The application for permission is requested to permit the expansion of the existing non-complying structure with a two-storey addition located at the rear of the building. In review of Exhibit E, this application deals exclusively with the addition to the '2 Storey Vinyl-clad Dwelling, and not the larger 'Proposed Addition.' This is reflected in the detailed plans found in Exhibit D.

In support of the application, the applicant has submitted the following:

- Floor Plans, Elevations (Exhibit D)
- Site Plan from the Zoning By-Law Amendment Application (Exhibit E)

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

**Site Characteristics**

The subject property is in Portsmouth District on the north side of Union Street between Yonge Street to the west and Gardiner Street to the east. It has an area of approximately 847 square metres and 16.5 metres of frontage on Union Street. The property is currently developed with a two-storey residential dwelling with a one-storey rear addition and contains two residential dwelling units. The property is in the Portsmouth Village Heritage Character Area, but the subject site and adjacent properties are not designated under the *Ontario Heritage Act*.

The surrounding area contains a mix of residential, institutional, commercial, and open space uses. The subject property is approximately 200 metres from the commercial area along King Street in Portsmouth Village and is located close to a variety of amenities, including: Garrigan Park, Aberdeen Park, Domino Theatre, St. John's Church, Queen's University West Campus, and the Beechgrove Complex Recreation Centre.

Vehicular access is provided via an existing driveway on Union Street. Pedestrian access is also provided from an unobstructed pathway from Union Street. Sidewalks are present on both sides of Union Street and there are bike lanes heading eastwards along Union Street. The site is well served by Kingston Transit, including an express bus route along King Street with stops at Portsmouth Avenue and Sir John A. Macdonald Boulevard.

The following uses are directly adjacent to the subject property:

- North – Residential;
- East – Residential;
- South – Residential; and
- West – Residential and Industrial (auto body shop).



May 17, 2021

Page 5 of 10

## Legal Non-conforming

As stated in Subsection 45(2)(a)(i) of the *Planning Act*, where any land, building or structure, on the day the by-law was passed, was lawfully used for a purpose prohibited by the by-law, the Committee of Adjustment may permit the enlargement or extension of the building or structure, if the use that was made of the building or structure on the day the by-law was passed continued until the date of the application to the committee, but no permission may be given to enlarge or extend the building or structure beyond the limits of the land owned and used in connection therewith on the day the by-law was passed (Section 45(2)(a)(i)).

Subsection 45(2)(a)(ii) of the *Planning Act* authorizes the Committee of Adjustment to permit the use of such land, building or structure for a purpose that, in the opinion of the Committee, is similar to the purpose for which it was used on the day the by-law was passed or is more compatible with the uses permitted by the by-law than the purpose for which it was used on the day the by-law was passed, if the use for a purpose prohibited by the by-law or another use for a purpose previously permitted by the Committee continued until the date of the application to the Committee. In determining whether to permit a use under Section 45(2)(a)(ii), the test is not one of reasonableness; rather, the test is established by the statutory criteria of:

- 1) A similarity between the uses; and
- 2) Whether the proposed expansion is desirable for the appropriate development or use of the land.

Zoning By-Law Number 8499 was passed by Council in July 28, 1975 and predates the City of Kingston Official Plan which came into effect in 2010. As a general rule, any land use legally existing at the date of approval of the implementing zoning by-law that does not conform to the policies, provisions or schedules of the Official Plan or the zoning by-law is deemed a non-conforming use and should cease to exist in the long run.

## Provincial Policy Statement

Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

## Official Plan

The subject property is designated Residential on Schedule 3-A of the Official Plan. The Residential designation permits a variety of residential uses and built forms. The subject property is also identified on Schedule 9 as being within the Portsmouth Village Heritage

May 17, 2021

Page 6 of 10

Character Area. The Official Plan contains policies related to the protection of cultural heritage features and areas.

In certain circumstances, it may be desirable to grant the extension, enlargement or relocation of a non-conforming use as provided by the *Planning Act*. When reviewing an application for such extension, enlargement or relocation, the Committee of Adjustment must be satisfied that the legal non-conforming use continued to the date of the application to the Committee, and that the application would not extend such use beyond the area and site owned or used on the day of passage of the implementing zoning by-law, and that the application complies with the eight criteria as per Section 9.5.13 of the Official Plan regarding the extension or expansion of a non-conforming use. The subject application, requesting permission to construct a second storey addition to the existing two unit dwelling within the footprint of the existing rear addition, has been reviewed against these policies, provided below.

1. Consistency with provincial policy in effect at the time of the decision, and general conformity of the proposal with the intent of the policies and schedules of the Plan:

The subject lands are located within a settlement area as defined in the Provincial Policy Statement, where growth is to be focused on full municipal services. The second storey addition within the same footprint of the existing one storey addition maintains the residential uses onsite and does not have an impact upon matters of provincial interest as outlined in the Provincial Policy Statement including cultural heritage, natural heritage, and servicing.

2. Compatibility of the proposal with existing uses and zones, the natural heritage system, cultural heritage resources, and with future planned uses in accordance with the Plan:

The subject lands are designated Residential in the Official Plan and zoned for residential uses. The site is not within a natural heritage area as per the Official Plan. The lands are considered Composite Archaeological Potential. An Archaeological Assessment was submitted in support of the zoning by-law amendment application and the report has been entered into the Ministry of Tourism Culture and Sports Archaeological Register. No further archaeological assessment is required at this time.

The site is within the Portsmouth Village Heritage Character Area. The proposed second storey addition at the rear of the building will not be visible from the street. The scale and character of the area will not be impacted.

3. Compatibility of proposed buildings or structures with existing buildings and structures, with zoning standards of adjacent sites, with any future planned standards as provided in the Plan, and with any urban design guidelines adopted by the City for the area or for the type of development:

The expansion of the exiting one-storey rear addition with a second storey maintains the scale and character of the surrounding area. The addition faces into the site and is set back from the neighbouring lot lines. No negative offsite impacts are anticipated.

May 17, 2021

Page 7 of 10

4. The extent to which the proposal is warranted in this location and the extent to which areas zoned for the proposed use are available for development:

The expansion of the one-storey rear addition with a second storey allows for the re-configuration of the existing two units onsite in an area that is developed with residential uses within the urban area on full municipal services in a zone that permits two residential units. The expansion will not change the intensity of uses onsite.

5. The suitability of the site for the proposal, including its ability to meet all usual standards of parking for vehicles and bicycles, open space or amenity areas as well as the lack of any potential for noise, odour, traffic conflict or other nuisance from the proposal:

This application for Permission is only required to consider the expansion of the existing non-complying structure. As the existing dwelling pre-dates the current zone regulations, it was originally constructed with smaller front yard and interior side yard setbacks. The site is of a sufficient size that the existing dwelling and second story addition can meet all provisions of the A5 Zone.

6. The impact on municipal infrastructure, services and traffic:

There will be no impact to the sites and areas existing service levels.

7. Comments and submissions by staff, agencies and the public:

No comments or concerns.

8. The degree to which the proposal may inhibit conforming uses or creates a precedent:

The proposed addition conforms with all regulations of the A5 Zone. The application for permission would not create an undesirable precedent as the addition represents a logical and orderly expansion of the existing structure.

The requested permission to expand a one storey existing addition with a second floor meets the general intent and purpose of the City of Kingston Official Plan.

### **Zoning By-Law**

The subject property is zoned One-Family Dwelling and Two-Family Dwelling 'A5' in Zoning By-Law Number 8499. The zoning by-law does not contain provisions under Section 5 – General Provisions, that would allow for the expansion of a non-complying building as-of-right, even where a proposed addition complies with all other regulations of the by-law.

The following table outlines the changes to the A5 Zone (Section 11) and the General Provisions (Section 5) demonstrates that the proposed addition complies with all applicable provisions.

May 17, 2021

Page 8 of 10

Provision	Required	Proposed	Amendment Required?
Permitted Uses (Section 11.2)	One-family dwellings Two-family dwellings Various community facilities	Two-family dwellings	No
Maximum Building Height	10.7 metres	9.7 metres	No
Minimum Front Yard	7.5 metres	4.5 metres	Existing Legal non-complying
Minimum Side Yard	1.2 metres	East 0.9 metres West 2.9 metres  Addition greater than 1.2 metres	Existing Legal non-complying
Minimum Aggregate Side Yard	3 metres	3.8 metres	No
Minimum Rear Yard	6 metres	35.5 metres	No
Minimum Lot Width	15 metres	16.5 metres	No
Minimum Lot Area	370 square metres per unit	423 square metres per unit	No
Minimum Percentage of Landscaped Open Space	30%	Greater than 30%	No
Parking	1 space per dwelling unit	2 spaces	No
Parking Design Standards	2.7 metres wide by 6 metres long	2.7 metres wide by 6 metres long	No

**Technical Review: Circulated Departments and Agencies**

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Building Services | <input type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance           | <input type="checkbox"/> Utilities Kingston     | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input type="checkbox"/> Fire & Rescue     | <input type="checkbox"/> Kingston Hydro         | <input type="checkbox"/> City's Environment Division             |
| <input type="checkbox"/> Solid Waste       | <input type="checkbox"/> Parks Development      | <input type="checkbox"/> Canadian National Railways              |
| <input type="checkbox"/> Housing           | <input type="checkbox"/> District Councillor    | <input type="checkbox"/> Ministry of Transportation              |
| <input type="checkbox"/> KEDCO             | <input type="checkbox"/> Municipal Drainage     | <input type="checkbox"/> Parks of the St. Lawrence               |
| <input type="checkbox"/> CRCA              | <input type="checkbox"/> KFL&A Health Unit      | <input type="checkbox"/> Trans Northern Pipelines                |
| <input type="checkbox"/> Parks Canada      | <input type="checkbox"/> Eastern Ontario Power  | <input type="checkbox"/> CFB Kingston                            |
| <input type="checkbox"/> Hydro One         | <input type="checkbox"/> Enbridge Pipelines     | <input type="checkbox"/> TransCanada Pipelines                   |
| <input type="checkbox"/> Kingston Airport  |   |  |

May 17, 2021

Page 9 of 10

**Technical Comments**

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

**Public Comments**

At the time this report was finalized, no public comments had been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

**Previous or Concurrent Applications**

Zoning By-Law Amendment File D14-026-2020

Site Plan Control Application File D11-045-2020

**Conclusion**

The requested application for permission is consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposed expansion to the existing building maintains the use of a two unit dwelling onsite in a built form that is similar to those found in the area. The rear addition will not be visible from the street. Permitting the expansion makes appropriate and desirable use of the land as the residential uses will continue onsite in a compatible and complementary built form.

