



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-028**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Jennifer Campbell, Director, Heritage Services
Date of Meeting: May 19, 2021
Subject: Application for *Ontario Heritage Act* Approval
Address: 216 Ontario Street P18-273
File Number: P18-019-2021

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property is Kingston City Hall with the municipal address of 216 Ontario Street. It is a National Historic Site of Canada and is designated under both Parts IV and V of the *Ontario Heritage Act*.

Applications for alteration under Section 42 of the *Ontario Heritage Act* (P18-019-2021) have been submitted to request approval to disassemble the north and south wing exterior limestone staircases, install a concrete super-structure and restore the staircases, including the interior stone arch, using Kingston limestone. A new metal railing (black) will also be installed. No changes are proposed for the doors or flanking knee walls.

This application was deemed complete on April 20, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application on a heritage property under Section 42(4). This timeframe will expire on July 19, 2021.

May 19, 2021

Page 2 of 10

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations on the property at 216 Ontario Street, be approved in accordance with details described in the application (P18-019-2021), which was deemed completed on April 20, 2021 with said alteration to include:

1. Disassemble the entire north and south wing exterior staircases;
2. Reconstruct both staircases, including an exterior concrete structure clad in Kingston Limestone;
3. Repair and repoint the interior arch and existing knee walls/abutments; and
4. Install new metal handrails; and

That the approval of the application be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. An Encroachment Permit shall be obtained, as necessary;
3. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
4. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings, with specific attention given to sourcing replacement stones that match, as closely as possible, with the existing in size and finishing;
5. The existing limestone knee-walls and wood doors, shall be conserved, retained in their existing profile and repaired as needed; and
6. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Planning Services for review and approval.

May 19, 2021

Page 3 of 10

Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Corporate Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required

May 19, 2021

Page 4 of 10

Options/Discussion:**Description of Application/Background**

The subject property at 216 Ontario Street encompasses the entire city block between Ontario Street and King Street East, and Market Street and Brock Street. The property contains Kingston City Hall National Historic Site and Springer Market Square. The property is designated under Part IV of the *Ontario Heritage Act* and is included as key part of the Market Square Heritage Conservation District, designated pursuant to Part V of the *Ontario Heritage Act*.

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-019-2021) has been submitted to request approval to disassemble the north and south wing exterior limestone staircases, install a concrete super-structure and restore the staircases, including the interior stone arch, using Kingston limestone. A new metal railing (black) will also be installed. No changes are proposed for the doors or flanking knee walls.

This application was deemed complete on April 20, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application on a heritage building under Section 42(4). This timeframe will expire on July 19, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The subject property is included in the Market Square Heritage Conservation District (HCD) created pursuant to Part V of the *Ontario Heritage Act* in 1985 and amended in 2013. The City Hall building is designated under Part IV of the *Ontario Heritage Act* through By-Law Numbers 8497 in 1975 and amended by By-Law 8892 in 1976. Several interior attributes are also designated through By-Law Number 2010-113 in 2010. Kingston's City Hall is also a National Historic Site of Canada, designated in 1961, with a number of attributes that have been identified for commemoration in a Commemorative Integrity Statement.

Constructed in 1843, the two-storey, monumental, classically portioned, symmetrical limestone building features a central dome and portico, projecting pavilions and semi-rounded wings. The subject property has historical value in its association with architect George Browne, as his first major commission. The building is also associated with William Coverdale who replaced Browne as architect in 1844. Architects John and Joseph Power were also involved with the additions and rebuilding of the dome. City Hall is an outstanding example of the neoclassical architectural style in Canada and is a unique example of a multi-purpose building.

The Market Square HCD is the site of Kingston's historic marketplace which is recognized for its design, historic, and contextual value within the City. The square is associated with many

May 19, 2021

Page 5 of 10

people and events of great significance to the history of both Kingston and Canada and contains significant archaeological resources.

The key exterior heritage attributes of City Hall include its:

- Monumental scale and symmetrical plan with side wings, projecting end pavilions and rear wing with the prominent dome and portico;
- The features of the principal entrance, including the pedimented Tuscan portico, limestone stairs and massive wooden doors;
- The four sets of exterior secondary stairs; and
- Exterior detailing such as its string course, pilasters, parapets and dentilled cornice.

The key interior heritage attributes of City Hall include its:

- Small storage rooms under the main façade stairs;
- Exposed stonework

The full description, statement of cultural heritage value with all identified attributes, as well as the Statement of Commemoration for the National Historic Site, has been included as Exhibit B.

Historically, designating by-laws under the *Ontario Heritage Act* were required to include only a “statement of the reason for designation of the property”. As a result of amendments to the Act in 2002 and 2005, designating by-laws are now required to include “a statement explaining the cultural heritage value or interest of the property and a description of the heritage attributes of the property”. Because of this difference, the Act applies different provisions for alterations to designated properties, depending on when the designating by-law was passed.

For designating by-laws passed under the current version of the *Ontario Heritage Act*, Section 33(1) of the Act states that alterations that are likely to affect the property’s *heritage attributes* are prohibited without consent. For designating by-laws passed under the older version of the *Ontario Heritage Act*, the applicable provision of the Act states that alterations that are likely to affect the reason for the designation are prohibited without consent. The justification for the different provisions is that it would not allow for sufficient conservation of the property to only require consent for alterations affecting identified heritage attributes of a property, where the designating by-law was not required to identify those heritage attributes in the first place. In this case, the reasons for designating the property as one of historical or cultural value are considered broad enough to include the north and south wing exterior staircases. As a result, prior approval by Council is required.

Cultural Heritage Analysis

Kingston City Hall is a building of considerable cultural heritage value both nationally and locally and a key part of the Market Square HCD. Staff have reviewed the application together with the descriptions of heritage value in the Part IV designation by-laws and the statement of cultural heritage value or interest in the HCD Plan, as well as the National Historic Statement of

May 19, 2021

Page 6 of 10

Commemoration. The north and south stairs on the front elevation (east) of City Hall, as well as the interior arched structure, are listed as heritage attributes and are indirectly mentioned in the other documents. These original features are key to the design and to the heritage character of this building.

Standard 8 of Parks Canada's 'Standards and Guidelines for the Conservation of Historic Places in Canada' (Standards and Guidelines) directs one to "maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods." Following an almost annual program of repointing these structures, coupled with various attempts to seal the mortar joints from water infiltration through various means, with limited success, it was determined that a more extensive intervention was necessary to stabilize and make safe, these structures.

Standard 7 of the Federal Standards and Guidelines directs property owners to "evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention." City staff retained Roney Engineering to undertake a condition assessment (Exhibit C). The condition assessment provided detailed measured drawings of the existing staircases and noted various concerning matters, such as cracked and deteriorated stones, previously patched areas that appear to have failed, rust marking from the handrails, water leakage into rooms beneath, and the general unsound nature of the supporting structure. A temporary structure/shoring was installed on the underside of the staircases in 2020 in order to limit further sagging of the staircase.

The Market Square HCD Plan echoes the direction provided by Standard 9 of the Standards and Guidelines, which states "make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection." Further, Standard 10 and Guideline 4.3.6 notes "where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and details of sound versions of the same elements." As noted in the overview report, provided as part of the Concept Plans (Exhibit D), Roney Engineering was retained to provide a proposed methodology to reconstruct and restore the staircases. The plan includes a careful dismantling of the limestone steps and landings, retaining any useable stones for possible reuse on future projects. Repairing, stabilizing and repointing the interior stone arch structures. Placement of a structural concrete arch slab, with waterproofing and proper slopes for drainage and stepping to carry the load of the stone units. The installing new Kingston limestone steps and painted steel handrails (secured via the mortar joints only) onto the new concrete arch.

These staircases are original to the 1843-4 construction of Kingston City Hall. Every effort has been made to repair and stabilize them using original materials and minimal intervention. The City's Facilities Management and Construction Services staff should be commended for their attention to detail and strict adherence to accepted conservation best practices; however, time and exposure has caused these structures to deteriorate past the point of repair. The stabilization and restoration plan proposed will conserve the design, scale and materiality of

May 19, 2021

Page 7 of 10

these original features. In addition, the noted interior stone arch will be retained and repaired following the City's Masonry Policy. The new interior concrete structure will not only provide a stable and waterproof support for the limestone staircase it will also be completely concealed. Further, with the waterproofing of the interior storage room this may provide a new opportunity for cultural and/or educational programming of this interesting and largely unknown space in City Hall.

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries' Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada's 'Standards and Guidelines for the Conservation of Historic Places in Canada'. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 1 "Respect of Documentary Evidence", 3 "Respect for Historic Material" and 4 "Respect for Original Fabric"; and
- Achieve Standards 7, 8, 9 and 10 of Parks Canada's Standards and Guidelines, as noted above.

Previous Approvals (post 2010)

P18-273-017-2010	Install shielding system for ice groomer gazebo
P18-273-051-2010	New roofing on north and south wings
P18-273-071-2010	Installation of 7 vents on the cupola of the west wing
P18-273-118-2010DA	Repaint baseboards in similar colour
P18-273-061-2011DA	Repaint windows in the same colour
P18-273-019-2013	Install interior signs for way finding
P18-273-020-2013	New recognition plaque (PWOR)
P18-273-007-2014	New recognition plaque (Trout)
P18-273-013-2014DA	Removal of plaque (Trout)
P18-273-051-2015	Install interior display boxes in existing niches
P18-077-2016EA	Emergency masonry repair to exterior staircases
P18-086-2016EA	Emergency leak repair in lower level
P18-094-2016	Illumination replacements and special event lighting plan
P18-047-2017EA	Emergency repair of main entrance handrail
P18-003-2018	New recognition plaque (Browne)
P18-068-2018	Installation of new fire alarm and suppression system
P18-082-2018	Significant repair to exterior staircases
P18-053-2019DA	New interior way-finding signage
P18-057-2019DA	Interior painting in lower level
P18-023-2021 (pending)	Installation of interior hand railings

May 19, 2021

Page 8 of 10

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Building Division: A Building Permit will be required for the stair construction and structural works.

Engineering Services Department: Engineering Services has no objections to this application. If temporary encroachment for construction purposes is required within the road allowance, then a Permit from the City is required in accordance with City By-Law Number 2004-107.

Environment Division: As an internal proponent, and if not already completed, the PM is encouraged to contact Environment Division for assistance with designated substance information. In order to protect workers and the public the proponent should be notified that in accordance with Section 30 of the *Ontario Occupational Health and Safety Act*, Designated Substances and other potentially hazardous building materials must be identified prior to renovation, construction or demolition that may disturb such materials. All designated substances present must be identified to contractors in advance of the initiation of the subject work as defined in the Act.

Kingston Fire & Rescue: Solution to be provided for temporary exiting during construction. Note, a comprehensive exiting plan has been provided.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit E.

Responding members provided general support for the application. Two responding members questioned the initial proposal to use Queenston limestone for the restored staircases. Staff echoed these concerns and provided them to the applicants who provided the letter dated April 12, 2021 (Exhibit D) in response. Upon consideration of the comments and further research into sourcing options, the proposal was revised to include the use of Kingston limestone in the restored staircases.

Conclusion

Staff recommends approval of the application File Number (P18-019-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

May 19, 2021

Page 9 of 10

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

Market Square Heritage Conservation District Plan

Designating By-Law Numbers 8497 and 8892

City's Policy on Masonry Restoration in Heritage Buildings

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage, 613-546-4291 extension 3233

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

Exhibit A Context Maps

Exhibit B Designating By-Law & Property Inventory Evaluation Form

Exhibit C Documentation of Existing Conditions, prepared by Roney Engineering

Exhibit D Concept Plans, prepared by applicant and Roney Engineering

May 19, 2021

Page 10 of 10

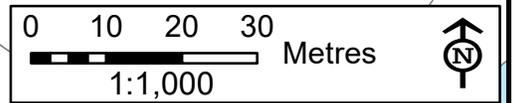
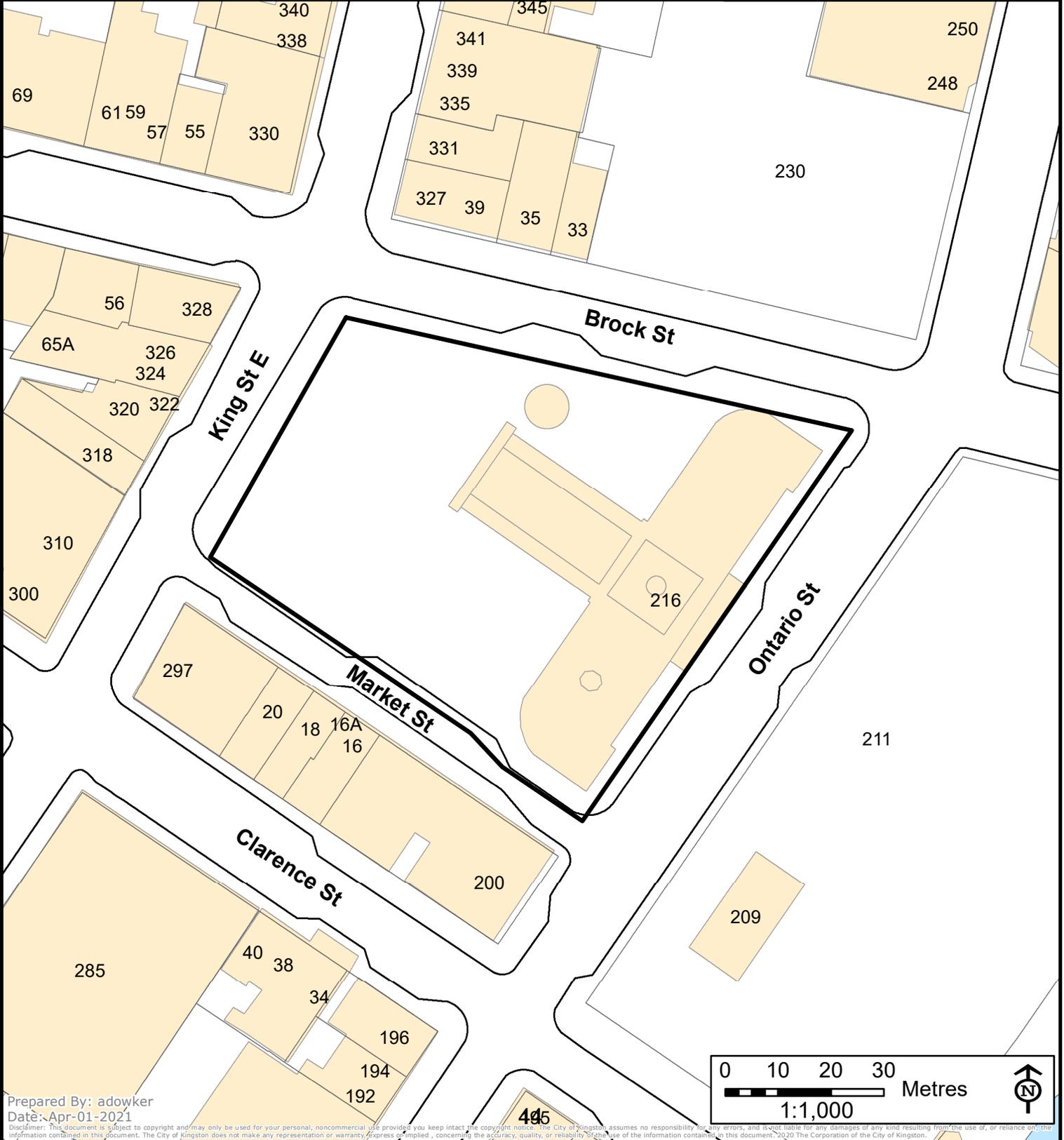
Exhibit E Correspondence Received from Heritage Kingston

Exhibit F Final Comments from Heritage Kingston May 19, 2021



Heritage Kingston Committee
Key Map
Address: 216 Ontario Street - City Hall
File Number: P18-019-2021

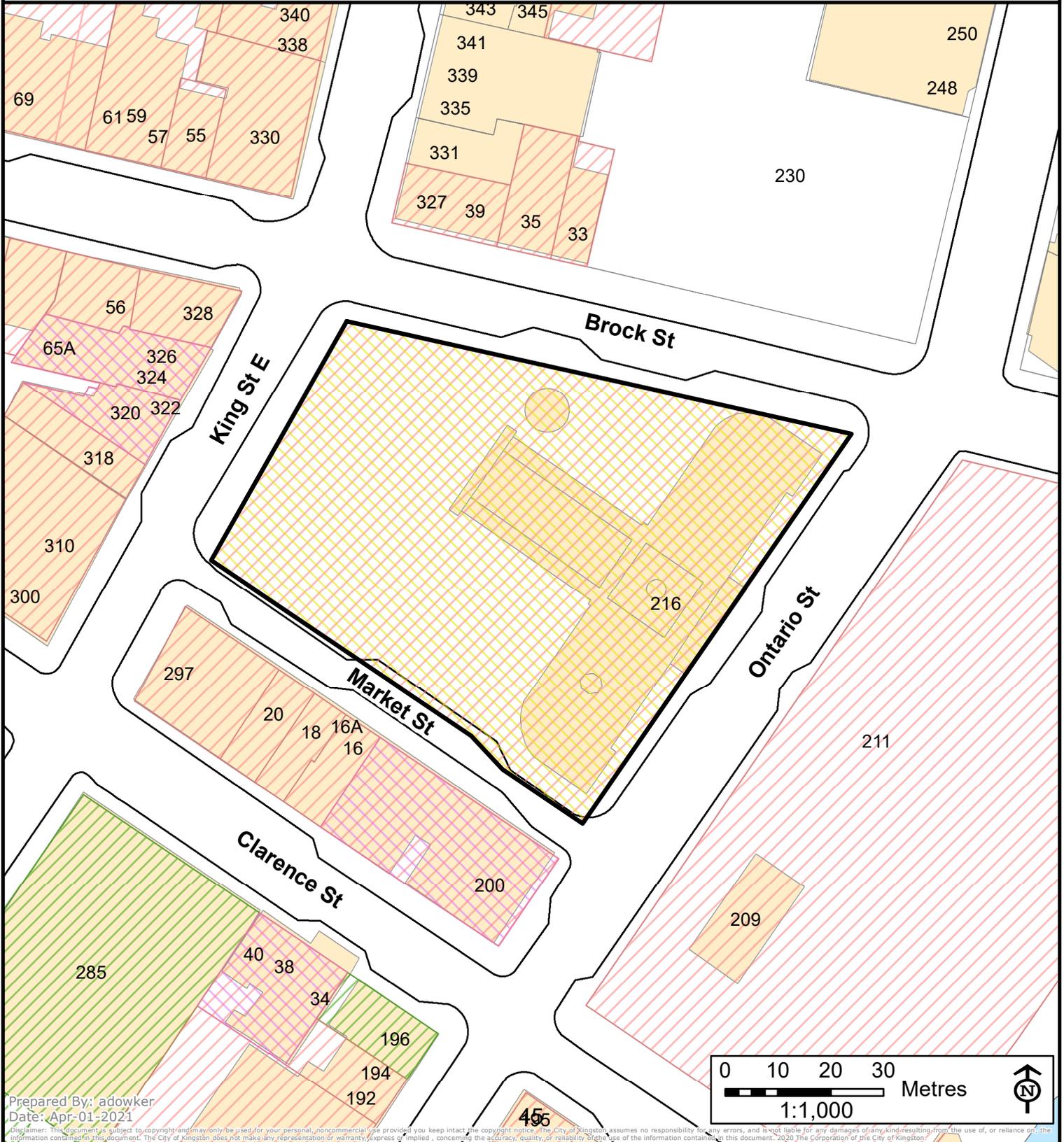
 Subject Lands



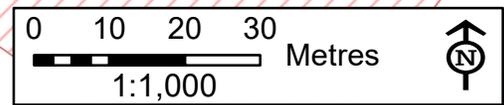


Heritage Kingston Committee
City of Kingston Heritage Register
Address: 216 Ontario Street - City Hall
File Number: P18-019-2021

- Subject Lands (Market Square Heritage Conservation District)
- National Historic Site
- Designated Property
- Easement
- Listed Property



Prepared By: adowker
Date: Apr-01-2021



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Heritage Kingston Committee
Neighbourhood Context (2020)
Address: 216 Ontario Street - City Hall
File Number: P18-019-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: adowker
Date: Apr-01-2021

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7 STATEMENTS OF CULTURAL HERITAGE VALUE FOR INDIVIDUAL PROPERTIES



Kingston City Hall

Date of Construction: 1843

Architect: George Browne

Dates of Construction: 1844 & 1865 (shamble reconstruction)

Architect: William Coverdale

Date of Construction: 1865 (dome additions)

Architect: John Power

Date of Construction: 1909 (dome reconstruction)

Architect: Joseph Power

18. Kingston City Hall, 2012. (ERA Architects Inc.)

7.1 216 Ontario Street

Description of Property

Kingston's City Hall, at 216 Ontario Street, is prominently located in Kingston's historic downtown, overlooking the waterfront. To the rear of the property is Springer Market Square - a public open space with a marketplace. This site forms the centre of the Market Square Heritage Conservation District. This property was designated as a National Historic Site of Canada in 1961.

A multi-phased restoration and maintenance plan was instituted for City Hall in 2005. Works that have been completed include interior renovations such as public washrooms in basement, painting columns and plaster repair in Memorial Hall and audio-visual upgrades in Ontario Hall. Exterior works have included new copper roof flashing, vents in the Market-wing cupola, painting and masonry repairs, and repairs to drum columns.

Statement of Cultural Heritage Value or Interest

Kingston City Hall has **design value or physical value** as an outstanding example of the Neoclassical style in Canada. Typical of this style, this monumental building is symmetrical with Classical proportions. It has a prominent central dome and

Market Square Heritage Conservation Distric Plan 2013

portico, projecting pavilions, and semi-rounded wings. The limestone facades are divided into ground and upper stories. Window openings are placed within round and segmental arches. The symmetrical layout extends into the interior and the interior treatment is classically influenced. The building has undergone several major alterations including : the reconstruction of the shambles (rear wing) in 1865, additions to the dome in 1865, the reconstruction of the dome in 1909, and the reconstruction of the entrance portico in 1966.

Kingston City Hall has **design value or physical value** as a representative example of a combined-function city hall. The decision to construct a landmark municipal building occurred in 1841 when Kingston was, for a short time, the capital of Upper and Lower Canada. Kingston City Hall was designed to serve the combined functions of town hall and market place. The plans provided for offices, committee rooms, a customs house, a post office, a police station and jail, and a rear wing for a market-place. The building cornerstone was laid on June 5, 1843, by Governor General



19. Photo of City Hall from booklet entitled "A Souvenir of Kingston". (c. 1905, Queen's Archives, V23 Gen-51)

Sir Charles Metcalfe and the building was completed November 21, 1844. By this time Montreal had replaced Kingston as the capital of Canada. Areas intended for government use were instead rented out to private interests, including saloons, shops, churches, associations such as the Mechanic's Institute and the Orange Lodge, and businesses such as the Bank of British North America and A. & D. Shaw's wholesale. The property's two main functions as municipal hall and market continue to the present day.

The property has **historical or associative value** as an example of the work of the architect, George Browne. George Browne (1811-1885) was born in Belfast, Ireland and emigrated to Quebec City in 1830 where he worked as an architect. Browne arrived in Kingston in 1841 under the title 'Government Architect'. On October 17, 1842 George Browne's design for Kingston City Hall was the winning entry and he was appointed as the supervising architect. This was his first major commission. In 1844 Browne returned with the government to Montreal and William Coverdale replaced him as the building's architect.

The property has **historical or associative value** as an example of the work of the architect, William Coverdale. William Coverdale (1801–1865) was a carpenter, master builder and architect. Coverdale and his family emigrated to the Richelieu area south of Montreal from York, England around 1810. In the 1820s he worked as a carpenter at Fort Lennox on the Isle-aux-Noix before moving to Kingston in the early 1830s. From 1834 to 1848 Coverdale worked as the 'master builder' at the Provincial Penitentiary and from 1844 to 1865 he was the City of Kingston's Chief Architect. From 1859 to his death in 1865, he was the architect for the Kingston Asylum. In addition to public buildings, he designed many ecclesiastical, commercial and residential buildings in Kingston and neighbouring Ontario towns.

Kingston City Hall has **historical or associative value** as examples of the work of the architects, John and Joseph Power. John Power was involved with the 1865 additions to the dome and Joseph Power with the rebuilding of the dome after the

fire of 1908. John Power (1816-1882) emigrated to Canada from England in 1846. Initially, he worked with prominent 19th-century Kingston architect, Edward Horsey, before venturing out on his own in 1849. He was appointed City Architect in 1866, a position he held until his death in 1882. In 1873, John and his son Joseph established the firm of J. Power and Son. After John Power's death in 1882, his second son, Thomas, joined brother Joseph in the family business until 1930. The family of architects were active builders in Kingston from 1849 to 1930. Their body of work includes ecclesiastical, institutional, commercial and residential buildings in Kingston and surrounding towns.

The property has **contextual value** as a landmark building and focal point of the Market Square District.

Description of Heritage Attributes

Key exterior attributes that embody the heritage value of the building at 216 Ontario Street and contribute to the heritage character of the Market Square Heritage Conservation District include:

- » The building's siting, facing the harbour, with viewsapes to and from Lake Ontario;
- » The building's monumental scale and T-shaped plan, consisting of side wings with slightly projecting end pavilions, and a rear wing projecting from the centre above which rises a prominent dome;
- » The articulation of the floor levels in the treatment of the exterior stone: the rusticated, channelled ashlar masonry on the ground floor and the smooth ashlar masonry on the upper stories;
- » The central drum and dome with windows, clocks, cupola, copper roof and weather vane;
- » The features of the principal entrance, including a pedimented Tuscan portico, limestone stairs, massive wooden doors with inset windows and fan light, and the City crest above the door;
- » The regular, symmetrical arrangement of door and window openings;
- » The four sets of exterior secondary stairs;
- » The profile and proportions of window openings, including rectangular, second-storey windows set in segmental arches, round-arched, first-storey windows set in round arches, and window glazing patterns;

Market Square Heritage Conservation District Plan 2013

- » The exterior detailing, including inset windows and doors, string courses, pilasters and parapets on the end pavilions, and dentilled cornice;
- » The cornice line uniting the length of the building;
- » The surviving remnants of the rear market wing, as rebuilt in 1865;
- » The symmetrical interior layout; and
- » Surviving Neoclassical elements in the two large interior halls, including symmetrical arrangement of features, shallow vaulted ceilings with intricate coffering and decoration, Corinthian (in Memorial Hall) and Doric (in Ontario Hall) capitals, broken pediments over the doors and a hemicycle at one end.



20. Market Wing at Kingston City Hall, c. 1960 (*Lilley Collection, QA*)



21. Market Wing at Kingston City Hall, 2010. (*ERA Architects Inc.*)



22. City Hall with former Market at rear, 1844. (*Collection Fort Henry, Chronology of Kingston City Hall*)

DATE *8/16/76*
[Signature]
CITY SOLICITOR

Report No. 84
Clause 1

BY-LAW NO. 8892

A BY-LAW TO AMEND BY-LAW NO. 8497, "A BY-LAW TO DESIGNATE CERTAIN PROPERTIES WITHIN THE MUNICIPALITY TO BE OF HISTORIC OR ARCHITECTURAL VALUE OR INTEREST" (EXPAND REASONS FOR DESIGNATION)

PASSED: August 16th, 1976.

The Council of the Corporation of the City of Kingston enacts as follows:

1. By-Law No. 8497, "A By-Law to Designate Certain Properties Within the Municipality to be of Historic or Architectural Value or Interest", is hereby amended by expanding the reasons for designation as set forth on the attached Schedule "A".

This by-law shall come into force and take effect on its passing.
GIVEN THREE READINGS AND FINALLY PASSED the 16th day of August, 1976.

[Signature]
CLERK-COMPTROLLER

[Signature]
MAYOR

SCHEDULE "A" TO BY-LAW NO. 8892

REASONS FOR DESIGNATION

(1) CITY HALL - 216 ONTARIO STREET



Significance: In 1841, when Kingston was the capital of the United Provinces of Upper and Lower Canada, civic officials decided Kingston should have a municipal building befitting its status as a national capital. When the building was finished in November 1844, Kingston was no longer the capital. The building was offered to the government, rent free, to induce them to stay in Kingston, but the offer was refused.

George Browne's plans and description of City Hall show that it was envisaged as a centre for all municipal functions - political, economic and social. The base storey, fronting the water, had twelve offices for lawyers, brokers, etc. Behind these, on the right of the entrance were the police station and gaol cells; on the left was the office of the clerk of the market. On the principal floor, the door at the north end of the facade led to the Post Office (present Council Chamber), the one at the south end to the Customs Office. Between these, the Corporation offices were on the right, a large news room on the left. Across the back of the main floor were five small shops facing the Market Square.

REASONS FOR DESIGNATION (cont'd)

(1) CITY HALL - 216 ONTARIO STREET (cont'd)

Upstairs the large Town Hall was for meetings and dances; at the other end was the Merchants' Exchange (later Ontario Hall). The next floor had three committee rooms and the remainder of it was intended for the Mechanics' Institute Museum and Reading Room with its library on three galleries in the drum supporting the dome. The topmost gallery was to be an observatory. In the Market wing, space was provided for green grocers, butchers and the like. The three storey block at the King Street end, housing sales rooms, restaurant and a printing office, was surmounted by a tall cupola with a bell, clock and watch tower.

When the Market wing was destroyed by fire in 1865, it was replaced by a shorter wing, designed by William Coverdale, and the belfry and clock were added to the main dome. In 1900, when fire severely damaged the dome, it was rebuilt under the direction of Joseph Power, according to the original plans, with the addition of the clock and cupola. The lanterns on the wings were a later addition.

The City had landlord troubles with the banks stores and saloons who were tenants after the Post Office and Customs moved out in 1859. At times the basement offices housed welfare cases. As the work of the municipal government and the administrative staff increased, the City gradually took over the whole building. Memorial Hall was established in 1921. In 1940, Ontario Hall was temporarily subdivided into offices.