**Existing Policy/By-Law:**

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

**Provincial**

Provincial Policy Statement, 2020

**Municipal**

City of Kingston Official Plan

Zoning By-Law Number 8499

May 17, 2021

Page 10 of 10

**Notice Provisions:**

A Committee of Adjustment Meeting is going to be held respecting this application on May 17, 2021. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 33 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

**Accessibility Considerations:**

None

**Financial Considerations:**

None

**Contacts:**

James Bar, Acting Manager of Development Approvals, 613-546-4291 extension 3213

**Other City of Kingston Staff Consulted:**

None

**Exhibits Attached:**

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Neighbourhood Context Map (2019)
- Exhibit D Floor Plans and Elevations
- Exhibit E Site Plan
- Exhibit F Official Plan Map
- Exhibit G Zoning By-Law Number 8499, Map 26
- Exhibit H Site Photographs
- Exhibit I Public Notification Map

## **Recommended Conditions for Approval**

### **Application for Permission, File Number: D13-027-2021**

**Approval of the foregoing permission shall be subject to the following conditions:**

#### **1. Limitation**

That the approved variance applies only to the proposed second storey rear addition at 585 Union Street as shown on the approved plans attached to the Notice of Decision.

#### **2. No Adverse Impacts**

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

#### **3. Building Permit Application Requirements**

The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings. The drawings submitted with the building permit application must, in the opinion of the City, conform to the general intent and description of the approved drawings, including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. Additional planning applications may be required should further zoning deficiencies be identified through the Building Permit application process.

#### **4. Standard Archaeological Condition**

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132) and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries Regulation Section of the Ontario Ministry of Consumer Business Services (416-326-8404), the Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132), and the City of Kingston's Planning Division (613-546-4291 extension 3180) must be immediately contacted.



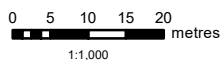
Disclaimer: This document is subject to copyright and may only be used for your personal, noncommercial use provided you keep intact the copyright notice. The City of Kingston assumes no responsibility for any errors, and is not liable for any damage of any kind resulting from the use or reliance on the information contained in this document. The City of Kingston does not make any representation or warranty, express or implied, concerning the accuracy, reliability or availability of the use of the information contained in this document. © 2019 The Corporation of the City of Kingston.



Planning Services  
a department of  
Community  
Services

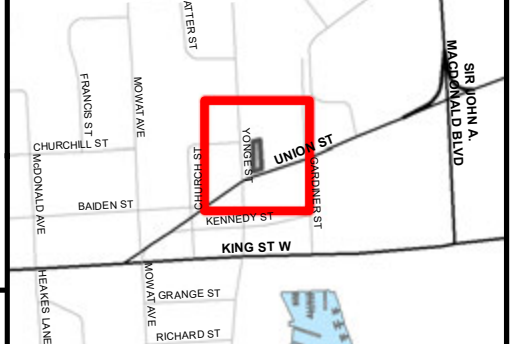
COMMITTEE OF ADJUSTMENT  
**Key Map**

File Number: D13-027-2021  
Address: 585 Union Street



DATE: 2020-12-03  
PREPARED BY: lchu

**CONTEXT MAP**



 Subject Lands

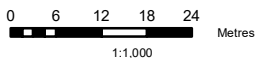




Planning Services  
a department of  
Community  
Services

COMMITTEE OF ADJUSTMENT  
**Neighbourhood Context (2019)**

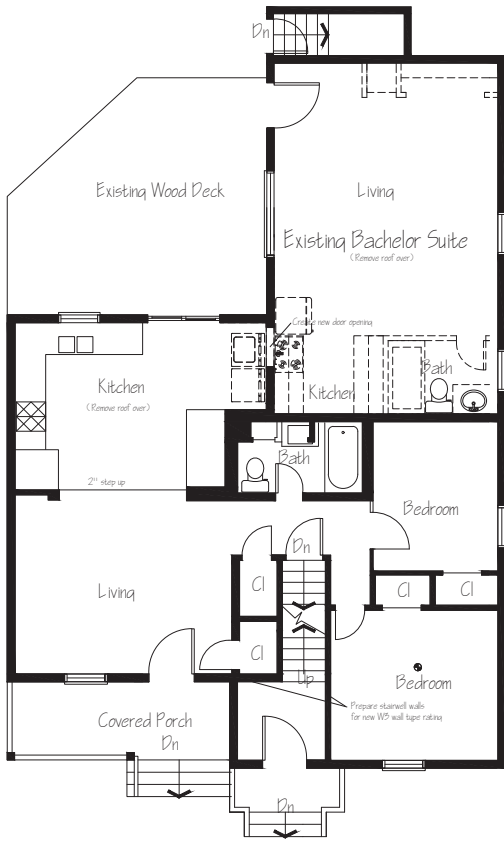
File Number: D13-027-2021  
Address: 585 Union Street



**Legend**

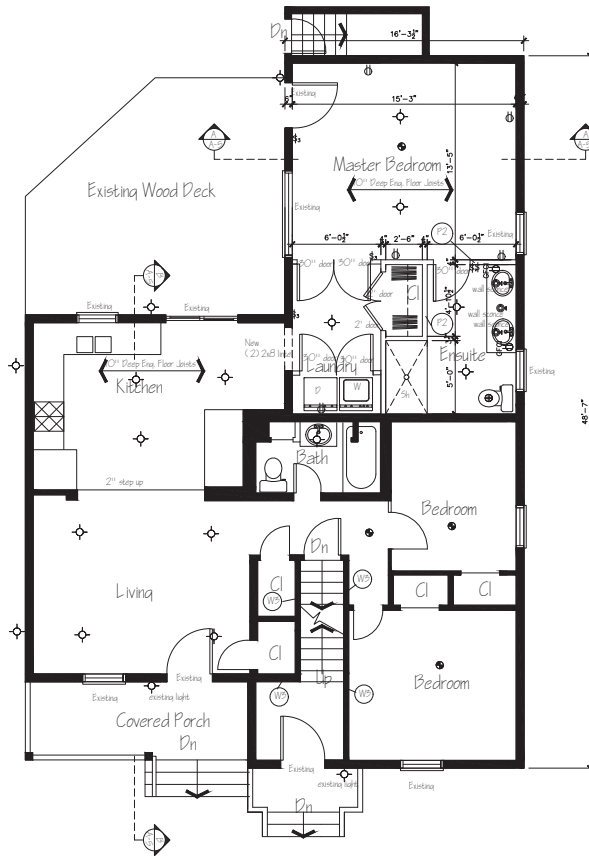
- Subject Lands
- Property Boundaries
- Proposed Parcels





Existing Condition/ Selective Demolition Ground Floor

Scale 1/4" = 1'-0"

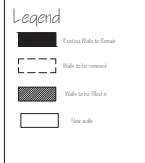


Proposed Ground Floor Plan

Scale 1/4" = 1'-0"

Roof Framing Notes

Contractor to confirm on-site the existing roof slope, load out and overhang before new trusses are fabricated by the truss manufacturer.  
Contractor to confirm on site dimensions before proceeding with new construction



City of Kingston's Standard Environmental Notes  
WHERE UNDESIRABLE CLEARING, DEMOLITION, REDEMPTION, OR REMEDIATION IS CONSIDERED THE OWNER AND THE CONTRACTOR SHALL BE OBLIGATED FOR THE POTENTIAL PRESENCE OF UNDESIRABLE THINGS, POTENTIAL CONTAMINATED SOIL OR ARCHAEOPOTENTIAL, BURIED UTILITIES OR ABANDONED WELLS OR ANY OF THE ABOVE ARE ENCOUNTERED OR SUSPECTED, THE OWNER SHALL INQUIRE FIRST.  
THE CITY OF KINGSTON'S ENVIRONMENTAL DIVISION IS ADVISED THAT CONTAMINANTS OR MATERIALS HAVE BEEN ENCOUNTERED OR ARE SUSPECTED.  
ANY WORK SHALL BE STOPPED IMMEDIATELY UPON ENCOUNTERING OR SUSPECTING ANY OF THE ABOVE STANDARDS AS DEFINED WITHIN THIS LOCAL ORDER OR AS REVISED.  
ANY NOTES GENERATED BY THE CLIENT ARE TO BE HANDLED IN ACCORDANCE WITH APPLICABLE LAWS AND STANDARDS.  
IF ANY ABANDONED GAS LINES ENCOUNTERED ARE DECOMMISSIONED IN ACCORDANCE WITH APPLICABLE LAWS AND STANDARDS.  
ANY UNDESIRABLE WORK SHALL BE STOPPED OR STOPPED AS PROPERLY ABANDONED IN ACCORDANCE WITH APPLICABLE LAWS AND STANDARDS.  
IF IT APPEARS THAT THE COMPARISON EXTENDS BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY, THE OWNER NOTICES THE LOCAL ORDER OF THE MINISTRY OF THE ENVIRONMENT AND THE CITY OF KINGSTON'S ENVIRONMENTAL DIVISION.  
A CONSTRUCTION CONTRACTOR IS NOT TO BE BOUND BY THIS LOCAL ORDER OF THE SUBJECT OF THIS AGREEMENT.  
TO OBTAIN A COPY OF THIS LOCAL ORDER, CONTACT THE MUNICIPALITY OF KINGSTON AT 366-3660 AND TO THE MUNICIPALITY (366-3660 EXT. 2248) CONTACT WITH.