The condition of the portico became so dangerous that it was removed in 1956. A false pediment was applied in 1963 to protect the stonework.

REASONS FOR DESIGNATION (cont'd)

(1) CITY HALL - 216 ONTARIO STREET (cont'd)

In 1965, the Federal Government gave the City a special grant of \$ 100,000. to restore the portico which was rededicated in 1967.

This building is one of the finest nineteenth century municipal buildings in Ontario and is one of the great classical buildings of Canada. It is enhanced by its waterfront site. The classical detail of the building is handled with boldness, skill and imagination by this Irish architect who was brought from Montreal to help in the City's transformation into the country's capital. His use of the local stone is particularly sensitive with subtle variations in texture from the roughness of the basement to the smoothness of the upper storeys.

Its two large public rooms were among the finest in nineteenth century Ontario. Even to-day, these rooms are perhaps only surpassed in type and scale by certain rooms in Osgoode Hall and St. Lawrence Hall, Toronto.

Built of Kingston limestone, the City Hall is a T-shaped structure; the facade of the building faces the harbour and the rear wing entrance faces King Street. The central block, three storeys high with circular chimneys at each corner, is crowned by a dome containing four clock faces. The dome stands on a circular drum and supports a slender cupola topped by a weather vane. The main wings are six bays wide and two storeys high above a base storey; they terminate in single bay pavilions finished with panelled attic storeys. There are cupolas on each wing. The pavilion end walls are curved to the back where the rear wing is a two storey structure with a flat roof.

REASONS FOR DESIGNATION (cont'd)

(1) CITY HALL - 216 ONTARIO STREET (cont'd)

The central section of the facade has a two-storey portico with four Tuscan columns rising to a pediment. The pilasters under the portico and on the pavilions are also Tuscan while the drum of the dome has sixteen Roman Doric attached columns. A dentilled cornice circles the main building.

Stonework in the City Hall has a variety of treatments. The base storey of the facade has rough-faced, picked blocks; on the main floor horizontally channelled ashlar emphasizes the width of the building. The upper storey, string course and rear wing are all smooth ashlar.

Considerable variety also occurs in the fenestration. In the principal floor of both the main building and the rear wing all of the windows are square headed and recessed in segmental arches. In the facade the upper floor arched windows are set in an applied arcade with moulded trim arches. The top storey of the central block has two groups of three narrow arched windows set between pilasters in the front and three square-headed windows with side lights in the back. The sixteen windows in the drum are square-headed with eighteen panes each. The front window of each pavilion has side lights in a stone enframingent.

The circular ends each have in the upper storey, two arched niches and three segmental arched blind windows. Six bays at the back are similar to the facade. The rear wing has ten bays to a side; the upper storey windows are square-headed and recessed.

City Hall has five major entrances in front, one door in each circular end and a major entrance in the rear wing plus a side door. Three front entrances are under the portico; the centre two storey arch with keystone gives limited access to the base storey since the opening has been filled

Kingston City Hall National Historic Site of Canada

216 Ontario Street, Kingston, Ontario, K7L, Canada

Formally Recognized: 1961/05/23

General view



Interior

**OTHER NAME(S)**

Kingston City Hall National Historic Site of Canada

Kingston City Hall

Hôtel de ville de Kingston

LINKS AND DOCUMENTS

n/a

CONSTRUCTION DATE(S)

1843/01/01 to 1844/01/01

LISTED ON THE CANADIAN REGISTER: 2007/06/20**STATEMENT OF SIGNIFICANCE****DESCRIPTION OF HISTORIC PLACE**

Kingston City Hall is a monumental town hall, built of stone in the mid 19th century. Constructed in the Neoclassical style, it is prominently located in the heart of Kingston's historic downtown, facing the waterfront. The property takes up a full city block. To the rear is a large, open area that accommodates the open-air stalls of a seasonal farmer's market. The formal recognition consists of the building and the property surrounding it.

HERITAGE VALUE

Kingston City Hall was designated a national historic site in 1961 because it is an outstanding example of the Neoclassical style in Canada, and it is a representative example of a combined-function city hall.

Designed by architect George Browne as his first major commission, Kingston City Hall follows the precedent for public buildings of its time in its composition and the emphasis on portico and dome. The Tuscan portico, removed in 1958, was rebuilt in 1966 to replicate the original. The design follows Neoclassical taste in its massive scale, the bold projection of the end pavilions and portico, and the strong emphasis on individual design elements.

Like many mid-19th-century town halls, Kingston City Hall was designed to combine the functions of town hall and market place in one building. Its impressive scale and design were in keeping with the anticipated prosperity and stature of the city as the provincial capital. The city hall provided two large meeting halls, offices and meeting space for city officials, and quarters for the custom house, post office, police station and jail. A rear section contained market space. This rear wing that was rebuilt in

2/1/2017

HistoricPlaces.ca - HistoricPlaces.ca

1865 and again in 1973 and the dome was rebuilt in 1910. The Tuscan portico that was reconstructed in 1966.

When Kingston's selection as provincial capital was revoked and the city's fortunes changed, surplus space in the city hall was rented out to a variety of private interests, including saloons, shops, churches, private associations, a bank and a small theatre. Although the allocation and use of space has changed over its more than 150 years of civic use, the property's two main functions, as town hall and marketplace, continue to the present day.

Sources: Historic Sites and Monuments Board of Canada, Minutes, 1984 and 1999; and Parks Canada, Kingston City Hall National Historic Site of Canada Draft Commemorative Integrity Statement, April 2003.

CHARACTER-DEFINING ELEMENTS

Key elements contributing to the heritage value of Kingston City Hall include:

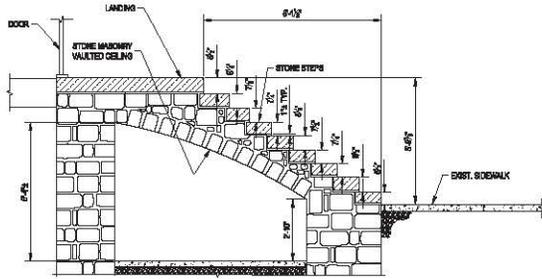
- its monumental scale and T-shaped plan, consisting of a long, rectangular three-storey façade with slightly projecting end pavilions, and a rear wing projecting from the centre above which rises a large drum and dome;
- its Neoclassical style, evident in its symmetrical plan, the prominent central dome and portico, projecting pavilions, semi-rounded wings, the placement of windows within round and segmental arches, the hierarchical division of the façade into ground and upper stories, the light colour of the limestone exterior, and the symmetrical interior layout and classically inspired decoration of interior spaces;
- the division between the rusticated ground floor of channelled ashlar masonry and the smooth ashlar masonry on the upper stories;
- the existence of a central drum and dome with windows, clocks, and copper roof;
- the existence of a pedimented Tuscan portico;
- the regular, symmetrical arrangement of door and window openings along the façade;
- the profile and proportions of window openings, including, rectangular, second-storey windows set in segmental arches, and round-arched, first-storey windows set in round arches;
- its exterior detailing, including inset windows and doors, string courses, pilasters and parapets on the end pavilions, and a dentilled cornice;
- the linear quality of the façade, created by the blind arcade mouldings around the windows, the channelling of the masonry on the lower storey, the wide plain pilasters on the end pavilions, the panelling in the parapets over the end pavilions, and the string courses between storeys;
- the elegant curvature of its rear elevation;
- the strong cornice line uniting the length of the building;
- vestiges of the original carriageway through the city hall leading to the market area;
- surviving remnants of the rear market wing as rebuilt in 1865;
- its symmetrical interior layout;
- the generous provision of natural light through the use of large windows on all storeys and an oculus in the dome;
- the rational unity between interior and exterior spaces, including, the curving end walls of the pavilions and the curved ends of the assembly rooms;
- surviving Neoclassical elements in the two large interior halls, including, symmetry of features, shallow vaulted ceilings with intricate coffering and decoration, Corinthian (in Memorial Hall) or Doric (in Ontario Hall) capitals, broken pediments over the doors and a hemicycle at one end;
- its siting facing the harbour with views to and from Lake Ontario;
- the use of the building as a town hall and in particular the use of Memorial Hall as a public gathering space;
- the accommodation of a farmer's market on the property.

▶ RECOGNITION

▶ HISTORICAL INFORMATION

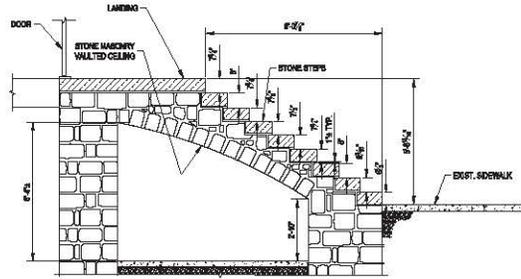
▶ ADDITIONAL INFORMATION

NEARBY PLACES



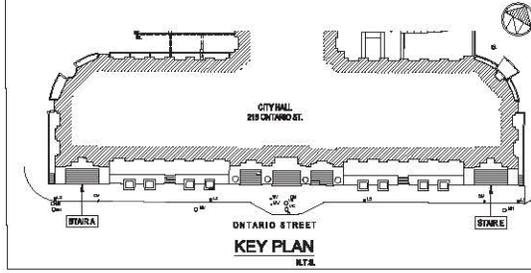
HANDRAIL OMITTED FOR CLARITY

SECTION A
1/2" = 1'-0"



HANDRAIL OMITTED FOR CLARITY

SECTION B
1/2" = 1'-0"



GENERAL NOTES:

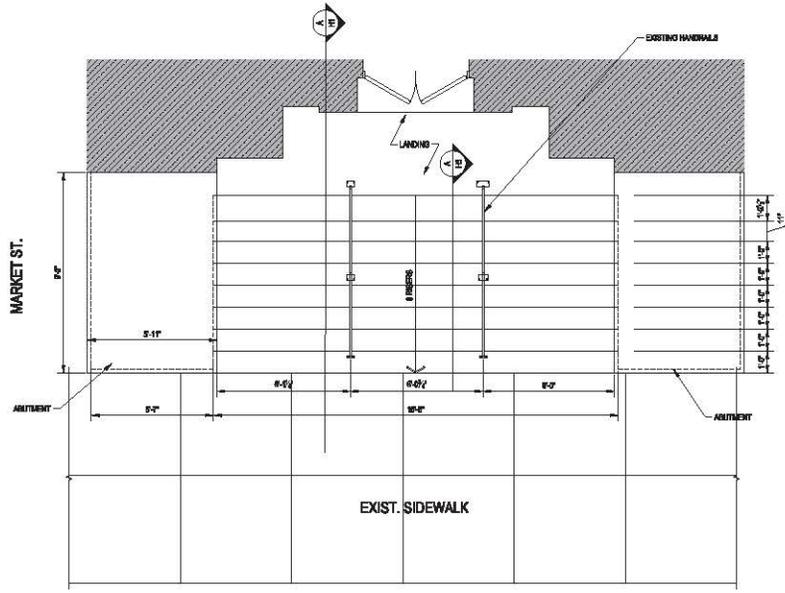
THE KINGSTON CITY HALL BUILDING OPENED IN 1844 AND BASED ON ORIGINAL PLANS BY ARCHITECT GEORGE BROMIE AND EARLY PHOTOGRAPHS AS FOUND IN THE ILLUSTRATED CHRONOLOGY OF KINGSTON CITY NATIONAL HISTORIC SITE BY JENNY HARRINGTON FOR STAIRS A AND E ARE INDICATED ON THE KEY PLAN AS WELL AS THE ADJACENT BUILDINGS TO APPEAR TO BE AN ORIGINAL PART OF THE DESIGN. SOME OF THE STONES APPEAR TO HAVE BEEN REPLACED WITH STONES EMPATHETIC TO THE ORIGINALS. THE CURRENT HANDRAILS ON BOTH STAIRS A AND E ARE NOT ORIGINAL TO THE DESIGN OF THE BUILDING AND APPEAR TO HAVE BEEN ADDED AT SOME DATE AFTER ORIGINAL CONSTRUCTION.

EXISTING CONDITIONS OF CONCERN

- STEPS AND LANDING ARE SLEELY CRACKED AND DELICIOUSING
- PIECES OF STONE HAVE BECOME DETACHED IN SOME AREAS AND POSE A TRIPPING OR FALLING HAZARD
- TRIPPY LANDING WOOD HANDRAILS ON STAIRS
- STEPS ARE UNEVEN AND OF VARYING HIGHS, LEADING TO POTENTIAL TRIPPING OR FALLING HAZARD WHICH REPRESENTS A LIFE SAFETY CONCERN
- HANDRAILS FAIL TO MEET CURRENT CODE LOADINGS AND ELECTRICITY REQUIREMENTS
- HANDRAIL CONNECTION IS CAUSING DAMAGE TO STONE STEPS
- PAINT REPAIR AT TOPS HAVE NOT PERFORMED WELL OR ADDRESSING THE WATER PENETRATION PROBLEMS AND HAVE NOT BEEN COMPATIBLE WITH THE HISTORIC FINISH OF THE STEPS
- EXISTING STRUCTURE SUPPORTING STEPS IS STRUCTURALLY UNDAUNED

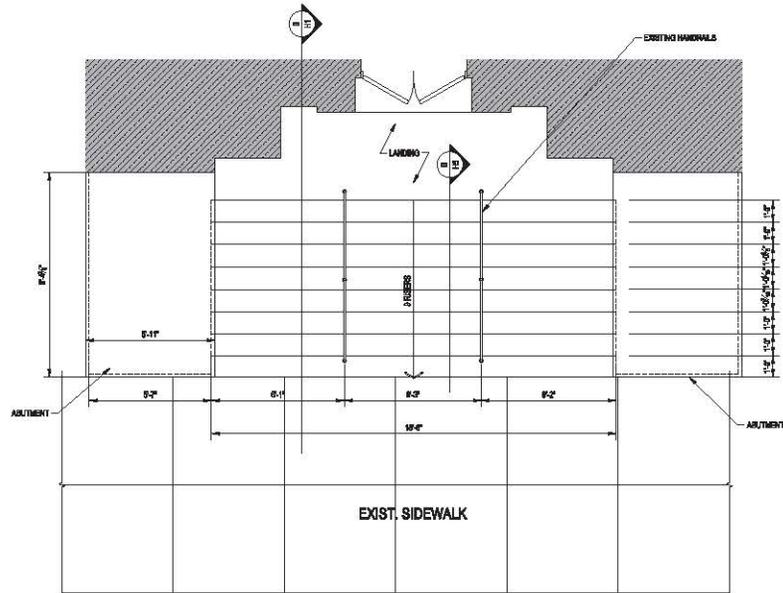
DESIGN CONSTRAINTS

- BUILDING OF HIGH HISTORICAL VALUE
- STONE ARCHES ARE A VALUABLE FEATURE OF THE ORIGINAL CONSTRUCTION
- OTHER STAIRS ON FACE OF BUILDING HAVE SIMILAR MATERIALS SO NEW ACQUISITION FOR STAIRS A & E CANNOT BEHAVE SIGNIFICANTLY IN APPEARANCE
- STONEWALK IS AT FACE OF BOTTOM STEP SO HANDRAILS MAY NOT PROTECTIVE BEYOND LOWER STEPS
- FINISH APPEARANCE MUST BE HISTORICALLY CONSISTENT
- EXISTING WOOD DOORS TO BUILDING MUST NOT BE DISTURBED



ONTARIO STREET

STAIR A PLAN
1/2" = 1'-0"



ONTARIO STREET

STAIR E PLAN
1/2" = 1'-0"

1	OUTSIDE	Insulated For Climate Review	CR
NO	NO	NO	NO



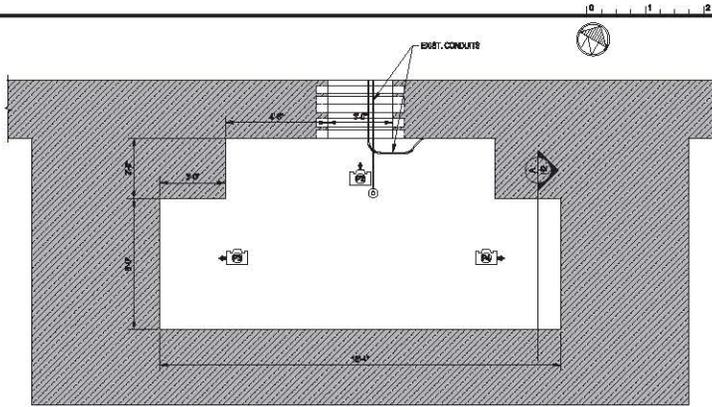
City Hall Building
Stone Steps Rehabilitation
218 Ontario Street
Kingston Ontario

City of Kingston
The Corporation of the City of Kingston

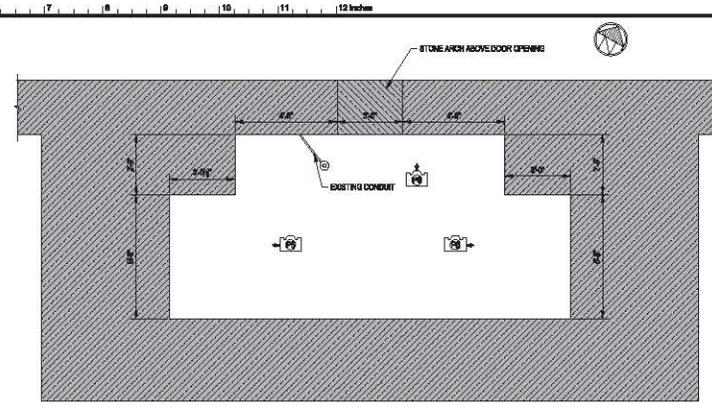
Existing Conditions

DATE	18/02/13
BY	C.J.R.
BY	A.S. BROWN
BY	J.W.
BY	June 2020

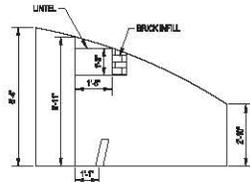
H1



STAIR A VAULTED CEILING PLAN
1/2" = 1'-0"



STAIR E VAULTED CEILING PLAN
1/2" = 1'-0"



SECTION A
1/2" = 1'-0"



TYPICAL STONE WORK (P1)
H2



CEILING ABOVE DOOR (P2)
H2



WEST WALL (P5)
H2



EAST WALL (P6)
H2



WEST WALL OPENING (P3)
H2



EAST WALL OPENING (P4)
H2



TYPICAL STONE WORK ON CEILING (P7)
H2



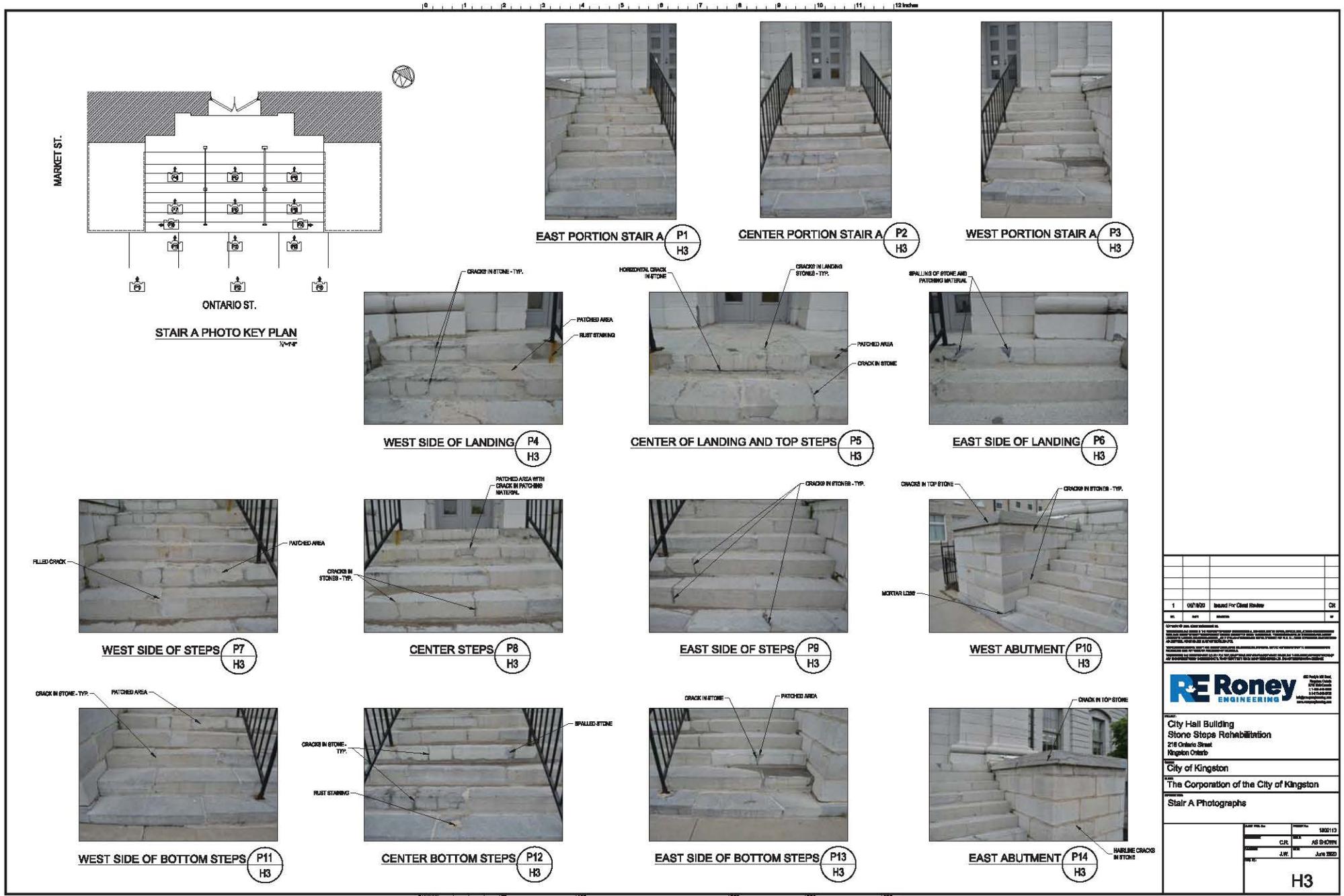
DOOR OPENING (P8)
H2

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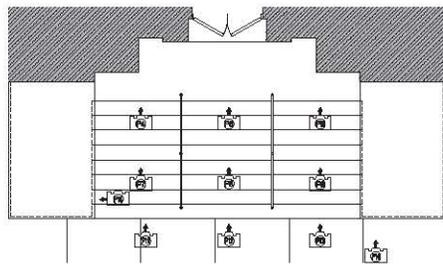
City Hall Building
Stone Steps Rehabilitation
218 Ontario Street
Kingston Ontario
City of Kingston
The Corporation of the City of Kingston
Existing Conditions Underside of Stairs

DATE	18/02/13
BY	AS 8:40 AM
CHKD	
DATE	June 2020
BY	
CHKD	

H2



0 1 2 3 4 5 6 7 8 9 10 11 12 inches



ONTARIO ST.
STAIR E PHOTO KEY PLAN
North

BROCK ST.



EAST PORTION STAIR E P1
H4



CENTER PORTION STAIR E P2
H4



WEST PORTION STAIR E P3
H4



WEST SIDE OF LANDING P4
H4

DEFORMATION OF TOP SURFACE



CENTER OF LANDING AND TOP STEPS P5
H4



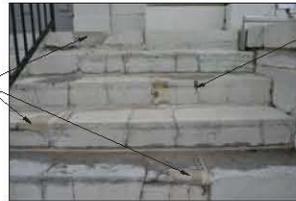
EAST SIDE OF LANDING P6
H4



WEST SIDE OF STEPS P7
H4



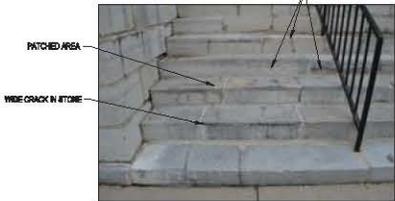
CENTER STEPS P8
H4



EAST SIDE OF STEPS P9
H4



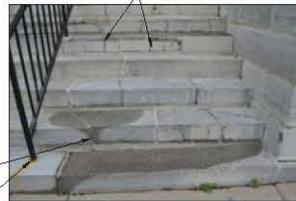
WEST ABUTMENT P10
H4



WEST SIDE OF BOTTOM STEPS P11
H4



CENTER BOTTOM STEPS P12
H4



EAST SIDE OF BOTTOM STEPS P13
H4



EAST ABUTMENT P14
H4

0 100 200 300 400 500 600 700 800 900 1000mm

1	OUTSIDE	Insulated For Climate Review	CR
NO	NO	NO	NO

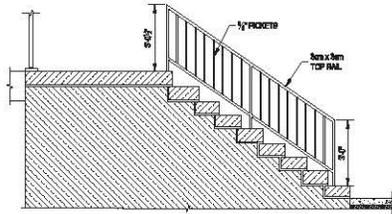


City Hall Building
Stone Steps Rehabilitation
218 Ontario Street
Kingston Ontario
City of Kingston
The Corporation of the City of Kingston
Stair E Photographs

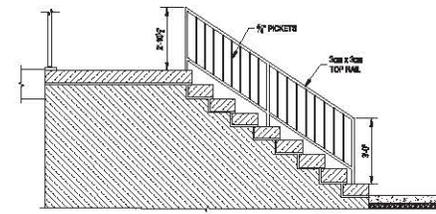
DATE	18/02/13
BY	AS B-D/W/m
CHKD	
DATE	June 2020
BY	

H4

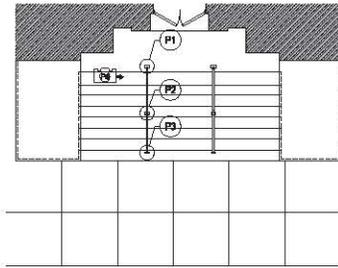
0 1 2 3 4 5 6 7 8 9 10 11 12 inches



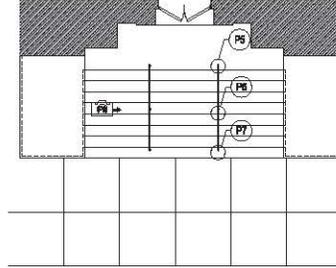
STAIR A HANDRAIL A
1/2" PICKETS H5



STAIR E HANDRAIL B
1/2" PICKETS H5



STAIR A PHOTO KEY PLAN
1/2" PICKETS



STAIR E PHOTO KEY PLAN
1/2" PICKETS



STAIR A TOP CONNECTION P1
H5



STAIR A BOTTOM CONNECTION P3
H5



STAIR E TOP CONNECTION P5
H5



STAIR E BOTTOM CONNECTION P7
H5



STAIR A CENTER CONNECTION P2
H5



STAIR A HANDRAILS P4
H5



STAIR E CENTER CONNECTION P6
H5



STAIR E HANDRAILS P8
H5

0 100 200 300 400 500 600 700 800 900 1000 1100 1200 1300 1400 1500 mm

1	001/020	Issued For Client Review	CR
no.	date	description	by



City Hall Building
Stone Steps Rehabilitation
218 Ontario Street
Kingston Ontario
City of Kingston
The Corporation of the City of Kingston
Handrail Details

DATE PLOTTED	13/02/13
SCALE	A3 840mm
DESIGNED	C.J.L.
CHECKED	J.W.
DATE	June 2012

H5



Memorandum

To: Ryan Leary, Senior Planner, Heritage, Planning Services

From: Dan Korneluk, Project Manager, Facilities Management & Construction Services

Date: March 30, 2021

Subject: Heritage Permit Application – File No: P18-019-2021
216 Ontario Street – Kingston City Hall
Restoration of Exterior North and South Exterior Exit Stairs

The Facilities Management & Construction Services department of the City of Kingston is seeking approval for reconstruction and restoration of the north and south exterior exit stairs at City Hall. The work will address public safety and localized structural stability concerns that have resulted from long term weathering, ongoing water infiltration into the building and related deterioration.

The subject property, Kingston City Hall, is a National Historic Site of Canada with municipal heritage designations under both Parts IV and V of the Ontario Heritage Act. The site is located at 216 Ontario Street, between Brock Street and Market Street, in the heart of Kingston's historic downtown. It has continuously served as the seat of municipal government and marketplace since it was originally completed in 1844.



Photo 1: City Hall - South Exterior Exit Stairs

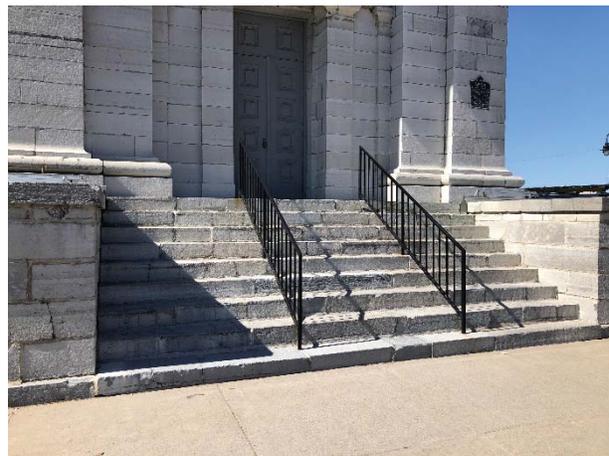


Photo 2: City Hall - North Exterior Exit Stairs

Based on archival drawings and photos, the north and south exterior stairs, along with their abutments, were part of the original building design. The stairs are also primary

exit routes which allow for safe egress to Ontario Street from the interior stairwells adjacent to Council Chambers and Memorial Hall.

The exterior stair assemblies at each side of the building generally consist of large limestone steps and upper landing slab units supported by a structural masonry arch which extends between the abutments. It's understood the original masonry elements would have been constructed using Kingston limestone, although past restoration efforts have employed Queenston limestone replacements. The present painted steel handrails were not part of the original design and, based on archival photos, it appears these were initially added as part of renovations undertaken in the early 1970's.