Partition Types Roof Types

- 11 2x6 wood studs @ 16" o.c.  
5/8" thick Knauf absorptive material at plumbing locations  
1/2" drywall one layer both sides
- 12 1/2" x 2" x 1/2" drywall  
2x4 wood studs @ 16" o.c.  
1/2" x 2" x 1/2" drywall
- 13 Roof / Ceiling Assembly  
3/4" or asphalt or fibrous shingles  
15 # 6 felt building paper and 7" or eave protection as per code  
1/2" x 2" x 1/2" sheathing  
Exposed roof trusses @ 24" o.c.  
R5 batt ceiling insulation - rigid or arc  
R50 blown insulation attic arc  
6 mil poly vapor barrier  
1x5 ceiling strapping @ 16" o.c.  
1/2" x 2" x 1/2" drywall ceiling finish

Wall Types

- 14 General Floor Exterior Wall Assembly, R 29 1/4 FRF  
Vertical board and batten siding  
1/4" horizontal wood strapping @ 2" on centre  
1" rigid insulation sheathing R5  
Tyvek house wrap air barrier  
2" OSB Sheathing  
2x6 wood studs @ 16" o.c. (2.0cm FRP)  
R24 Roul Comfort Batt insulation  
6 mil poly vapor barrier  
Type X Firecode drywall (40 min. FRP)
- 15 Second Floor Exterior Wall Assembly, R 29  
Vertical board and batten siding  
1/4" horizontal wood strapping @ 2" on centre  
1" rigid insulation sheathing R5  
Tyvek house wrap air barrier  
2" OSB Sheathing  
2x6 wood studs @ 16" o.c. (2.0cm FRP)  
R24 Roul Comfort Batt insulation  
6 mil poly vapor barrier  
drywall
- 16 Wall Type # 5 Fire Separation 45min FRP, 5/8" x 5/8" x 5/8" Wall Type W5a  
2x4 or 2x6 wood studs @ 16" o.c. as per plan  
2" thick absorptive insulation  
Refract channels one side spaced at 40cm or 60cm o.c.  
One layer of 5/8" Type X or resilient channel  
Two layers of 5/8" Type X drywall on the other side

Floor Types

- 17 Floor / Ceiling Assembly FRF 1 hr 5/8" 50-50-50  
Table 2 Assembly, F11  
One layer exterior finish sanded plywood or OSB  
One layer exterior 15.9mm plywood or OSB  
Wood 1 joist max. spacing 60cm  
Sound insulation in cavity  
Resilient channel spaced at 40cm o.c.  
(2) Layers of gypsum board continuous on ceiling side 15.9mm Type "X"
- 18 Concrete Slab on grade  
6" concrete slab, 25MPa @ 25 days  
w/ 5-7% air entrainment  
89mm Extruded Polystyrene insulation 5mm  
5m or approved equivalent  
Minimum 6" compacted granular backfill

General Notes:

These plans were designed in accordance with the requirements of the Ontario Building Code.  
Drawings must not be scaled.  
Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Owner before proceeding with any work.  
Plans are copyrighted and any unlawful for use without company's express and written permission.  
These plans form the basis for permit issuance and any deviation from these plans and details, including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department.

The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Owner prior to installation.  
Ventilation switch and circulation switch shall be clearly labelled as per O.B.C. regulations.  
All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes prior to occupancy.

DESIGNER INFORMATION

1. Rod Stokes of Rod Stokes Consulting review and take responsibility for the design work, and am qualified in the appropriate categories as "Designer" under Division C Part 3 Section 3.2.4 of the Ontario Building Code.  
Firm B.C.I.N.: 38482  
Individual B.C.I.N.: 31134  
Signed: Rod Stokes  
March 22/23



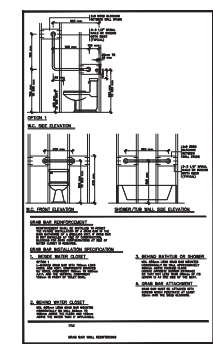
No.	Revision/Issue	Date
3	General revisions for plan review comments	Apr26/21
7	Issued for building permit	Mar22/21
6	Revisions for exterior lighting	Feb05/21
5	Revisions for planning technical comments	Feb02/21
4	Added outdoor entrance lights	Feb01/21
3	General electrical revisions	Nov24/20
2	General electrical revisions	Nov20/20
1	Issued for pricing	Oct15/20



Ground Floor Existing Conditions & Proposed Plans

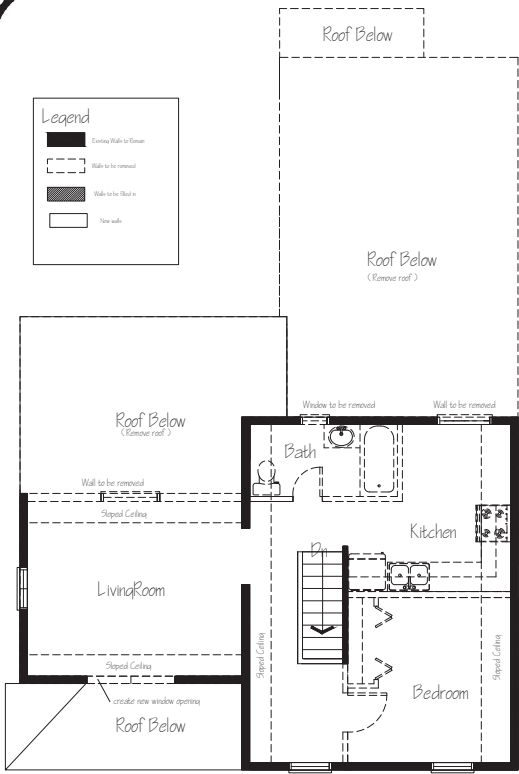
Proposed Renovations and Second Floor Addition for Rory & Rosie Duck  
585 Union Street Kingston

Project	Sheet
Date	A-1
Scale	As noted

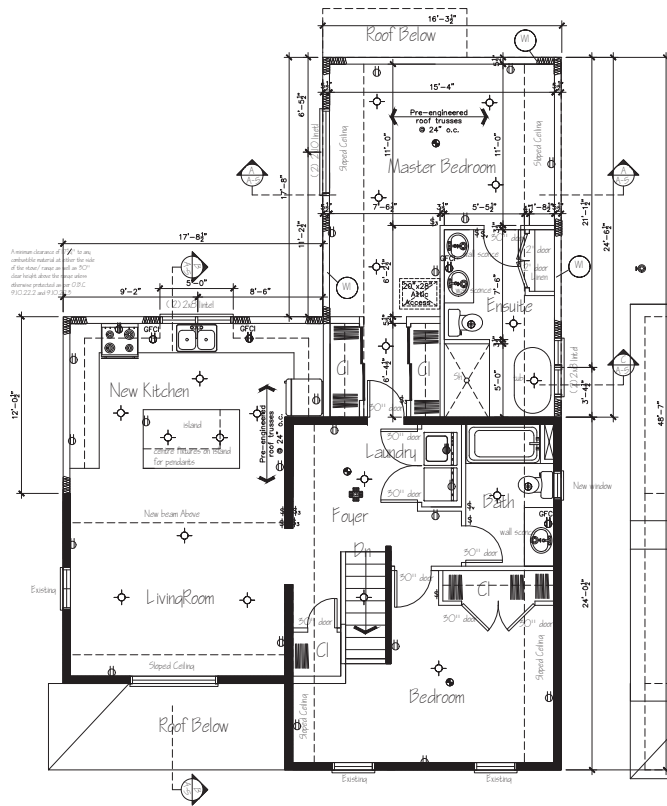


- ELECTRICAL LEGEND
- ☐ Pull cord light switch
  - ☐ Ceiling mounted light fixture
  - ☐ Wall mounted light fixture
  - ☐ New light fixture
  - ☐ Switch
  - ☐ Three way switch
  - ☐ Four way switch
  - ☐ Ventilation fan switch
  - ☐ Duplex receptacle
  - ☐ Split receptacle
  - ☐ Ground fault circuit interrupter
  - ☐ Weatherproof receptacle
  - ☐ 220v receptacle
  - ☐ Phone jack
  - ☐ Cable outlet
  - ☐ Central vacuum outlet
  - ☐ Special Receptacle
  - ☐ Exhaust fan
  - ☐ Interconnected a.c. smoke alarm
  - ☐ Carbon Monoxide detector
  - ☐ Thermostat/Stratification fan

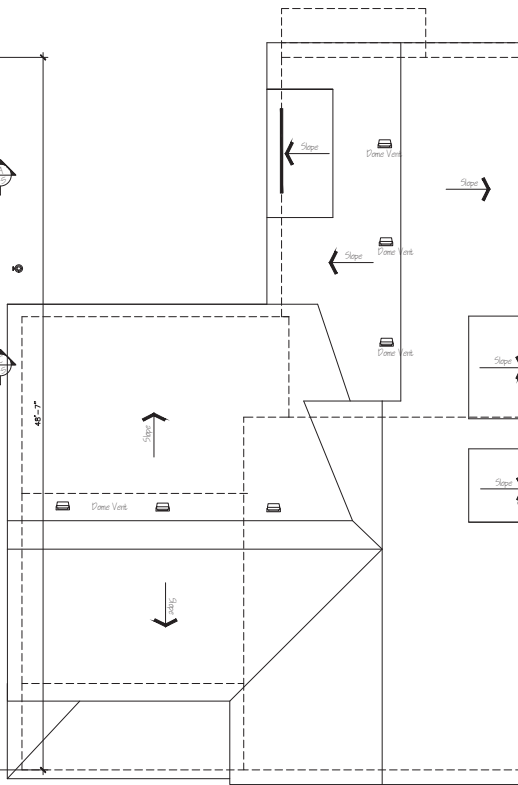




Existing Condition/ Selective Demolition Second Floor  
Scale 1/4" = 1'-0"



Proposed Second Floor Plan  
Scale 1/4" = 1'-0"



Proposed Roof Plan  
Scale 1/4" = 1'-0"

### Roof Framing Notes

Contractor is to confirm on site dimensions before proceeding with new construction.  
Contractor is to confirm on site dimensions before proceeding with new construction.

**City of Kingston's Standard Environmental Notes:**  
 WHILE UNDERTAKING CLEARING, DEMOLITION, EXCAVATION OR CONSTRUCTION THE OWNER AND THEIR CONTRACTORS SHALL BE VIGILANT FOR THE POTENTIAL PRESENCE OF HAZARDOUS MATERIALS. THESE MATERIALS MAY INCLUDE ASBESTOS, LEAD, PCB'S, MERCURY, BURNED WASTES OR HAZARDOUS SOLIDS. IF ANY OF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE OWNER SHALL ADVISE THE CITY OF KINGSTON'S ENVIRONMENTAL SERVICES. IT IS ADVISED THAT CONTAMINATED WASTES HAVE BEEN ENCOUNTERED OR ARE SUSPECTED.  
 1. ANY WASTES ENCOUNTERED OR SUSPECTED SHALL BE MANAGED IN ACCORDANCE WITH APPLICABLE STANDARDS AS OF FRESH WITHIN 0, 100, 1000 OR AS REVISED.  
 2. ANY WASTES ENCOUNTERED OR SUSPECTED SHALL BE MANAGED IN ACCORDANCE WITH APPLICABLE STANDARDS AS OF FRESH WITHIN 0, 100, 1000 OR AS REVISED.  
 3. ANY UNDESIRABLE MATERIALS ENCOUNTERED ARE TO BE DECONTAMINATED OR PROPERLY HANDLED IN ACCORDANCE WITH APPLICABLE STANDARDS AS OF FRESH WITHIN 0, 100, 1000 OR AS REVISED.  
 4. ANY UNDESIRABLE MATERIALS ENCOUNTERED ARE TO BE DECONTAMINATED OR PROPERLY HANDLED IN ACCORDANCE WITH APPLICABLE STANDARDS AS OF FRESH WITHIN 0, 100, 1000 OR AS REVISED.  
 5. IF IT APPEARS LIKELY THAT CONTAMINATION EXTENDS BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY, THE OWNER MUST NOTIFY THE LOCAL OFFICE OF THE MINISTRY OF THE ENVIRONMENT AND THE CITY OF KINGSTON'S ENVIRONMENTAL SERVICES.  
 6. CONSTRUCTION WASTES ARE NOT TO BE BURIED WITHIN THE PROPERTY THAT IS THE SUBJECT OF THIS AGREEMENT AND.  
 7. THAT THE OWNER AND THEIR CONTRACTORS REPORT ANY SPILLS TO THE MINISTRY OF THE ENVIRONMENT'S SPILL ACTION CENTRE (800-386-5868) AND TO THE MUNICIPALITY (646-4246 EXT. 1880) IMMEDIATELY.

### Partition Types

- (P1) 2x6 wood studs @ 16" o.c.  
5/8" thick Rock absorbent material at plumb locations  
1/2" drywall one layer both sides
- (P2) 1/2" drywall  
2x4 wood studs @ 16" o.c.  
1/2" drywall

### Roof Types

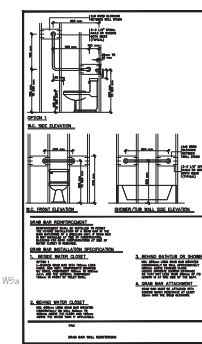
- (R1) Roof / Ceiling Assembly  
30' or asphalt or Fiberglass shingles  
15' #26 building paper and / or eave protection as per code  
1/2" roof sheathing  
Exposed roof trusses @ 24" o.c.  
15' batt ceiling insulation sloped across  
R24 blown insulation attic areas  
6 mil poly vapor barrier  
1x5 ceiling strapping @ 16" o.c.  
1/2" drywall ceiling finish

### Floor Types

- (F1) Floor / Ceiling Assembly FRB1 or SIC 50 5B-5  
Table 2 Assembly, F11  
One layer subfloor three stacked plywood or OSB  
One layer subfloor 15.9mm plywood or OSB  
Wood joist max. spacing 600mm  
Sound insulation in cavity  
Resilient channel spaced at 400mm o.c.  
1/2" layer of gypsum board @ ceiling side  
15.9mm Type "X"

### Wall Types

- (W1) Ground Floor Exterior Wall Assembly, R29 FRB FRB  
Vertical board and batten system  
1x4 horizontal wood strapping @ 2" on centre  
1" rigid insulation sheathing R5  
Tyvek house wrap air barrier  
2" OSB Sheathing  
2x6 wood studs @ 16" o.c. (200mm FRB)  
R24 Rock Comfort Plumb insulation  
6 mil poly vapor barrier  
2" drywall
- (W2) Second Floor Exterior Wall Assembly, R29  
Vertical board and batten system  
1x4 horizontal wood strapping @ 2" on centre  
1" rigid insulation sheathing R5  
Tyvek house wrap air barrier  
2" OSB Sheathing  
2x6 wood studs @ 16" o.c. (200mm FRB)  
R24 Rock Comfort Plumb insulation  
6 mil poly vapor barrier  
2" drywall
- (W3) Wall Type #3 Fire Separation 45min FRB, SIC 51 5B-5 Wall Type W3  
2x4 or 2x6 wood studs @ 16" o.c. as per plans  
60mm thick absorbent insulation  
Resilient channels one side spaced at 400mm or 600mm o.c.  
One layer of 5/8" Type X on resilient channel  
Two layers of 5/8" Type X drywall on the other side



	Pull cord light switch
	Ceiling mounted light fixture
	Pendant light fixture
	Wall mounted light fixture
	In-slab light fixture
	Switch
	Three way switch
	Four way switch
	Ventilation fan switch
	Duplex receptacle
	Split receptacle
	Ground fault circuit interrupter
	Weatherproof receptacle
	220v receptacle
	Phone jack
	Cable outlet
	Control room outlet
	Special Receptacle
	Exhaust fan
	Interconnected a.c. smoke alarm
	Carbon Monoxide detector
	Thermostat/Climate fan

### General Notes:

These plans were designed in accordance with the requirements of the Ontario Building Code. Drawings must not be scaled.  
 Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Owner before proceeding with any work.  
 Plans are copyrighted and any unlawful for use without company's express and written permission.  
 These plans form the basis for permit issuance and any deviation from these plans and details, including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department.  
 The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Owner prior to installation. Ventilation switch and circulation switch shall be clearly labelled as per O.B.C. regulations.  
 All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes prior to occupancy.

### DESIGNER INFORMATION

Rod Stokes of Rod Stokes Consulting review and take responsibility for the design work, and am qualified in the appropriate categories as "Designer" under Division C Part 3 Section 3.2.4 of the Ontario Building Code.  
 Firm B.C.I.N.: 38482  
 Individual B.C.I.N.: 31134  
 Signed: Rod Stokes  
 March 22/21



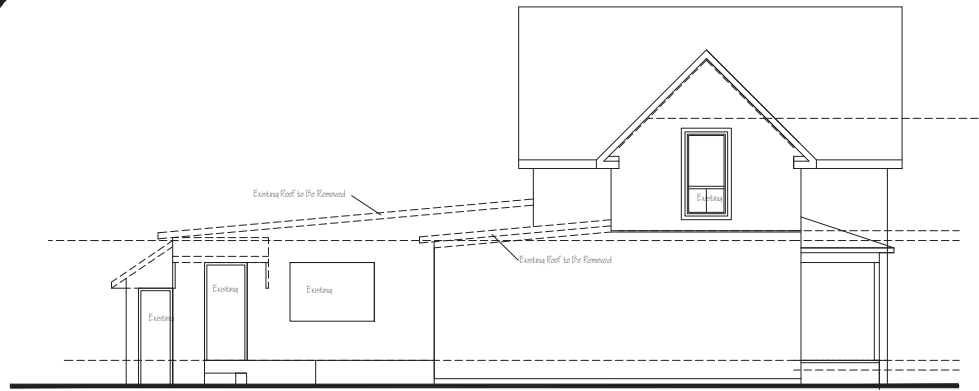
No.	Revision/Issue	Date
1	General reviews for plan review comments	Apr26/21
2	Issued for building permit	Mar22/21
3	Revisions for planning technical comments	Feb05/21
4	Revisions for planning technical comments	Feb02/21
5	Revisions for planning technical comments	Feb02/21
6	Added exterior entrance lights	Feb01/21
7	General electrical reviews	Nov24/20
8	General electrical reviews	Nov20/20
9	Issued for pricing	Oct5/20



Second Floor  
Existing Conditions  
& Proposed Plans

Proposed Renovations and Second Floor Addition for  
Rory & Rosie Duck  
585 Union Street Kingston

Project	Sheet
Date	A-2
Scale	As noted



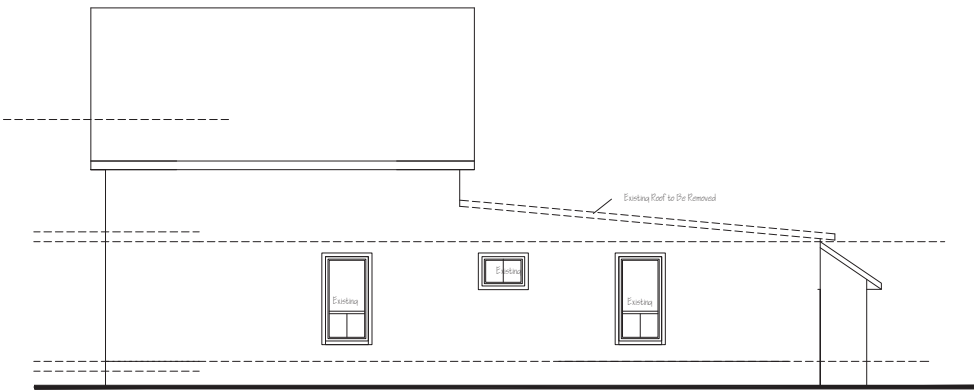
Existing West Elevation

Scale 1/4" = 1'-0"



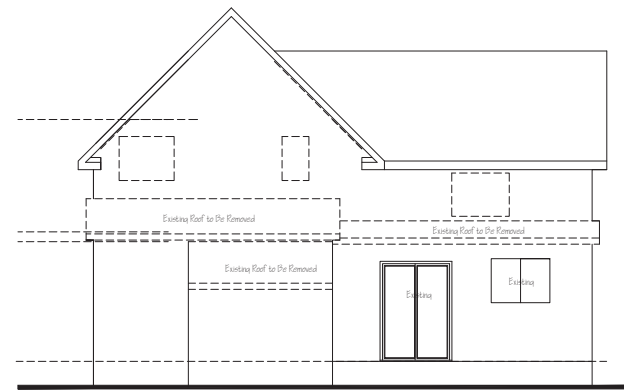
Existing South Elevation

Scale 1/4" = 1'-0"



Existing East Elevation

Scale 1/4" = 1'-0"



Existing North Elevation

Scale 1/4" = 1'-0"

Roof Framing Notes

Contractor to confirm on site the existing roof slope, leaf and overhangs before new trusses are fabricated by the truss manufacturer.  
Contractor to confirm on site dimensions before proceeding with new construction.