Facilities Management & Construction Services has been monitoring these exterior stairs for some time. Numerous masonry repair programs have been implemented (i.e. annually) and various heritage repair products have been tested to address the following ongoing conditions:

- Moisture related deterioration of the mortar joints throughout the stairs and abutments
- Cracking, spalling, displacement, and general wear of limestone units
- Corrosion and partial detachment of handrails from the masonry
- Significant water infiltration into basement areas below and adjacent to the arches during rain events (north end Parking Services and south end Print Shop)
- Overall inward deflection/settlement of the steps and structural arch assembly

Refer to included drawings H1 to H5 dated June 16, 2020 by Roney Engineering for documentation of the existing construction and conditions.

While various rounds of masonry repairs have been undertaken, the damaging long-term effects of water infiltration, ice melting activities, and freeze thaw cycles have accelerated and ultimately resulted in concerns related to public safety (e.g. tripping hazards, structural stability of the steps and arch assemblies, etc.). An exterior coating system was also recently being considered to temporarily seal and protect the assembly until a more significant restoration program could be undertaken; however, this methodology did not proceed as it was determined to pose a potential risk to the heritage fabric.

In 2018, Roney Engineering was engaged to review the assemblies. Based on findings from the structural assessment, temporary shoring was designed to provide an alternate load path for the deteriorated masonry arches supporting the steps above. The shoring was installed by early 2020.

Roney Engineering was also subsequently engaged to provide a detailed design for the full restoration program. As outlined in drawings R1 to R3 dated March 12, 2021 by

Roney Engineering, the proposed methodology for reconstruction/restoration of these exit stairs generally consists of the following:

1. Careful dismantling of limestone steps and upper landing slab units.

From the additional pre-design assessment, it was determined that the existing stone steps are typically highly fractured and generally not suitable for reuse. Roney Engineering has recommended replacement with new Queenston limestone units. Where possible, existing limestone units will be retained for other heritage repairs. The existing doors and threshold elements at the building face will be retained and not impacted by the work.

2. Partial removal of interior masonry above the arch to allow for construction of a new structural concrete arch slab. A layer of lime mortar will be placed between the interior masonry arch and new concrete slab to allow for separation of different structural materials.
3. Grouting and repointing of the interior masonry arch as well as installation of helical ties anchored the new concrete slab.
4. Placement of new structural concrete arch slab complete with slopes to drainage cavities that will be directed away from the building.

A concealed reinforced concrete slab is proposed in lieu of masonry as it will provide a robust, stable base for the new limestone steps and will be much less susceptible to moisture related deterioration. The top surface of the concrete will be stepped (to support new limestone step units) and will also receive a continuous waterproofing coating.

5. Installation of new painted steel handrails secured to the stepped concrete arch slab. While not part of the original design, the handrails are still required for safety. The new design is intended to be visually non-intrusive and connections to the concrete will be concealed at joints in the masonry steps.
6. Installation of new Queenston limestone steps complete with concealed drainage mats to allow for draining and drying of the assembly.
7. Cleaning, repointing, and sealing of cracks in the existing abutments on both sides of the stairs (original masonry units to remain in place).

In general, the masonry work will be undertaken in accordance with the City's Policy on Masonry Restoration in Heritage Buildings. This effort is intended to be a long-term solution to address the concerns related to public safety and structural stability. The proposed design will be sympathetic to the heritage fabric of the building while incorporating new concealed measures that provide improved stability, prevent ongoing water infiltration and associated deterioration.

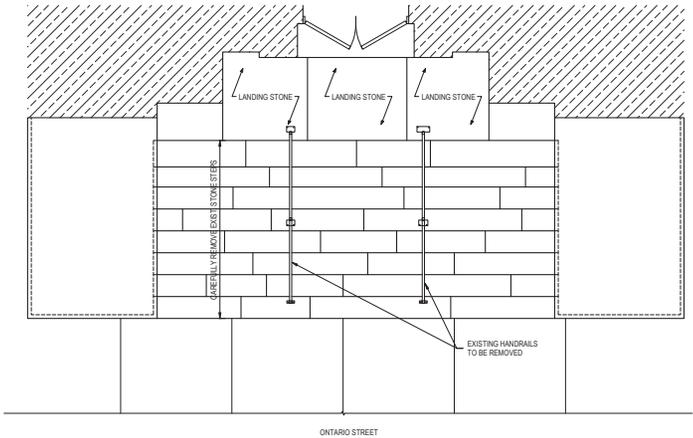
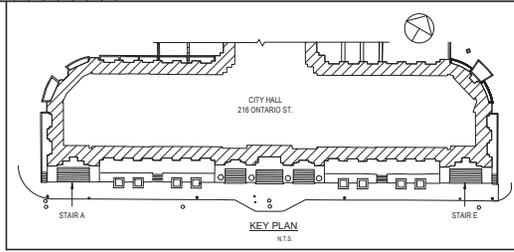
It's anticipated that a procurement process will proceed early in the spring and that the work will be completed before late fall 2021.

Sincerely,

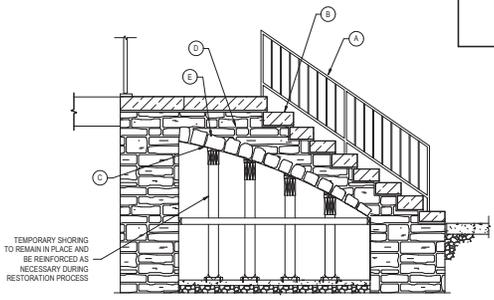
Dan Korneluk, Project Manager, Facilities Management & Construction Services

cc: Jeff Rempel, Manager, Realty Construction Projects
Speros Kanellos, Director, Facilities Management & Construction Services
Chris Roney, Roney Engineering

0 1 2 3 4 5 6 7 8 9 10 11 12 inches



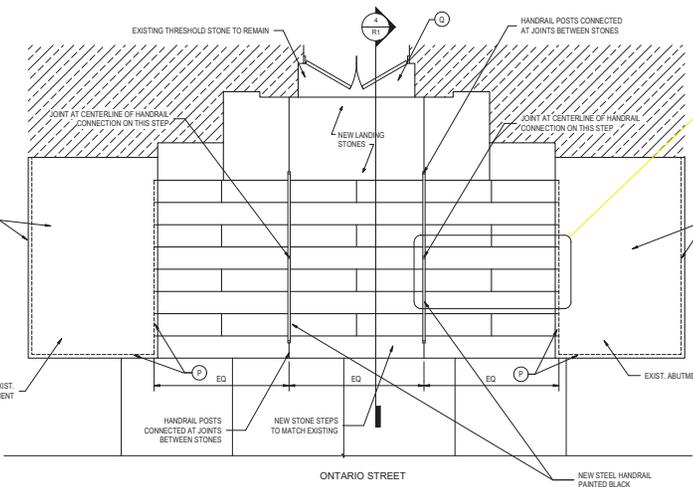
1 EXISTING STAIR PLAN - TYP.
38" x 1'0"



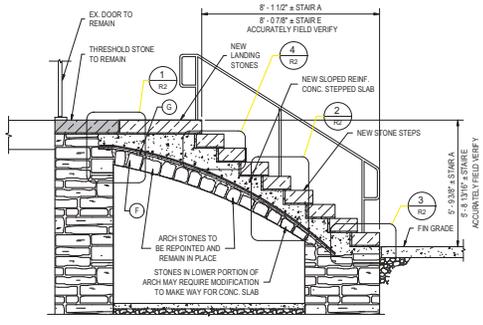
3 EXISTING TYPICAL STAIR SECTION
38" x 1'0"

REMEDATION PLAN

- A CAREFULLY REMOVE EXISTING HANDRAILS ON STAIR A AND LIGHTING FIXTURES ON ADJACENT ABUTMENTS. LIGHTING FIXTURES TO BE RETAINED FOR REINSTALLATION AFTER STONE STEP RESTORATION IS COMPLETE.
- B CAREFULLY REMOVE EXISTING STONE STEPS AND LANDING STONES OF STAIR A. DOCUMENT THE ORIGINAL LOCATION OF EACH STONE AND RETAIN ALL STONES IN FAIR CONDITION FOR USE IN FUTURE RESTORATION PROJECTS IN OTHER PARTS OF THE CITY HALL BUILDING TO PRESERVE HISTORICALLY SIGNIFICANT MATERIALS. CONTACT STRUCTURAL ENGINEER TO ALLOW FOR REVIEW AND EXPLORATORY OPENINGS IN STONEMARK BELOW STEPS PRIOR TO CONTINUING WORK.
- C REPOINT ALL VISIBLE JOINTS AT CEILING OF ROOMS BELOW STEPS. TEMPORARY SHORING TO REMAIN IN PLACE AND WILL CONCEAL SOME OF THE JOINTS. CONTRACTOR TO EVALUATE EXISTING TEMPORARY SHORING AND CHANGE AND/OR REINFORCE AS THEY SEE NECESSARY.
- D DISMANTLE STONEMARK BELOW EXISTING STONE STEPS THAT HAVE BEEN REMOVED, LEAVING ONLY THE STONES FORMING THE ARCH. RETAIN ALL EXTRACTED STONES AND ADD TO COLLECTION OF HISTORIC MATERIALS FOR FUTURE RESTORATION PROJECTS. SOME STONES FORMING THE ARCH MAY NEED TO BE MODIFIED TO ENSURE A MINIMUM OF 6" OF CONC. CAN BE POURED ABOVE THE ARCH.
- E GROUT ALL JOINTS OF STONE ARCH FROM ABOVE THAT ARE NOW VISIBLE AFTER REMOVAL OF STONEMARK.
- F INSTALL S.S. HELICAL TIES.
- G ADD LAYER OF LIME MORTAR TO TOP OF STONE ARCH.
- H REMOVE STONES EXTENDING PAST EXISTING STONE ARCH. BENEATH THRESHOLD STONE, TO CREATE AN 8" CAVITY FOR NEW CONCRETE SLAB TO REST.
- I FORM REINFORCED CONCRETE STEPPED SLAB OVER EXISTING STONE ARCH TO CREATE BASE SURFACE FOR WATERPROOFING & INSTALLATION OF STEPS. SLOPE STEPPED CONCRETE TO CHANNEL WATER AWAY FROM STONES AND TOWARDS CONCEALED DRAINAGE CAVITIES.
- J PREPARE EDGES OF EXPOSED CONCRETE AREA FOR WATERPROOFING AND APPLY TREMCO VULKEM 302NF/950NF/90NF WATERPROOFING MEMBRANE.
- K PLACE DRAINAGE MAT VERTICALLY BEHIND WHERE NEW STONE STEPS WILL BE LOCATED AND HORIZONTALLY AT REGULAR INTERVALS AS INDICATED ON THE DRAINAGE PLAN.
- L INSTALL NEW STONE STEPS, WITH JOINTS LINING UP TO ALLOW FOR CONNECTION OF HANDRAIL POSTS AT JOINT LOCATIONS ON THE BOTTOM STEP. FIFTH STEP FROM THE BOTTOM AND THE LANDING STONE. JOINTS ON ALL OTHER STEPS SHOULD APPROXIMATELY MATCH THE ORIGINAL JOINTING PATTERN BASED ON PHOTOGRAPHIC EVIDENCE. LANDING HEIGHT TO MATCH EXISTING. NEW STONES SHOULD BE CUT AND INSTALLED TO MAINTAIN THIS HEIGHT.
- M INSTALL NEW PAINTED BLACK STEEL HANDRAILS. HANDRAIL CONNECTIONS TO FASTEN TO STEPPED CONCRETE BELOW NEW LIME STONE STEPS.
- N CLEAN, REPOINT AND SEAL COACKS IN THE EXISTING ABUTMENTS ON BOTH SIDES OF STAIRS. ORIGINAL STONES TO REMAIN IN PLACE.
- O REPAIR & SEAL CRACKS IN DOORWAY THRESHOLD STONES. STONES TO REMAIN IN PLACE AND WORK IS NOT TO DAMAGE OR INTERFERE WITH EXISTING WOODEN DOOR.
- P REMOVE TEMPORARY SHORING FROM ROOM BENEATH STAIR A.
- Q REPOINT ALL JOINTS FROM BELOW THE STAIRS THAT WERE PREVIOUSLY CONCEALED BY SHORING.
- R REPEAT STEPS A THROUGH Q FOR STAIR E.



2 TYPICAL RESTORED STAIR PLAN
38" x 1'0"



4 RESTORED STAIRS SECTION
38" x 1'0"



5 EXISTING LIGHTING
12" x 1'0"

1	2021-05-12	Issued for Heritage Review	J.C.R.
2	2021-05-12	Revised	J.C.R.



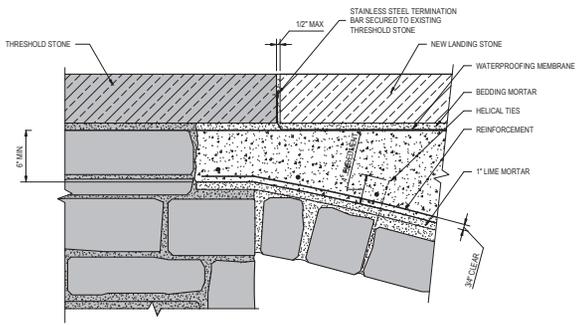
City Hall Stone Steps Rehabilitation
216 Ontario Street,
Kingston, Ontario

City of Kingston
Facilities Management
Elevations, Plans and Details

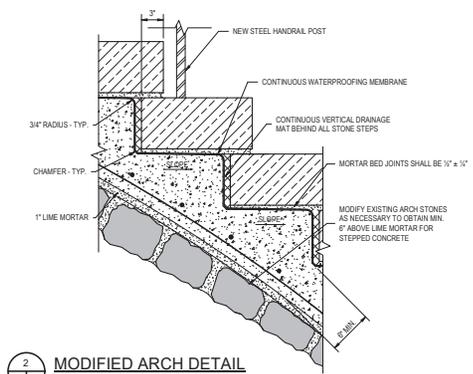
Project No.	00000	Drawn By	1802113
Contract No.	C.R.	Scale	As Shown
Drawn By	J.W.	Date	August 2020

R1

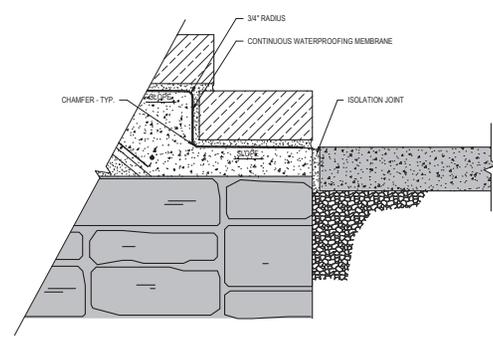
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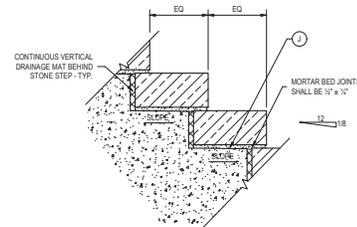
1 LANDING CONNECTION DETAIL
1/2" = 1'-0"



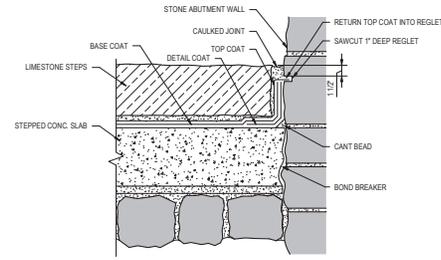
2 MODIFIED ARCH DETAIL
1/2" = 1'-0"



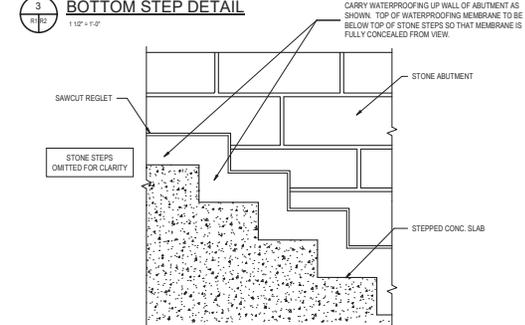
3 BOTTOM STEP DETAIL
1/2" = 1'-0"



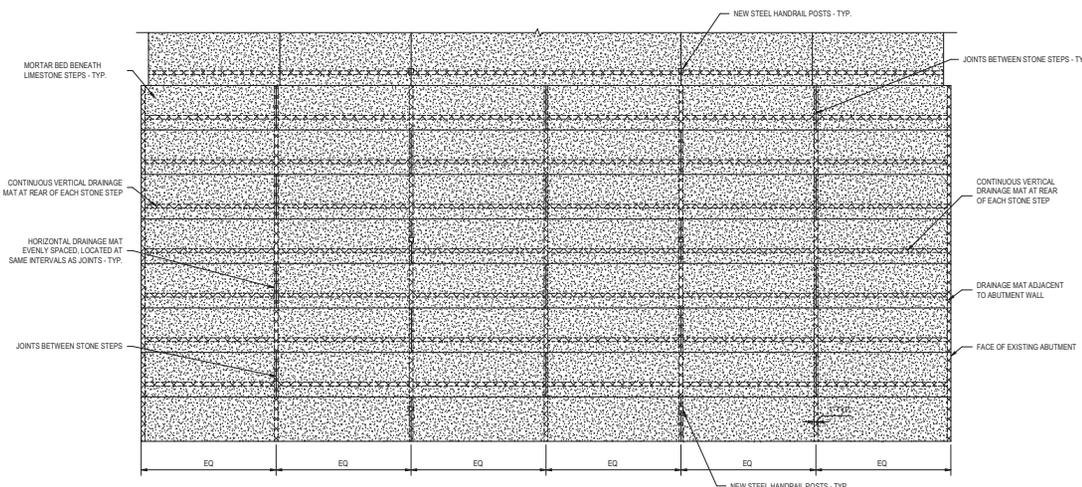
4 TYPICAL STEPPED SLAB DETAIL
1" = 1'-0"



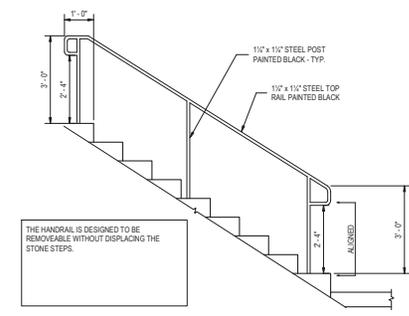
5 WATERPROOFING DETAIL AT ABUTMENT WALL
1/2" = 1'-0"



6 ABUTMENT FACE WATERPROOFING DETAIL
3" = 1'-0"



7 DRAINAGE MAT PLAN
3/4" = 1'-0"



8 NEW HANDRAIL DETAIL
1/2" = 1'-0"



1	2021-05-12	Issued for Heritage Review	C.R.
2	2021-05-12	Revised	C.R.
<p>RE Roney ENGINEERING</p> <p>1887 Dundas Street West Kingston, Ontario K7L 3G5 Tel: 613-335-2222 www.roneyengineering.com</p>			
<p>City Hall Stone Steps Rehabilitation 216 Ontario Street, Kingston, Ontario</p>			
<p>City of Kingston Facilities Management Details & Sections</p>			
Project No.	00000	Revision	1802113
Contract	C.R.	Scale	As Shown
Drawn by	J.W.	Date	August 2020
<p>R2</p>			

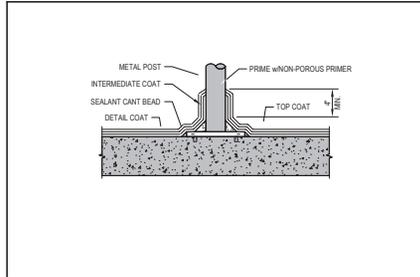
0 1 2 3 4 5 6 7 8 9 10 11 12 inches

GENERAL NOTES

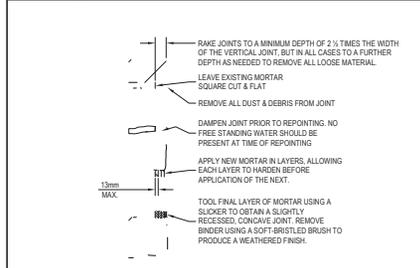
- G1. ALL WORK SHALL COMPLY WITH THE CURRENT ONTARIO BUILDING CODE AND ALL GOVERNING STANDARDS & REGULATIONS.
- G2. CLARIFY WITH THE ENGINEER ANY QUERIES REGARDING INTERPRETATION OF THE DRAWINGS BEFORE PROCEEDING WITH ANY WORK.
- G3. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

03 CONCRETE NOTES:

- 1. **GENERAL REQUIREMENTS & APPLICABLE STANDARDS**
 - 1. ALL STRUCTURAL CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.3 "DESIGN OF CONCRETE STRUCTURES".
 - 2. THE CONTRACTOR SHALL ENSURE THAT CONCRETE SHALL BE MIXED, PLACED & CURED IN ACCORDANCE WITH CSA STANDARD A23.1 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION".
- 2. **MATERIAL PROPERTIES**
 - 1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF _____ AT 28 DAYS.
 - 2. CONCRETE SHALL HAVE A SLUMP OF 80mm +/- 20mm
 - 3. CONCRETE SHALL CONFORM TO EXPOSURE CLASS _____.
 - 4. THE MAXIMUM NOMINAL AGGREGATE SIZE FOR CONCRETE SHALL BE 20mm (3/4").
 - 5. REINFORCING STEEL SHALL CONFORM TO CSA STANDARD G30.18 GRADE 400 (GRADE 60).
 - 6. CHAIRS, BOLSTERS, BAR SUPPORTS AND SPACERS FOR REINFORCING SHALL CONFORM TO CAN/CSA - A23.1.
- 3. **FABRICATION AND EXECUTION**
 - 1. WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH CANCSA - A23.1, CSA W186 AND REINFORCING STEEL - MANUAL OF STANDARD PRACTICE.
 - 2. UNLESS NOTED OTHERWISE, ALL LAP SPLICES IN CONCRETE REINFORCEMENT TO BE CLASS "B".
 - 3. WELDING OF REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W186.
 - 4. HOOKS AND BENDS IN REINFORCEMENT SHALL BE AS DEFINED IN CSA STANDARD CAN/CSA-A23.1.
 - 5. DURING CONSTRUCTION, DO NOT EXPOSE CONCRETE ELEMENTS TO LOADS OR STRESSES BEYOND THAT WHICH THEY ARE CAPABLE OF SAFELY RESISTING. ENSURE CONCRETE HAS ACHIEVED ITS FULL 28 DAY SPECIFIED STRENGTH BEFORE EXPOSING IT TO THE FINAL DESIGN LOADS. WHERE CONSTRUCTION LOADS EXCEED FINAL DESIGN LOADS, PROVIDE ALL NECESSARY TEMPORARY SHORING TO PREVENT THE CONCRETE FROM BEING OVERSTRESSED.



07.18.10 TYPICAL COATING DETAIL AT METAL POSTS



STONE MASONRY REPOINTING PROCEDURE
MASONRY REPAIR M9

NOTES
DO NOT INCREASE WIDTH OF NARROW JOINTS.
TOOL & COMPACT USING JOINTING TOOL TO FORCE MORTAR INTO JOINT.
PERFORM WORK IN ACCORDANCE WITH CSA STANDARD A23.1.
REFER TO SPECIFICATIONS 04.03.07 - "MASONRY REPOINTING & REPAIR" FOR FURTHER INSTRUCTIONS.

MASONRY CLEANING INSTRUCTIONS

- 1. SURFACES MAY BE LIGHTLY SCRUBBED WITH A NON-METALLIC BRUSH. STEEL BRISTLED BRUSHES ARE NOT PERMITTED. STUBBORN AREAS MAY RECEIVE LOW-PRESSURE WATER JETS (500psi MAX), WHEN AUTHORIZED BY CONSULTANT.
- 2. SAND-BLASTING SHALL NOT BE USED.
- 3. WATER USED FOR SPRAYING OF STONE SHALL BE NON-ACIDIC AND FREE OF TRACE METALS, ESPECIALLY IRON.
- 4. ENSURE THAT THE SOURCE OF STAINING IS REMOVED.
- 5. RUST STAINS SHALL BE REMOVED USING A PREPARATION OF A 5% TO 10% SOLUTION OF OXALIC ACID IN HOT WATER, MIXED IN A NON-METALLIC BUCKET. SOAK THE STAIN WITH WATER, THEN APPLY THE HOT OXALIC ACID SOLUTION TO THE SURFACE OF THE STAINED STONES USING A NON-METALLIC FIBRE BRUSH. THE ENTIRE EXPOSED SURFACE OF THE STAINED STONES MUST BE TREATED TO AVOID A MOTTLED APPEARANCE. RINSE WITH WATER AND LET DRY. REPEAT IF NECESSARY.

THE BUILDING ORIGINALLY OPEN IN 1844 AND, BASED ON THE ORIGINAL PLANS BY ARCHITECT GEORGE BROWNE AND EARLY PHOTOGRAPHS AS PRINTED IN THE ILLUSTRATED CHRONOLOGY OF KINGSTON CITY HALL NATIONAL HISTORIC SITE, BY JENNIFER MCKENDRY, STAIRS A AND E TOGETHER WITH THEIR ABUTMENTS, WERE AN ORIGINAL PART OF THE BUILDING'S DESIGN. SOME OF THE STONES APPEAR TO HAVE BEEN REPLACED OVER THE YEARS WITH STONES THAT ARE SYMPATHETIC TO THE ORIGINALS. THE CURRENT STEEL HANDRAILS ON BOTH THESE STAIRS ARE NOT ORIGINAL TO THE BUILDING AND WERE APPARENTLY ADDED AT SOME POINT AFTER ORIGINAL CONSTRUCTION.

- EXISTING CONDITIONS OF CONCERN**
- 1. THE STEPS AND LANDINGS ARE BADLY CRACKED, UNEVEN AND DETERIORATING.
 - 2. PIECES OF STONE HAVE BECOME DETACHED IN SOME AREAS AND POSE A TRIPPING AND/OR FALLING HAZARD.
 - 3. WATER IS LEAKING INTO THE STONE MASONRY ARCHES BELOW WHICH ARE BECOMING STRUCTURALLY COMPROMISED. THE STRUCTURAL INTEGRITY OF THE DETERIORATED ARCHES HAS BEEN COMPROMISED AND TEMPORARY SHORING HAS BEEN DEPLOYED AS A TEMPORARY MEASURE TO PREVENT THEIR COLLAPSE.
 - 4. WATER IS SEEPING THROUGH THE STEPS INTO THE ROOMS BELOW.
 - 5. THE STEPS ARE UNEVEN AND OF VARYING RISE, LEADING TO POTENTIAL TRIPPING / FALLING HAZARD WHICH REPRESENTS A LIFE SAFETY CONCERN.
 - 6. THE HANDRAILS ARE NOT STRUCTURALLY SOUND AND FAIL TO MEET CURRENT SAFETY STANDARDS.
 - 7. HANDRAIL CORROSION IS CAUSING SIGNIFICANT DAMAGE TO THE STONE STEPS.
 - 8. PART REPAIR ATTEMPTS HAVE NOT PERFORMED WELL, NOR HAVE THEY ADDRESSED THE WATER INFILTRATION ISSUES.

- DESIGN CONSTRAINTS**
- 1. THE BUILDING IS OF HIGH HISTORICAL IMPORTANCE.
 - 2. THE STONE ARCHES ARE A VALUABLE FEATURE OF THE ORIGINAL CONSTRUCTION.
 - 3. OTHER STAIRS AT THE EXTERIOR OF THE BUILDING HAVE SIMILAR HANDRAILS SO REPLACEMENT FOR STAIRS A AND E CANNOT DEVIATE SIGNIFICANTLY IN APPEARANCE.
 - 4. THE SIDEWALK IS AT THE FACE OF THE BOTTOM STEP AND SO HANDRAILS MAY NOT PROTRUDE BEYOND THE LOWEST RISE.
 - 5. THE EXISTING WOOD DOORS OF THE BUILDING MUST NOT BE DISTURBED.
 - 6. A GREAT MANY OF THE EXISTING STONE STEPS ARE HIGHLY FRACTURED AND ARE NOT SUITABLE FOR RE-USE.

- RESTORATION STRATEGY**
- 1. ALL OF THE STONE STEPS SHALL BE REMOVED AND REPLACED WITH NEW QUEENSTON LIMESTONE STEPS HAVING A BUSH-HAMMERED FINISH. THOUGH THE ORIGINAL STEPS WERE CONSTRUCTED USING KINGSTON LIMESTONE, SUCH STONE IS NOT READILY AVAILABLE AT THIS TIME. FURTHERMORE, PAST RESTORATION WORK ON THE BUILDING HAS EMPLOYED QUEENSTON LIMESTONE. QUEENSTON LIMESTONE HAS A BLUE-GREY APPEARANCE THAT WEATHERS TO A SILVER-GREY WHEREAS KINGSTON LIMESTONE STARTS AS A BROWNISH-BLUE BUT WEATHERS TO A LIGHT GREY COLOUR. MIXING OF THE TWO ON THE STEPS IS NOT ADVISABLE FOR THIS REASON AND IS ONE OF THE FACTORS LEADING TO OUR RECOMMENDATION TO REPLACE THE STONES IN THEIR ENTIRETY BUT TO SAVE THE EXISTING KINGSTON LIMESTONE STEPS FOR HISTORICAL REPAIRS ELSEWHERE.
 - 2. THE EXISTING STONE ARCH SHALL BE RETAINED AS IT CURRENTLY EXISTS, AND SHALL BE REPOINTED. A NEW CONCEALED REINFORCED CONCRETE SLAB SHALL BE CAST TO PROVIDE STRUCTURAL SUPPORT TO THE STONE STEPS AND FROM WHICH THE EXISTING STONE ARCH MAY BE SUPPORTED.
 - 3. A WATERPROOFING COATING SHALL BE APPLIED TO THE TOP OF THE CONCRETE SLAB TO PREVENT WATER ENTRY INTO THE ARCHED AND THE ROOMS BENEATH THE STEPS. THE WATERPROOFING SHALL BE ENTIRELY CONCEALED FROM VIEW.
 - 4. THE NEW HANDRAILS SHALL BE DESIGNED TO BE REMOVEABLE WITHOUT DISRUPTING THE STONE STEPS. THEY ARE INTENDED TO BE AS NON-INTRUSIVE AS POSSIBLE.