Legend

- Existing Walls to Remain
- Walls to be removed
- Walls to be added to
- New walls

General Notes:

These plans were designed in accordance with the requirements of the Ontario Building Code. Drawings must not be scaled.

Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Owner before proceeding with any work.

Plans are copyrighted and any unlawful for use without company's express and written permission.

"These plans form the basis for permit issuance and any deviation from these plans and details, including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department".

The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Owner prior to installation. Ventilation switch and circulation switch shall be clearly labelled as per O.B.C. regulations.

All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes prior to occupancy.

DESIGNER INFORMATION

Rod Stokes of Rod Stokes Consulting review and take responsibility for the design work, and am qualified in the appropriate categories as "Designer" under Division C Part 3 Section 3.2.4 of the Ontario Building Code.

Firm B.C.I.N.: 38482  
Individual B.C.I.N.: 31134

Signed: Rod Stokes  
March 22/21



No.	Revision/Issue	Date
8	General revisions for plan review comments	Apr26/21
7	Issued for building permit	Mar22/21
6	Revisions for exterior lighting	Feb05/21
5	Revisions for plan review comments	Feb02/21
4	Added exterior entrance lights	Feb01/21
3	General electrical revisions	Nov24/20
2	General electrical revisions	Nov20/20
1	Issued for pricing	Oct5/20

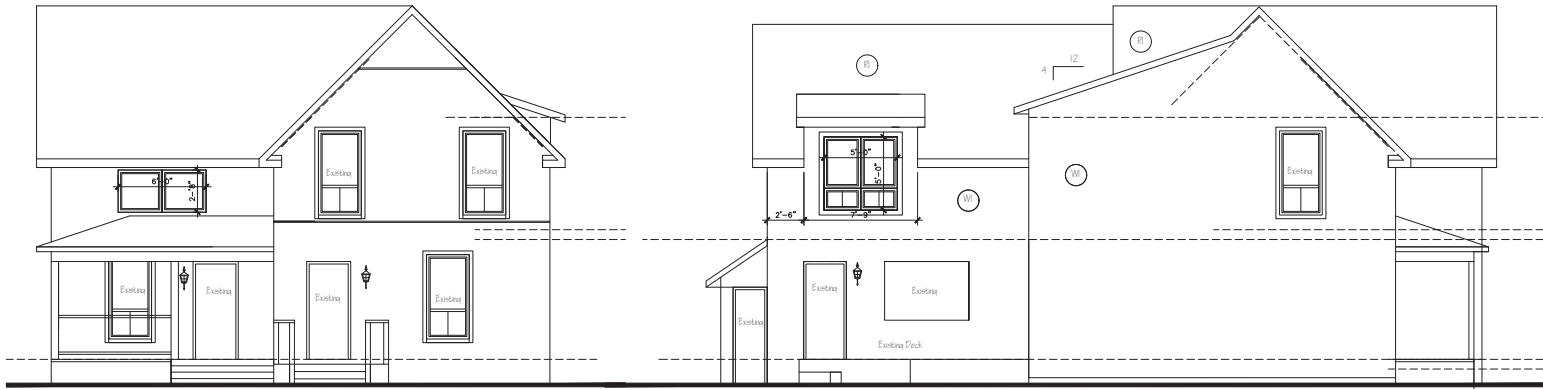


Drawing  
Existing Conditions  
Exterior Elevations

Drawing  
Proposed Renovations and Second Floor Addition for Rory & Rosie Duck  
5895 Union Street Kingston

Project	Sheet
Date	A-3
Scale	As noted

City of Kingston's Standard Environmental Note  
WHERE UNDERMINING, CLEARING, DEMOLITION, EXCAVATION OR CONSTRUCTION BY THE OWNER AND THEIR CONTRACTORS SHALL BE NECESSARY FOR THE REMOVAL, REDUCTION OR UNDERGROUNDING OF FUEL TANKS, POTENTIALLY CONTAMINATED SOIL OR GROUNDWATER, BURNED WASTES OR HAZARDOUS WASTES, IF ANY OF THE ABOVE ARE ENCOUNTERED OR SUSPECTED, THE OWNER SHALL OBTAIN THAT:  
A. THE CITY OF KINGSTON ENVIRONMENTAL SERVICES ADVISING THAT CONTAMINANTS OR WASTES HAVE BEEN IDENTIFIED AND LOCATED;  
B. ANY SOIL OR GROUNDWATER CONTAMINATION ENCOUNTERED IS REMEDIATED TO APPROVED STANDARDS AS SET FORTH WITHIN THE REG. ORDER OR AS REQUIRED;  
C. ANY WASTES GENERATED BY THE CLEAN-UPS ARE MANAGED IN ACCORDANCE WITH APPLICABLE LOCAL REGULATIONS;  
D. ANY ABANDONED FUEL TANKS ENCOUNTERED ARE DECOMMISSIONED IN ACCORDANCE WITH APPLICABLE LOCAL REGULATIONS;  
E. ANY HAZARDOUS WASTES ENCOUNTERED SHALL BE MANAGED IN ACCORDANCE WITH APPLICABLE LOCAL REGULATIONS AND ALL APPLICABLE REGULATIONS IN ACCORDANCE WITH APPLICABLE LOCAL REGULATIONS AND ALL APPLICABLE REGULATIONS;  
F. IF THERE ARE LIKES THAT CONTAMINATION EXTENDS BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY, THE OWNER NOTIFY THE LOCAL OFFICE OF THE MUNICIPALITY OF THE ENVIRONMENT AND THE CITY OF KINGSTON ENVIRONMENTAL SERVICES.  
G. CONSTRUCTION WASTES ARE NOT TO BE BURIED WITHIN THE PROPERTY THAT IS THE SUBJECT OF THIS AGREEMENT AND;  
H. THAT THE OWNER AND THEIR CONTRACTORS/SUBS ALL SHALL BY THE MUNICIPALITY OF THE ENVIRONMENT'S SPILL ACTION CENTRE (SAC) REGISTERED AND TO THE MUNICIPALITY (443-5811 EXT. 3486) FOR MORE INFORMATION.

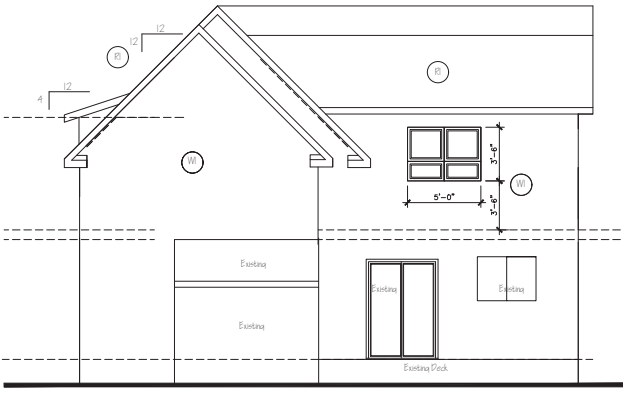


Proposed South Elevation  
Scale 1/4" = 1'-0"

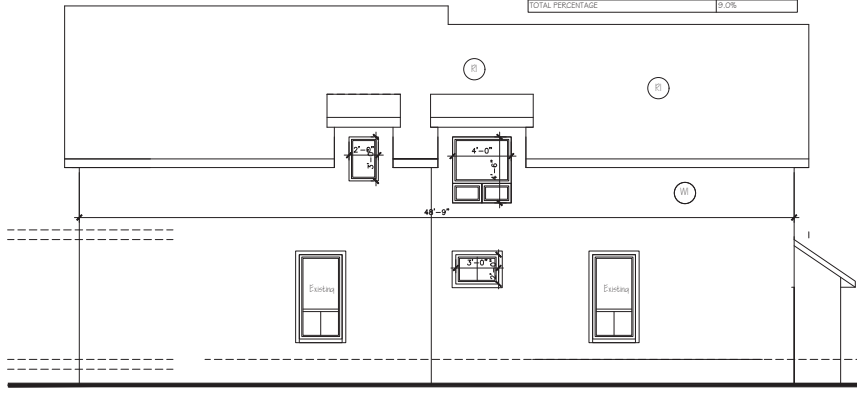
Proposed West Elevation  
Scale 1/4" = 1'-0"

**Legend**

- Existing Walls to Remain
- Walls to be removed
- Walls to be Rebuilt
- New walls



Proposed North Elevation  
Scale 1/4" = 1'-0"



Proposed East Elevation  
Scale 1/4" = 1'-0"

LOCATION New Upper Unit East elevation

MAX. EXPOSED BUILDING FACE AREA	SIDE ELEVATION
200 sq ft (18.5 sm)	
LIMITING DISTANCE	Typ 4.7' (1.44m)
MAX. PERCENTAGE OF GLAZED OPENINGS ALLOWED	0.0%
TOTAL AREA OF GLAZED OPENINGS	18.5 SQ FT.
TOTAL PERCENTAGE	9.0%

LOCATION New Lower Unit East elevation

MAX. EXPOSED BUILDING FACE AREA	SIDE ELEVATION
250 sq ft (23 sm)	
LIMITING DISTANCE	Typ 4.7' (1.44m)
MAX. PERCENTAGE OF GLAZED OPENINGS ALLOWED	0.0%
TOTAL AREA OF GLAZED OPENINGS	23 SQ FT.
TOTAL PERCENTAGE	9.0%

**Roof Framing Notes**

Contractor is to confirm on site the existing roof slope, level out and overhang before new trusses are fabricated by the truss manufacturer.  
Contractor is to confirm on site dimensions before proceeding with new construction.