0 100 200 250 300mm

1	2021-03-12	Issued for Heritage Review	J.C.R.
2	2021	Revised	J.P.

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Roney Engineering Inc. shall not be held responsible for all alterations and/or additions made to this drawing without written consent of Roney Engineering Inc. All drawings shall be prepared in accordance with the applicable codes and standards in effect at the time of design and construction.

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K7L 3G6 Canada
T 1-800-363-2226
info@roneyengineering.com
www.roneyengineering.com

City Hall Stone Steps Rehabilitation
216 Ontario Street,
Kingston, Ontario

City of Kingston
Facilities Management
Details & Notes

Revised/As Shown	00000	Revised/As Shown	1802113
Drawn by	J.L.	Checked by	As Shown
Drawn by	J.W.	Issued	August 2020

R3



April 12, 2021

Ryan Leary, Senior Planner, Heritage
Planning Services
City of Kingston
216 Ontario Street
Kingston, Ontario K7L 2Z3

Dear Mr. Leary:

RE: Heritage Permit Application – File No: P18-019-2021
216 Ontario Street – Kingston City Hall
Restoration of Exterior North and South Exterior Exit Stairs
Question Regarding Limestone Materials

Please accept the following addendum letter which addresses recent questions received during circulation of this application for heritage permit.

Question:

Why is Queenston limestone proposed instead of Kingston limestone? Rideauview quarry is suggested as an option for the supply of Kingston limestone.

Response:

Queenston has typically been substituted when an equivalent size Kingston limestone unit was not available for the intended application.

Based on additional feedback from Roney Engineering, it's understood the Rideauview quarry has been able to cut Kingston limestone from deeper bed stones to produce units of the type needed for this application with a finish that is consistent with applicable historical requirements.

The project specifications will be adjusted accordingly to provide authentic Kingston limestone. Samples will be requested from the potential supplier to ensure the materials will be suitable for the intended application (i.e. physical properties and finishing requirements, etc.).

We trust the above will meet with your present requirements. Should you have any additional questions, please contact the undersigned.

Sincerely,

Dan Korneluk, P.Eng., LEED®AP
Project Manager, Facilities Management & Construction Services

cc: Chris Roney, Roney Engineering
Jeff Rempel, Manager, Facilities Management & Construction Services

Heritage Kingston

Summary of Input from Technical Review Process

P18-019-2021

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Bridget Doherty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councilor Gary Oosterhof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Zoe Harris	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Banfield	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Mitchell	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Moya Dumville	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

where history and innovation thrive

Date:	April 5, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Alteration and/or repair
File Number:	P18-019-2021
Property Address:	216 ONTARIO ST

Description of Proposal:

The subject property is Kingston City Hall. It is a National Historic Site of Canada and designated under both Parts IV and V of the Ontario Heritage Act. After a number of attempts to repair and stabilize, with little improvement to identified health and safety concerns, the City's Facilities team is seeking Heritage Act approval to disassemble the north and south wing exterior limestone staircases, install a concrete super-structure and recreate the staircases, including the interior stone arch, using Queenston limestone. A new metal railing (black) will also be installed. No changes are proposed for the doors or flanking knee walls. An overview letter and detailed plans showing the existing conditions and proposed rebuild, are submitted as part of this application.

Comments for Consideration on the Application:

Congratulations on finding a very acceptable solution to this long-standing problem. Thank you for conserving the original stone for future repairs elsewhere on the building.



City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

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Date:	April 5, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	Alterations and/or repair
File Number:	P18-019-2021
Property Address:	216 ONTARIO ST

Description of Proposal:

The subject property is Kingston City Hall. It is a National Historic Site of Canada and designated under both Parts IV and V of the Ontario Heritage Act. After a number of attempts to repair and stabilize, with little improvement to identified health and safety concerns, the City's Facilities team is seeking Heritage Act approval to disassemble the north and south wing exterior limestone staircases, install a concrete super-structure and recreate the staircases, including the interior stone arch, using Queenston limestone. A new metal railing (black) will also be installed. No changes are proposed for the doors or flanking knee walls. An overview letter and detailed plans showing the existing conditions and proposed rebuild, are submitted as part of this application.

Comments for Consideration on the Application:

It is good that these staircases that are prominent attributes of the main façade of City Hall are being rebuilt after many years of deterioration. The proposed plans that provide a concealed concrete supporting arch look excellent and should provide decades of untroubled service. Even though the stone arch of each staircase is only visible from the interior it is commendable that the arch will be maintained and repaired rather than covered by concrete supports. However, the plan to replace all the stone steps with Queenston limestone is surprising and should not be accepted without convincing arguments. The application mentions that Queenston stone has been used elsewhere in City Hall (for example in the market wing, and a prominent patch at the SW corner of the south wing), and that it is a good colour match to the local stone. Also, it is claimed that suitable local stone is not readily available. Both assertions should be challenged: Queenston stone is a light yellow-brown, quite different from the distinctive grey-white of Kingston stone. It has been used extensively in Kingston, particularly at Queen's, during a period when local limestone was not commercially available. However, the Rideauview quarry has been supplying excellent local limestone for many years, and the application needs a reference to their products. As we know, Queen's has been carrying out extensive repairs including replacement stones on many of their Kingston

limestone buildings. The replacement stones from Rideauview are almost black initially, but after a few years' exposure provide an excellent colour match. Furthermore, the present application should be compared with a similar rebuilding of a stone staircase at Jackson Hall a few years ago. (Incidentally Jackson Hall provides an excellent illustration of the contrasting colours of Kingston and Queenston limestone). Its staircase was also a Roney engineering project, and included new concealed concrete supports. Their decision was to retain the existing stone steps that were in good condition, and replace cracked stone with new local limestone. The result is very acceptable, and this should be the recommended plan for the City Hall steps. Many of them are badly cracked, and the proposal is to replace them all with Queenston stone. It would certainly be inappropriate to have a mixture of stones with distinct colours, but the better plan would be to re-use good stones and replace the others with local stone. This decision will become much more important when the main central staircase is rebuilt, which it should be in the near future. It is much larger, and although many stones will need replacing, probably the majority can be re-used. Clearly the choice of stone for the present application should be very carefully discussed.

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

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Date:	April 9, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	Alteration and/or repair
File Number:	P18-019-2021
Property Address:	216 ONTARIO ST

Description of Proposal:

The subject property is Kingston City Hall. It is a National Historic Site of Canada and designated under both Parts IV and V of the Ontario Heritage Act. After a number of attempts to repair and stabilize, with little improvement to identified health and safety concerns, the City's Facilities team is seeking Heritage Act approval to disassemble the north and south wing exterior limestone staircases, install a concrete super-structure and recreate the staircases, including the interior stone arch, using Queenston limestone. A new metal railing (black) will also be installed. No changes are proposed for the doors or flanking knee walls. An overview letter and detailed plans showing the existing conditions and proposed rebuild, are submitted as part of this application.

Comments for Consideration on the Application:

Repair of these exterior limestone staircases including the interior stone arches is necessary from both an aesthetic and functional safety point of view. The use of Queenston limestone instead of local limestone is concerning however and sourcing local limestone should be investigated prior to approval.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

Summary of Final Comments at May 19, 2021 Heritage Kingston Meeting

Mr. Taylor commented that he was pleased with how the project has developed and that the City is doing the work right. He expressed concern that there was no explicit condition that required re-use of existing stone steps that are in good condition. He added that retaining original stone where possible will save on the expense when repairs are needed.

Mr. Mitchell commented that the project offers a unique opportunity for the City to document the process in video, photos and in the media for educational, instructional, promotional and marketing purposes that could take viewers to the quarry, teach about gathering stones, and follow staff's process in completing work. He added that it could be beneficial as part of the City's pandemic response to create something for the public to enjoy and understand the work while displaying and demystifying some of the work that City staff undertake.



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-027**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Jennifer Campbell, Director, Heritage Services
Date of Meeting: May 19, 2021
Subject: Application for *Ontario Heritage Act* Approval
Address: 215 Main Street P18-420
File Number: P18-021-2021

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property with the municipal address of 215 Main Street is located on the westside of Main Street at the intersection of Main and Regent Streets and is designated under Part V of the *Ontario Heritage Act*.

Applications for alteration under Section 42 of the *Ontario Heritage Act* (P18-021-2021) have been submitted to request approval to construct a narrow deck/catwalk with railings on the south elevation of the house and to construct a rear deck with railings.

This application was deemed complete on April 15, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application on a heritage property under Section 42(4). This timeframe will expire on July 14, 2021.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

May 19, 2021

Page 2 of 8

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations/erection/demolition on the property at 215 Main Street, be approved in accordance with details described in the application (P18-021-2021), which was deemed completed on April 15, 2021 with said alteration to include:

1. The construction of a narrow deck/catwalk with railings on the south elevation of the existing house; and
2. The construction of a rear deck with railings; and

That the approval of the application be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
3. Lattice or other screening measures approved by Heritage Planning staff shall be installed beneath the raised narrow deck/catwalk to screen the open area and associated structural piers;
4. The owner is encouraged to additionally screen the area beneath the raised narrow deck/catwalk with plantings;
5. If the wooden gate to the rear yard is removed as part of the rear deck construction, the owner shall install lattice below the rear deck to screen the structural piers and open space;
6. The narrow deck/catwalk with railings as well as the rear deck railings visible from Regent Street shall be painted to match the existing side covered porch; and
7. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Planning Services for review and approval.

May 19, 2021

Page 3 of 8

Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Corporate Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required

May 19, 2021

Page 4 of 8

Options/Discussion:**Description of Application/Background**

The subject property at 215 Main Street is located on the northwest corner of Main and Regent Streets. The property contains a two-storey frame house, which was constructed in the late 19th century. The property is designated under Part V of the *Ontario Heritage Act* through By-Law Number 37-79 as amended by By-Law Number 17-80 as part of the Barriefield Heritage Conservation District.

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-021-2021) has been submitted to request approval to construct a narrow deck/catwalk with railings on the south elevation of the house and to construct a rear deck with railings. The owner of the house wishes to construct a deck in the rear yard and to have relatively level access from the existing covered porch to the rear deck. As such, they wish to construct a narrow deck/catwalk that connects the existing covered porch to the new rear deck. It is worth noting that Section 5.2 of the Village of Barriefield Heritage Conservation District Plan provides a list of alterations that may be carried out without obtaining a heritage permit, and that this list includes the installation or removal of porches, verandahs and decks located within a rear yard. In this instance, the height of the rear yard deck on the southern side requires the installation of handrails in accordance with the Ontario Building Code and as such these railings will be visible from Regent Street. Accordingly, an Heritage Act approval is required to assess the impact of this alteration on the cultural heritage value of the property and the HCD. Hand railings will also be required on a portion of the narrow deck/catwalk. Supporting information including drawings and photographs have been prepared by the applicant/agent, Andrew Oomen and are included as Exhibit B of this Report.

This application was deemed complete on April 15, 2021. The Ontario Heritage Act provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on July 14, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The property was designated under Part V of the *Ontario Heritage Act* in 1980 through By-Law Number 37-79 as amended by By-Law Number 17-80 under Part V of the *Ontario Heritage Act* as part of the Barriefield Heritage Conservation District (HCD). The Village of Barriefield HCD Plan was most recently amended in 2016 through By-Law Number 2016-173. The HCD Property Inventory notes that the subject property is Heritage in the District.

Constructed in the late 19th century by local builders William and Frederick Allen for then owner George Medley, 215 Main Street has historical value as a vernacular frame design representative of the late 19th century Allen brothers construction in Barriefield. Some of its

May 19, 2021

Page 5 of 8

heritage attributes include its two-storey massing, front gable plan with rear wing, return eaves, gable singles and bargeboard, two bay façade, frame construction, evenly spaced rectangular window and door openings on front façade and gable porch.

The Statement of Cultural Heritage Value for the Barriefield HCD and the property inventory sheet for the subject property have been included as Exhibit C.

Cultural Heritage Analysis

Staff visited the site on April 21, 2021. Given the corner lot location of the subject property, the rear deck and associated handrails and the narrow deck/catwalk will be visible from Regent Street. However, given the narrow width of Regent Street south of Main Street and that it is for all intents and purposes, a dead end street (i.e. the only through-fare south of Main Street is Sherman's lane running south from Regent Street), the south elevation of 215 Main Street, is relatively tucked away and not a prominent location within the context of the village. There are no specific guidelines in the HCD Plan for rear decks as they are listed as being exempt from the heritage approval process in Section 5.2. There are also no explicit policies or guidelines that address the design of the narrow deck/catwalk given that there is not an historic precedent for raised narrow side decks in the Village of Barriefield, but rather a tradition of covered side porches, as currently exists on the subject property. Nevertheless, the most relevant and applicable policies and guidelines in the HCD Plan include Section 4.2.4 Entrances and Section 4.7.1 Fencing, walls and steps.

Section 4.2.4 Entrances, as the name implies, addresses entrances, primarily, historic entrances such as porches and verandahs in the District. Nonetheless, Policy c) states that "the design and construction of a new entrance and/or porch is required to be compatible with the heritage character of the building and heritage value of the District..." and Policy e) advises that wood is a traditional material in the District and must be used in porch construction on the Public Façade(s). The proposed design, although not entirely traditional in its layout (i.e. a narrow deck connecting the traditional enclosed porch to the rear deck) will be constructed in wood and painted, and the handrails will be designed to match those on the existing covered porch. As a result, the appearance and aesthetic of the narrow deck/catwalk will be more traditional in character, and therefore more compatible with the heritage character of the late 19th frame house. Additionally, the location of the narrow deck/catwalk is adjacent to a much later addition to the property (circa 1990s), which helps to distinguish the more contemporary design intervention from the late 19th century frame house. The only portion of the proposed rear deck that will be visible from Regent Street are the railings that are required by the Ontario Building Code. Accordingly, these will be designed to match the railings on the existing covered porch and painted to match.

Section 4.7.2 Fencing, walls and steps references the use of historical photographs and documentation to guide landscaping related to new walls, fences and steps. It also speaks to landscaping components, such as ornamental fences or shrub hedging as a means of screening garbage storage areas. Though somewhat unrelated, these guidelines can be used to inform the design of the narrow deck/catwalk. A Heritage Kingston Committee member commented on

May 19, 2021

Page 6 of 8

the uncharacteristic visibility of the area beneath the raised deck, including the prominence of the structural piers. Accordingly, the applicant has agreed to install lattice as found on the existing covered porch to screen this area and the piers. Staff have also included a condition encouraging the owner to additionally screen this area with plantings.

Staff have assessed the impact of the narrow deck/catwalk and rear deck handrails on the cultural heritage value and attributes of the Village of Barriefield Heritage Conservation District and find that the mitigation strategies proposed for the proposal (i.e. painted wood construction and screening the underside of the raised deck/catwalk) will conserve the cultural heritage value and attributes of the District. The proposed narrow deck/catwalk with railings and rear deck with railings will maintain the heritage character and attributes of the vernacular frame design of the house, which is a heritage attribute of the District.