**Partition Types**

- P1 2x6 wood studs @ 16" o.c.  
5/8" thick rigid absorption mineral at planing location  
1/2" drywall one layer 1500 series
- P2 1/2" drywall  
2x4 wood studs @ 16" o.c.  
1/2" drywall

**Roof Types**

- R1 Roof / Ceiling Assembly FRB I or 5/8" G O 3B-5  
2x0 w/ asphalt or Fibreglass shingles  
19" R fib building paper and / or saw protection on per side  
1/2" OSB sheathing  
Exposed roof trusses @ 24" o.c.  
R2 15# batt ceiling insulation sloped areas  
R3 0' Fiberglass insulation attic areas  
R4 6 mil poly vapour barrier  
R5 1x3 ceiling strapping @ 16" o.c.  
R6 1/2" drywall ceiling finish

**Wall Types**

- W1 Main House Exterior Wall Assembly R 22  
Vertical board and batten siding  
1x4 horizontal wood strapping @ 2" on centre  
Tapek house wrap  
1" rigid insulation sheathing R5  
1/2" OSB Sheathing  
2x6 wood studs @ 16" o.c.  
R24 Rigid Comfort Plate insulation  
6 mil poly vapour barrier  
1/2" drywall

**Floor Types**

- F1 Floor / Ceiling Assembly FRB I or 5/8" G O 3B-5  
Table 2 Assembly F11  
One layer subfloor (one sanded plywood or OSB  
One layer subfloor 19.5mm plywood or OSB  
Wood 1 joists max. spacing 600mm  
Sound insulation in cavity  
Resilient channel spaced at 400mm o.c.  
(2) Layers of gypsum board continuous on ceiling side 19.5mm Type "X"  
All ducted range hoods and bathroom exhaust to be enclosed in airtight bulkheads completely below the fire separation vertical above
- F2 Concrete slab on grade  
6" concrete slab 2500psi @ 28 days  
w/ 5-7% air entrainment  
4 inches Extruded Polystyrene insulation Dow  
5m or approved equivalent  
Minimum 6" compacted granular backfill

Only if required. Standard Environmental Notes:  
WHERE UNDERPINNING, CLEANING, DEMOLITION, DECONTAMINATION OR CONSTRUCTION OF THE OWNER AND THEIR CONTRACTORS SHALL BE NECESSARY FOR THE POTENTIAL PRESENCE OF UNDERGROUND PALE FUELS, POTENTIAL CONTAMINATION OF OR FROM WASTEWATER, BURIED WASTES OR ABANDONED WATER WELLS, IF ANY OF THE ABOVE ARE DISCOVERED OR SUSPECTED, THE OWNER SHALL INQUIRE THEREOF.  
THE CITY OF KINGSTON IS ADVISED THAT CONTAMINANTS ON WASTES HAVE BEEN DISCOVERED OR ARE SUSPECTED.  
A. ANY WELLS OR GAS HYDRATE CONCENTRATIONS IDENTIFIED OR SUSPECTED TO BE APPROPRIATELY ABANDONED AS DENIED WITHIN 0.166 KILOMETERS OR AS DENIED BY ANY WELLS GENERATED BY THE CONTRACTOR ARE ABANDONED IN ACCORDANCE WITH PROCECURE 0010-001-0000.  
B. ANY UNDETAILED WELLS (DRILLED OR BORED) ARE PROPERLY ABANDONED IN ACCORDANCE WITH PROCECURE 0010-001-0000.  
C. IF IT APPEARS LIKELY THAT CONTAMINATION EXTENDS BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY, THE OWNER SHOULD NOTIFY THE MUNICIPALITY OF THE ENVIRONMENT AND THE CITY OF KINGSTON'S ENVIRONMENTAL DEPARTMENT.  
D. CONSTRUCTION WASTES ARE NOT TO BE BURIED WITHIN THE PROPERTY THAT IS THE SUBJECT OF THESE NOTES AND THAT THE OWNER AND THEIR CONTRACTORS REPORT ALL SPILLS TO THE MUNICIPALITY OF THE ENVIRONMENT'S SPILLS ACTION CENTRE 1-800-361-3800 OR MAIL TO THE MUNICIPALITY (94-429) EXT. 1-800-361-3800.

**General Notes:**

These plans were designed in accordance with the requirements of the Ontario Building Code. Drawings must not be scaled.  
Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Owner before proceeding with any work.  
Plans are copyrighted and any unlawful for use without company's express and written permission.  
These plans form the basis for permit issuance and any deviation from these plans and details, including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department.  
The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Owner prior to installation.  
Ventilation switch and circulation switch shall be clearly labelled as per O.B.C. regulations.  
All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes prior to occupancy.

**DESIGNER INFORMATION**

1. Rod Stokes of Rod Stokes Consulting review and take responsibility for the design work, and am qualified in the appropriate categories as "Designer" under Division C Part 3 Section 3.2.4 of the Ontario Building Code.  
Firm B.C.I.N.: 38482  
Individual B.C.I.N.: 31134  
Signed: Rod Stokes  
March 22/21



No.	Revision/Issue	Date
5	General revisions for plan review comments	Apr26/21
7	Issued for building permit	Mar22/21
6	Revisions for exterior lighting	Feb05/21
9	Coverage for planning technical comments	Feb02/21
4	Added exterior entrance lights	Feb01/21
3	General electrical revisions	Nov24/20
2	General electrical revisions	Nov20/20
1	Issued for pricing	Oct15/20

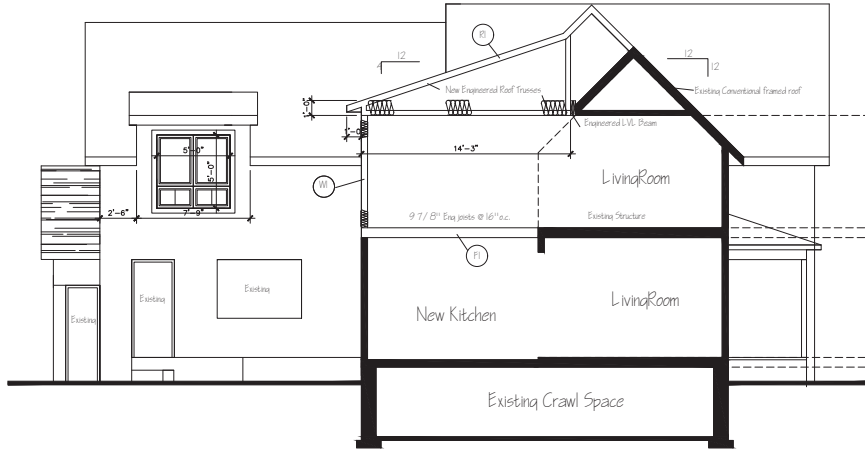


Drawing  
Proposed  
Exterior Elevations

Drawing  
Proposed Renovations and Second Floor Addition for Rory & Rosie Duck  
585 Union Street Kingston

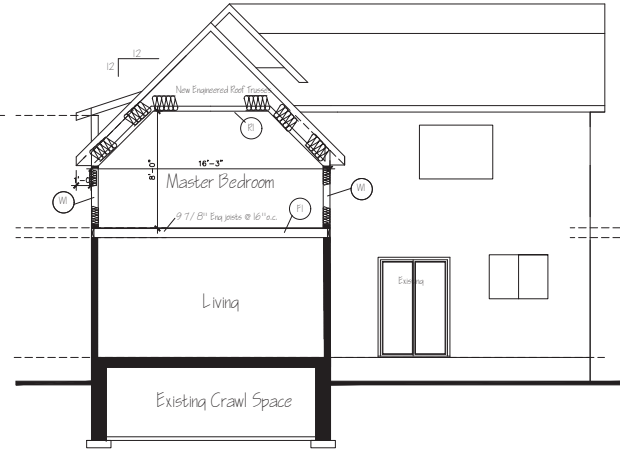
Project	Sheet
	A-4

Date: As noted



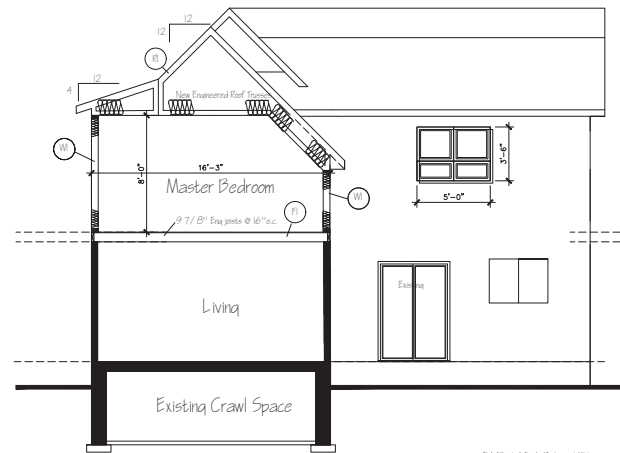
Proposed Cross Section B-B

Scale 1/4" = 1'-0"



Proposed Cross Section A-A

Scale 1/4" = 1'-0"



Proposed Cross Section C-C

Scale 1/4" = 1'-0"

Roof Framing Notes

Contractor to confirm on site the existing roof slope, heel cut and overhang before new trusses are fabricated by the truss manufacturer.

Contractor to confirm on site dimensions before proceeding with new construction

Partition Types

- P1 2x6 wood studs @ 16" o.c.  
3/4" thick foam absorptive material at plumbing locations  
1/2" drywall one layer both sides
- P2 1/2" drywall  
3/4" wood studs @ 16" o.c.  
1/2" drywall

Floor Types

- F1 Floor / Ceiling Assembly PER 1 for 51C 9.0 5B-5 Table 2 Assembly Fill  
One layer subfloor (laminated plywood or OSB)  
One layer subfloor 15.5mm plywood or OSB  
Wood joists max. spacing 600mm  
Sound insulation in cavity  
Resilient channel spaced at 400mm o.c.  
(2) layers of gypsum board continuous on ceiling side 15.9mm Type "X"  
All ducted range hoods and bathroom exhausts to be enclosed in drywall bulkheads completely below the fire separation vertical above

- F2 Concrete Slab on grade  
6" concrete slab 2518psi @ 28 days  
w/ 5-7% air entrainment  
4 inches Extruded Polystyrene insulation Dow 5m or approved equivalent  
Minimum 6" compacted granular backfill

Roof Types

- R1 Roof / Ceiling Assembly  
50 or asphalt or fibre/celsole sheathing  
15 # felt building paper and / or eave protection as per code  
1/2" roof sheathing  
Engineered roof trusses @ 24" o.c.  
R51 batts ceiling insulation sloped across  
R6.0 blown insulation attic areas  
6 mil poly vapor barrier  
1/2" ceiling strapping @ 16" o.c.  
1/2" drywall ceiling finish

Wall Types

- W1 Main House Exterior Wall Assembly PER 209  
Vertical bevel and battens siding  
1/4" horizontal wood strapping @ 2" on centre  
Fibreglass house wrap  
1" rigid insulation sheathing R5  
3/4" OSB Sheathing  
2x6 wood studs @ 16" o.c.  
R24 Fibreglass Ceiling/Batt insulation  
6 mil poly vapor barrier  
1/2" drywall

General Notes:

These plans were designed in accordance with the requirements of the Ontario Building Code.

Drawings must not be scaled.

Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Owner before proceeding with any work.

Plans are copyrighted and any unlawful for use without company's express and written permission.

These plans form the basis for permit issuance and any deviation from these plans and details including the ventilation system, heating system, woodstoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department.

The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Owner prior to installation.

Verification switch and circulation switch shall be clearly labelled as per O.B.C. regulations.  
All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes prior to occupancy.

DESIGNER INFORMATION

1. Rod Stokes of Rod Stokes Consulting review and take responsibility for the design work, and am qualified in the appropriate categories as "Designer" under Division C Part 3 Section 3.2.4 of the Ontario Building Code.

Firm B.C.I.N.: 38482  
Individual B.C.I.N.: 31134

Signed: Rod Stokes  
March 22/21



No.	Revision/Issue	Date
8	General revisions for plan review comments	Apr26/21
7	Issued for building permit	Mar22/21
6	Revisions for exterior lighting	Feb05/21
5	Revisions for plumbing, technical comments	Feb02/21
4	Added exterior entrance lights	Feb01/21
3	General electrical revisions	Nov24/20
2	General electrical revisions	Nov20/20
1	Issued for pricing	Oct19/20

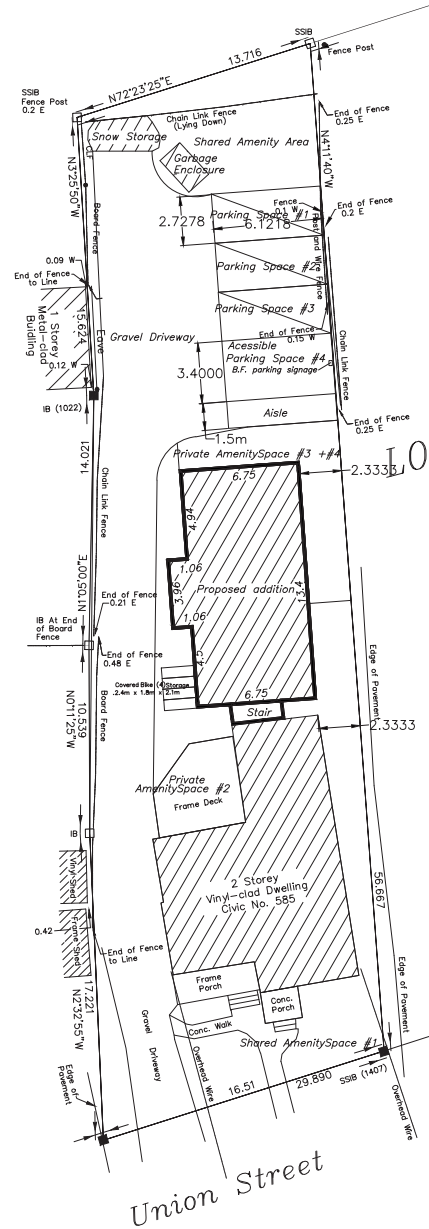


Drawing  
Cross Sections

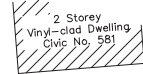
Drawing  
Proposed Renovations and Second Floor Addition for Rory & Rosie Duck  
585 Union Street Kingston

Project	Sheet
	A-5
Date	
Scale	As noted

City of Kingston's Standard Environmental Notes  
WHERE UNDERLYING CLEARING, DEMOLITION, EXCAVATION OR CONSTRUCTION THE OWNER AND THEIR CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION, PRESERVATION OR UNDEGRADED FUEL TANKS, POTENTIALLY CONTAMINATED SOIL OR GROUNDWATER, BURIED WASTES OR ABANDONED WATER WELLS IF ANY OF THE ABOVE ARE ENCOUNTERED OR SUSPECTED, THE OWNER SHALL ENSURE THAT:  
1. THE CITY OF KINGSTON'S ENVIRONMENTAL SERVICES DIVISION IS ADVISED THAT CONTAMINANTS OR WASTES HAVE BEEN ENCOUNTERED OR ARE SUSPECTED;  
2. ANY SOIL OR GROUNDWATER CONTAMINATION ENCOUNTERED IS REMEDIATED TO APPLICABLE STANDARDS AS DETERMINED BY THE LOCAL OR PROVINCIAL REGULATIONS;  
3. ANY WASTES GENERATED BY SITE CLEAN-UPS ARE MANAGED IN ACCORDANCE WITH APPLICABLE LOCAL AND PROVINCIAL REGULATIONS;  
4. ANY ABANDONED FUEL TANKS ENCOUNTERED ARE DISCONTINUED IN ACCORDANCE WITH APPLICABLE LOCAL AND PROVINCIAL REGULATIONS;  
5. ANY WASTES ABANDONED IN ACCORDANCE WITH APPLICABLE REGULATIONS ARE WELL LOGGED AND BULKED;  
6. IF A FUEL TANK IS FOUND THAT CONTAMINATES ARE DETECTED BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY, THE OWNER MUST NOTIFY THE LOCAL OFFICE OF THE NUMBER OF THE ENVIRONMENT AND THE CITY OF KINGSTON ENVIRONMENTAL SERVICES DIVISION;  
7. CONSTRUCTION WASTES ARE NOT TO BE BURIED WITHIN THE PROPERTY THAT IS THE SUBJECT OF THIS PERMITTING APPLICATION;  
8. WITH THE EXCEPT THAT THE CITY OF KINGSTON'S STANDARD NOTES ALL APPLICABLE TO THE MUNICIPALITY'S SINGLE ACTION CENTRE (SAC) AND SAGS AND TO THE MUNICIPALITY'S SAGS AND SAGS. UNDER CONTRACT.



**Site Statistics**  
 Lot area 847sm (9,117 sf)  
 Existing house footprint 116.3 sm (1,252 sf)  
 Existing House GFA 232.6 sm (2,504 sf)  
 Phase 2 Addition footprint 94.57sm (1,018sf)  
 Phase 2 Addition GFA - 189sm (2,036 sf)  
 Raised decks and Porches 32.45 sm (292 sf)  
 Driveway and parking area 308 sm (3,315sf)  
 Total Covered area 551.32sm (5,934.55 sf)  
 Landscaped area remaining 295sm (3,182 sf) or 34.8%  
 Amenity Area Required (4) units x 18.5sm = 74sm  
 Amenity Area #1 54.72 sm Shared  
 Amenity Area #2 32.3 sm Private  
 Amenity Area #3 and #4 38.8sm Private  
 Amenity Area Provided  
 Total Amenity Area Provided 125.82sm

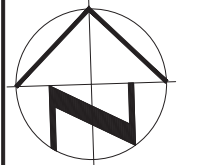


Site Plan

**General Notes:**

These plans were designed in accordance with the requirements of the Ontario Building Code.  
 Drawings must not be scaled.  
 Contractor shall verify and be responsible for all dimensions and minimum code requirements and shall report any discrepancy to the Owner before proceeding with any work.  
 Plans are copyrighted and any unlawful for use without company's express and written permission.  
 "These plans form the basis for permit issuance and any deviation from these plans and details, including the ventilation system, heating system, accessories, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building inspection department".  
 The mechanical and electrical layout is only schematic. If items in plan cannot be placed exactly as shown, inform the Owner prior to installation.  
 Verification switch and circulation switch shall be clearly labelled as per O.B.C. regulations.  
 All mechanical, electrical and plumbing shall conform to the O.B.C. and all applicable codes prior to occupancy.

**DESIGNER INFORMATION**  
 I, Rod Stokes of Rod Stokes Consulting review and take responsibility for the design work, and am qualified in the appropriate categories as "Designer" under Division C Part 3 Section 3.2.4 of the Ontario Building Code.  
 Firm B.C.I.N.: 38452  
 Individual B.C.I.N.: 31134  
 Signed: Rod Stokes  
 Jan 08, 2020



4		
3		
2		
1		
Need for Zoning and Site Plan approval		
No.	Revision/Issue	Date



Drawing  
 Site Plan

Proposed Two Storey Residential Addition for Rory & Rosie Dyck 585 Union Street Kingston

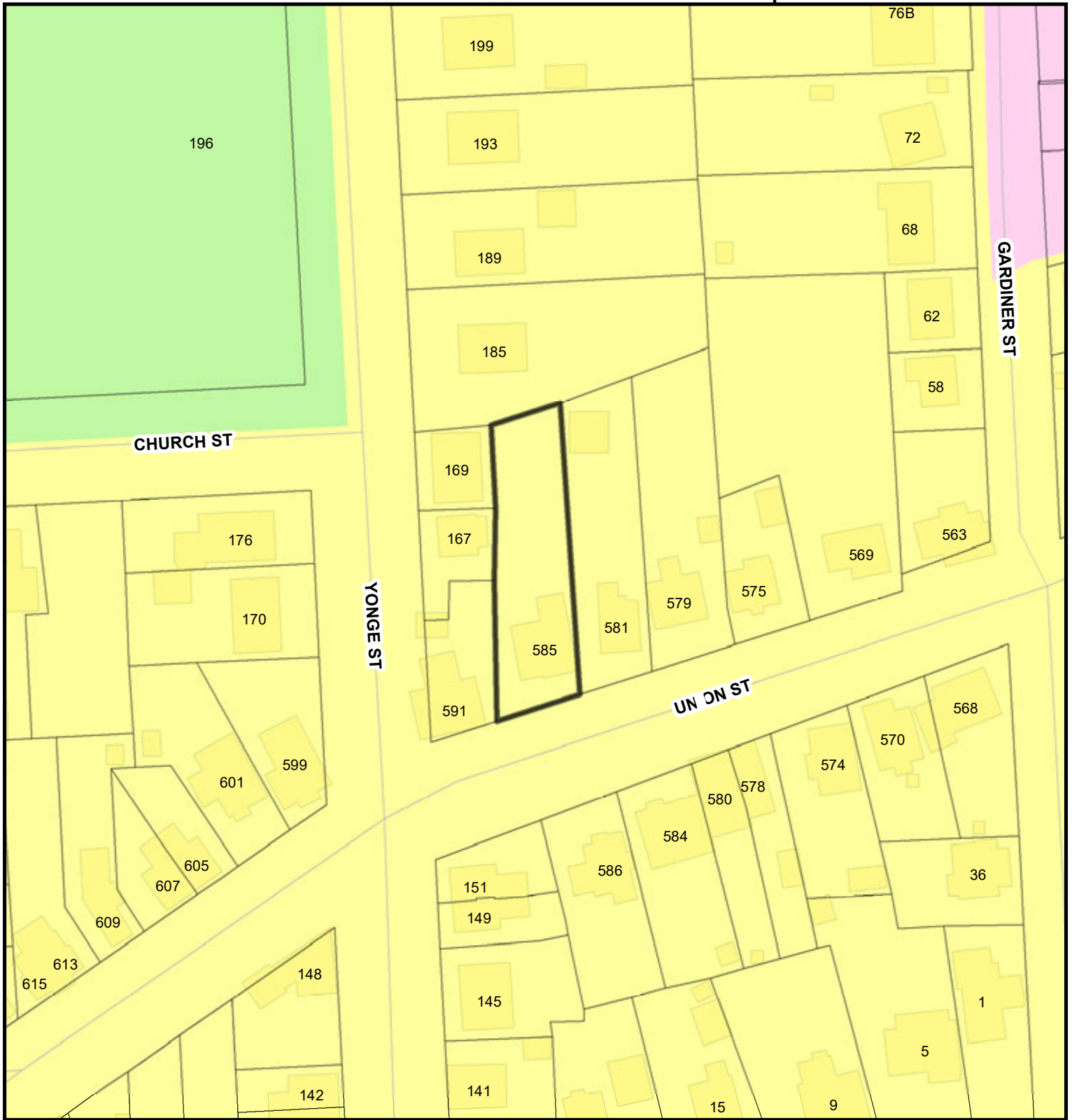
Project  
 Date  
 Scale  
 As noted

Sheet  
 5-1

Item	Proposed	Approved	Remarks
1. Foundation	Yes	Yes	
2. Framing	Yes	Yes	
3. Roofing	Yes	Yes	
4. Siding	Yes	Yes	
5. Windows	Yes	Yes	
6. Doors	Yes	Yes	
7. Mechanical	Yes	Yes	
8. Electrical	Yes	Yes	
9. Plumbing	Yes	Yes	
10. Fire Protection	Yes	Yes	
11. Accessibility	Yes	Yes	
12. Other	Yes	Yes	

Item	Proposed	Approved	Remarks
1. Foundation	Yes	Yes	
2. Framing	Yes	Yes	
3. Roofing	Yes	Yes	
4. Siding	Yes	Yes	
5. Windows	Yes	Yes	
6. Doors	Yes	Yes	
7. Mechanical	Yes	Yes	
8. Electrical	Yes	Yes	
9. Plumbing	Yes	Yes	
10. Fire Protection	Yes	Yes	
11. Accessibility	Yes	Yes	
12. Other	Yes	Yes	

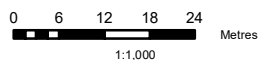
Item	Proposed	Approved	Remarks
1. Foundation	Yes	Yes	
2. Framing	Yes	Yes	
3. Roofing	Yes	Yes	
4. Siding	Yes	Yes	
5. Windows	Yes	Yes	
6. Doors	Yes	Yes	
7. Mechanical	Yes	Yes	
8. Electrical	Yes	Yes	
9. Plumbing	Yes	Yes	
10. Fire Protection	Yes	Yes	
11. Accessibility	Yes	Yes	
12. Other	Yes	Yes	



Planning Services  
a department of  
Community  
Services

COMMITTEE OF ADJUSTMENT  
**Official Plan, Existing Land Use**

File Number: D13-027-2021  
Address: 585 Union Street



**Legend**

- Subject Lands
- INSTITUTIONAL
- OPEN SPACE
- RESIDENTIAL









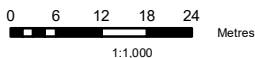
Planning Services  
a department of  
Community  
Services

COMMITTEE OF ADJUSTMENT  
**Existing Zoning - By-law 8499, Map 26**

File Number: D13-027-2021  
Address: 585 Union Street

**Legend**

-  Subject Lands
-  Consolidated Zoning



**Site Photographs: 585 Union Street**



Front of the existing house at 585 Union Street.



Rear of existing house at 585 Union Street, including the existing one-storey addition.





Existing parking area in the rear yard along the eastern lot line and location of proposed addition.



Western lot line in the rear yard showing the rear of the property at 167 Yonge Street and Ron's Auto Body Shop.





Rear yard of 585 Union Street and northern property line; location of proposed amenity area and parking.



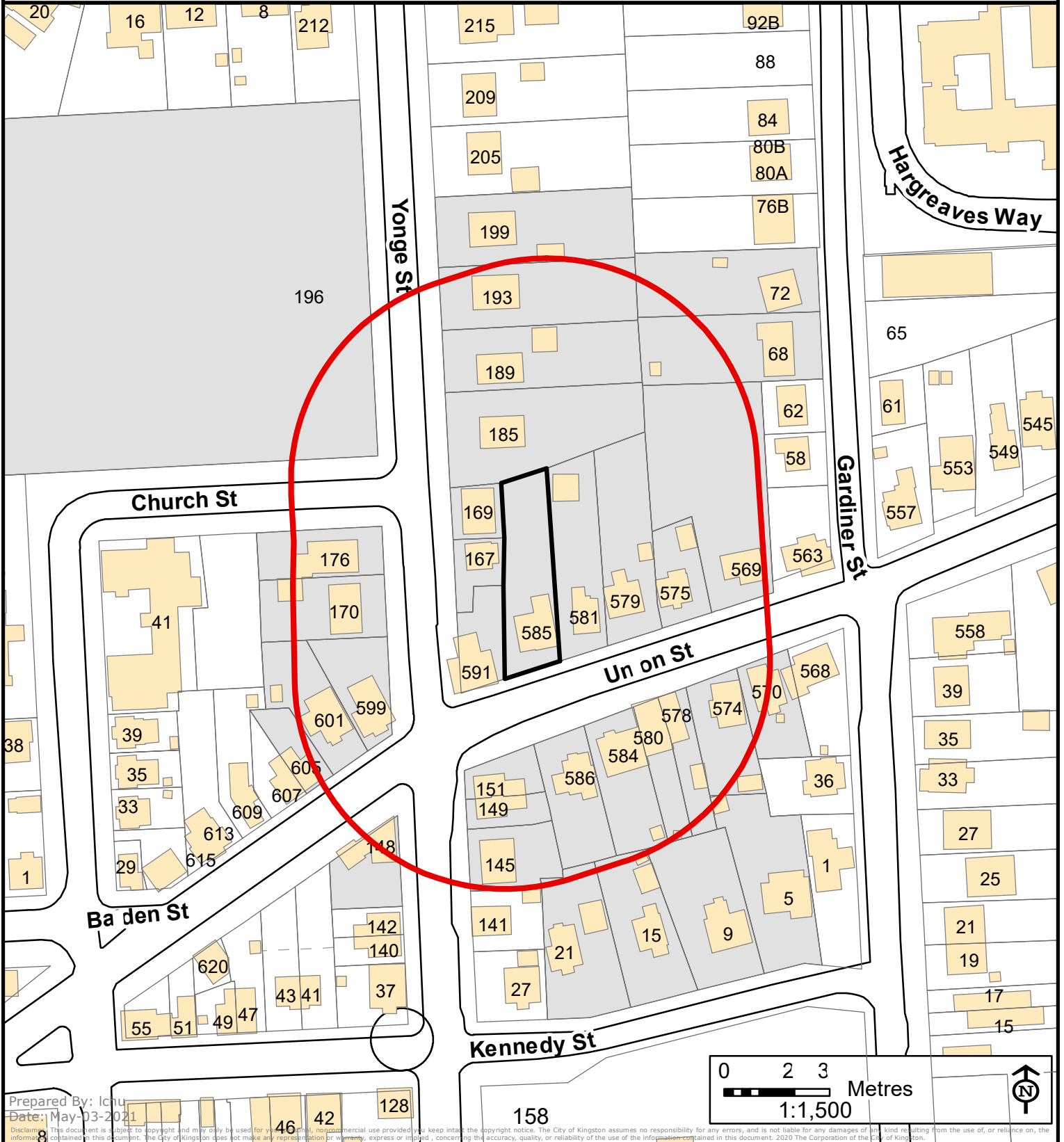
Existing driveway and western lot line adjacent to 591 Union Street and 167 Yonge Street.



Committee of Adjustment  
**Public Notice Notification Map**

Address: 585 Union Street  
File Number: D13-027-2021

- 60m Public Notification Boundary
- Subject Lands
- Property Boundaries
- Proposed Parcels
- 33 Properties in Receipt of Notice (MPAC)



Prepared By: Ichnu  
Date: May-03-2021

Disclaimer: This document is subject to copyright and may only be used for your personal, non-commercial use provided you keep intact the copyright notice. The City of Kingston assumes no responsibility for any errors, and is not liable for any damages of any kind resulting from the use of, or reliance on, the information contained in this document. The City of Kingston does not make any representation or warranty, express or implied, concerning the accuracy, quality, or reliability of the use of the information contained in this document. ©2020 The Corporation of the City of Kingston.