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries’ Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 6 (Reversibility): Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration; and
- Achieve Standards 12 of Parks Canada’s Standards and Guidelines, which directs one to “Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future”.

Previous Approvals

P18-056-2019EA Roof replacement (grey metal)

P18-025-2010 Repair and restoration of five sash windows, fascia, new eavestroughs

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Planning Services: The subject property is designated as Residential on Schedule 3-A Land Use of the Official Plan and zoned R2-1 in Zoning By-Law Number 32-74. The proposed

May 19, 2021

Page 7 of 8

deck/catwalk on the south elevation and the rear deck on the west elevation of the property comply with the relevant minimum yard setbacks.

Building Division: Building acknowledges that there is an open permit application subject to review. File Number fD30-0214-2021. A permit is required for this application.

Utilities Kingston: Utilities Kingston has no issues or concerns with this application.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit E.

Responding members provided suggestions for the redesign of the narrow deck/catwalk including one option to remove the requirement of railings by stepping down to a walkway, and another to confirm the functionality of the proposal.

A member shared concerns regarding the visibility of the area beneath the elevated narrow deck/catwalk, particularly the structural piers, given that this is not characteristic of the District. Staff have confirmed that lattice will be used, as on the existing covered porch, to screen the area beneath including piers. Staff have also included a condition of the approval that encourages the owner to further screen this area with plantings.

Lastly, a member commented that it is important to ensure the use of appropriate materials. Staff can confirm that the narrow deck/catwalk and the rear deck will be constructed of wood. The narrow deck/catwalk and railings visible from Regent Street on the rear deck will be painted to match the existing covered porch.

Conclusion

Staff recommends approval of the application File Number (P18-021-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

May 19, 2021

Page 8 of 8

Village of Barriefield Heritage Conservation District Plan

Notice Provisions:

Pursuant to Section 33(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant. As per Section 33(4)(b) of the *OHA*, notice of the decision must be served on the property owner and the Ontario Heritage Trust.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Alex Rowse-Thompson, Planner, Heritage 613-546-4291 extension 3251

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

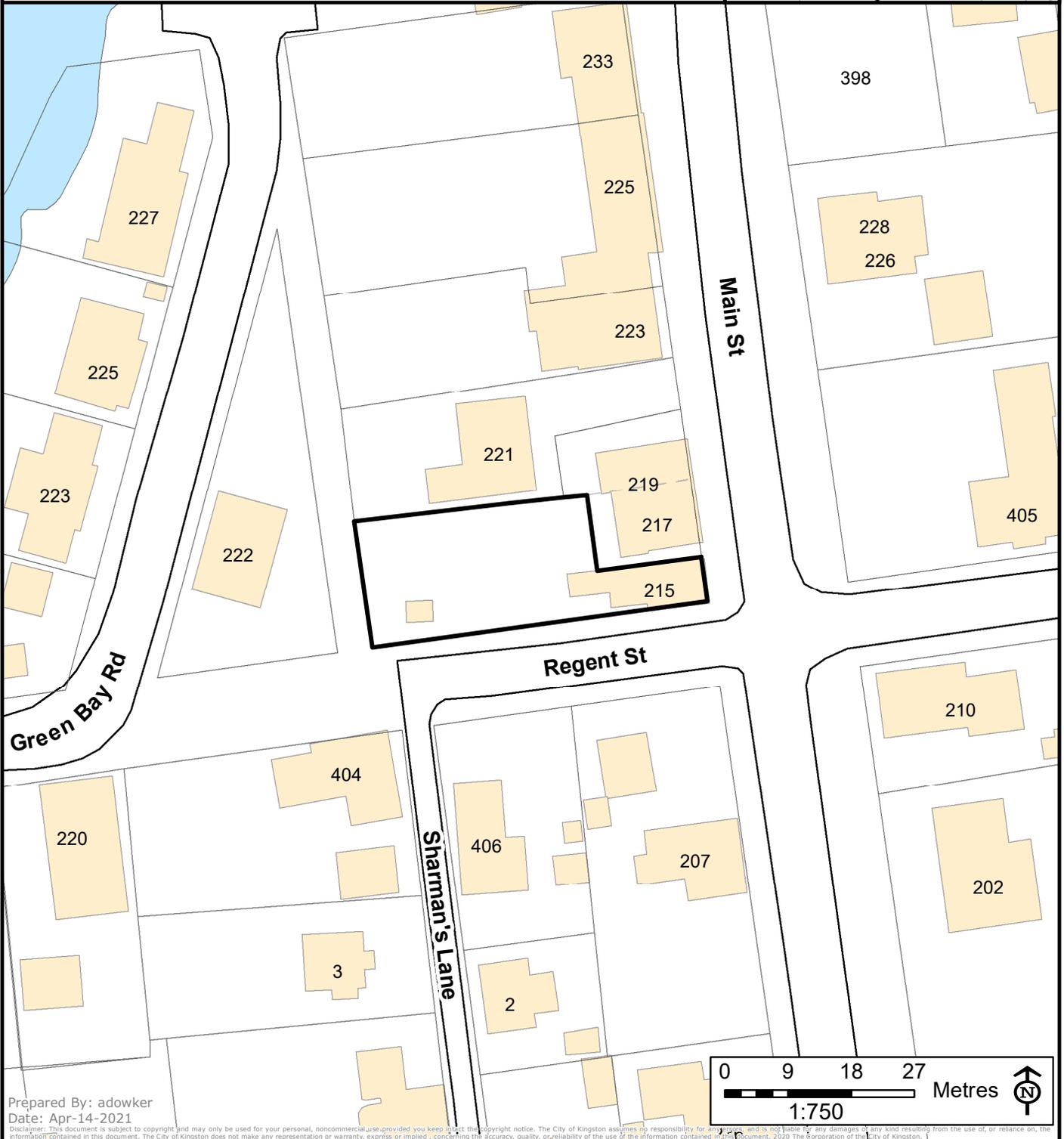
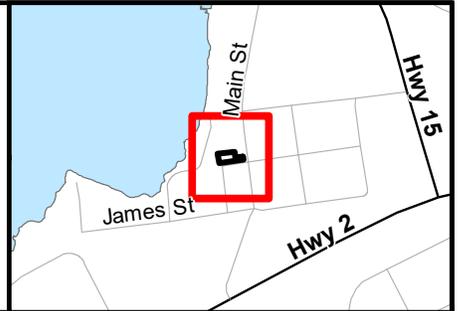
- Exhibit A Context Maps and Photographs
- Exhibit B Statement of Cultural Heritage Value & Property Inventory Evaluation Form
- Exhibit C Concept Plans, prepared by Andrew Oomen
- Exhibit D Correspondence Received from Heritage Kingston
- Exhibit E Final Comments from Heritage Kingston May 19, 2021



Heritage Kingston Committee Key Map

Address: 215 Main Street
File Number: P18-021-2021

 Subject Lands



Prepared By: adowker
Date: Apr-14-2021

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Heritage Kingston Committee
Neighbourhood Context (2020)

Address: 215 Main Street
File Number: P18-021-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: adowker
Date: Apr-14-2021

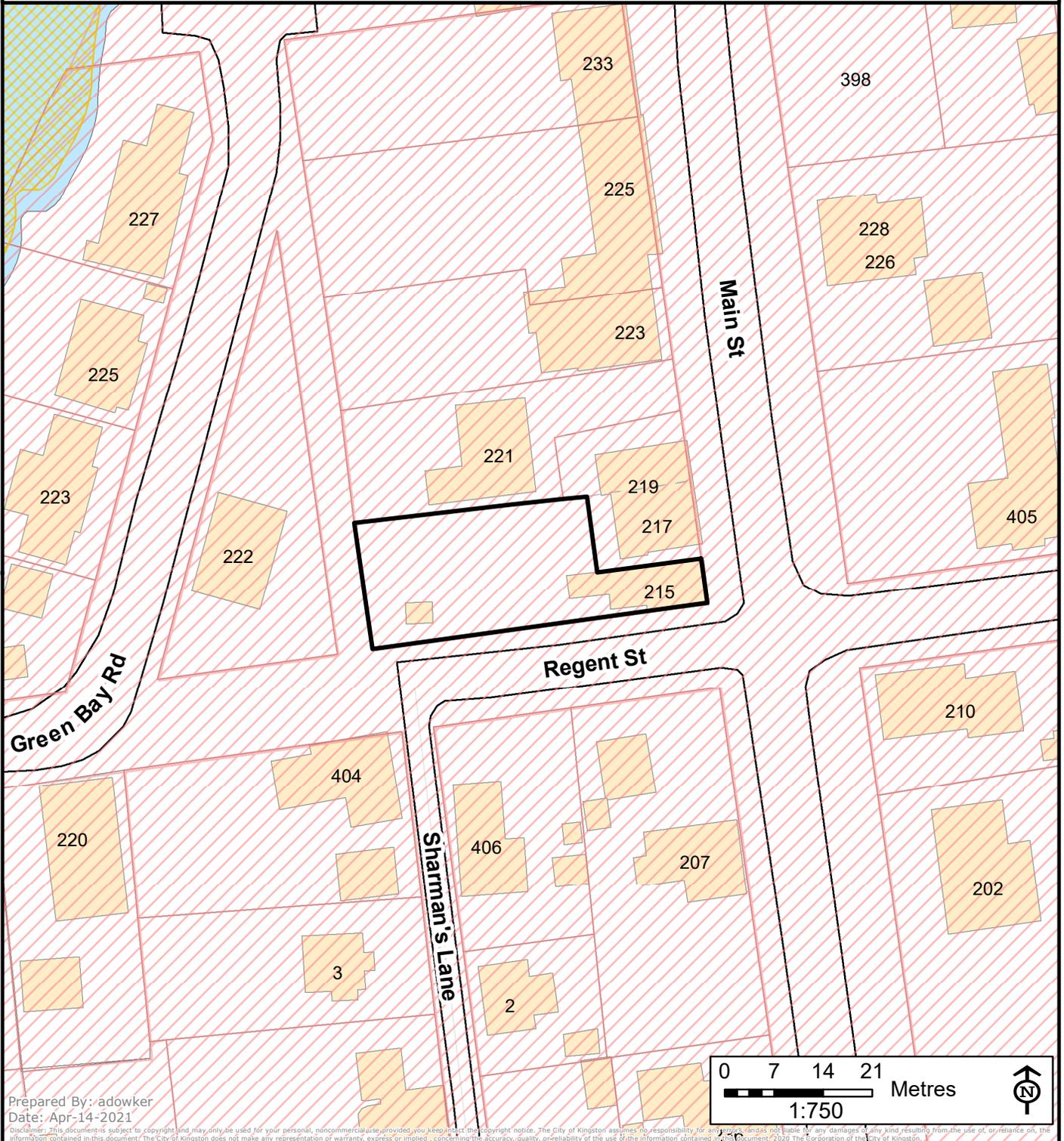
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Heritage Kingston Committee
City of Kingston Heritage Register

Address: 215 Main Street
File Number: P18-021-2021

- Subject Lands (Barriefield Heritage Conservation District)
- UNESCO World Heritage Site
- National Historic Site
- Designated Property



Prepared By: adowker
Date: Apr-14-2021

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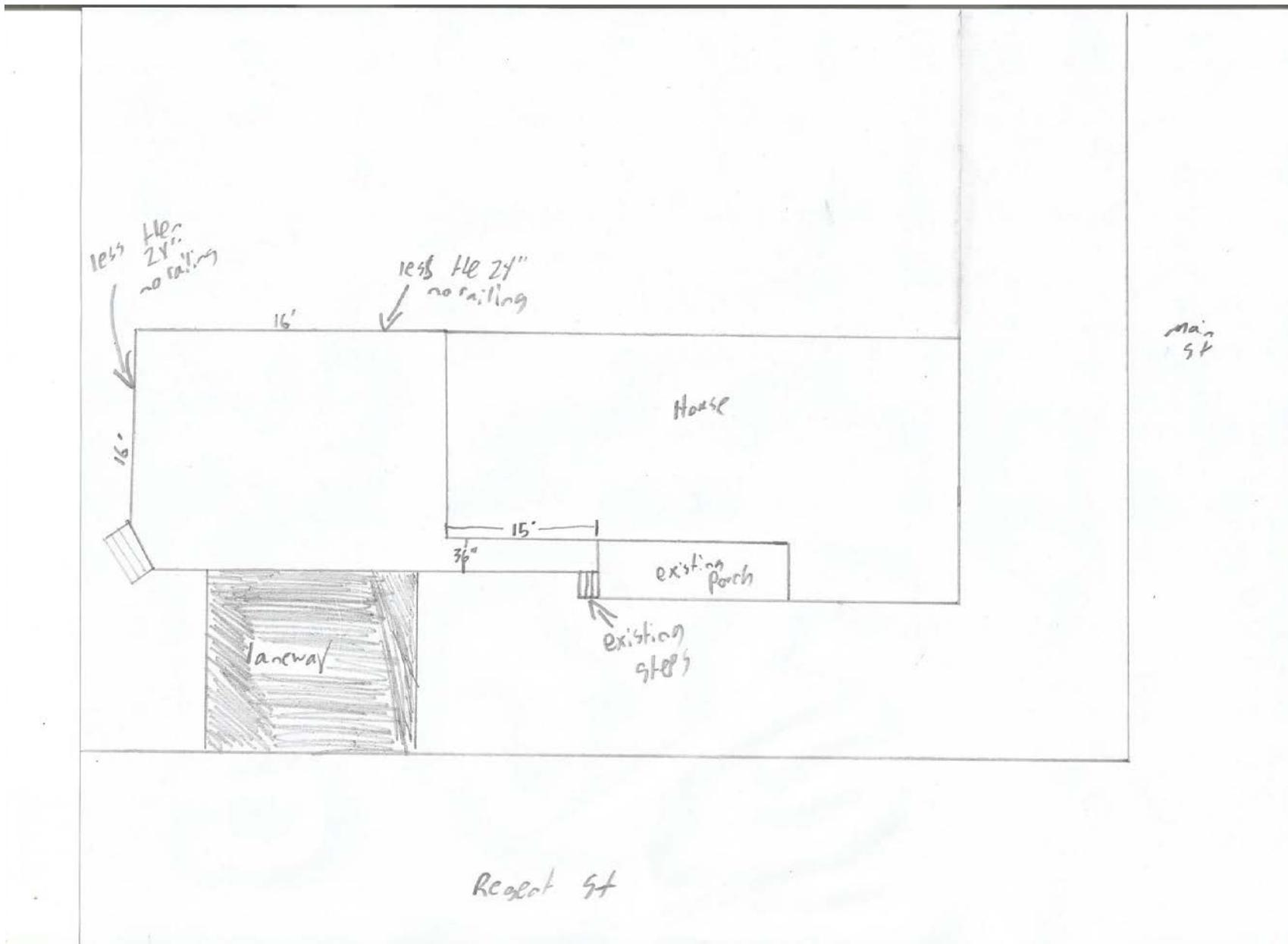
East and South Elevations

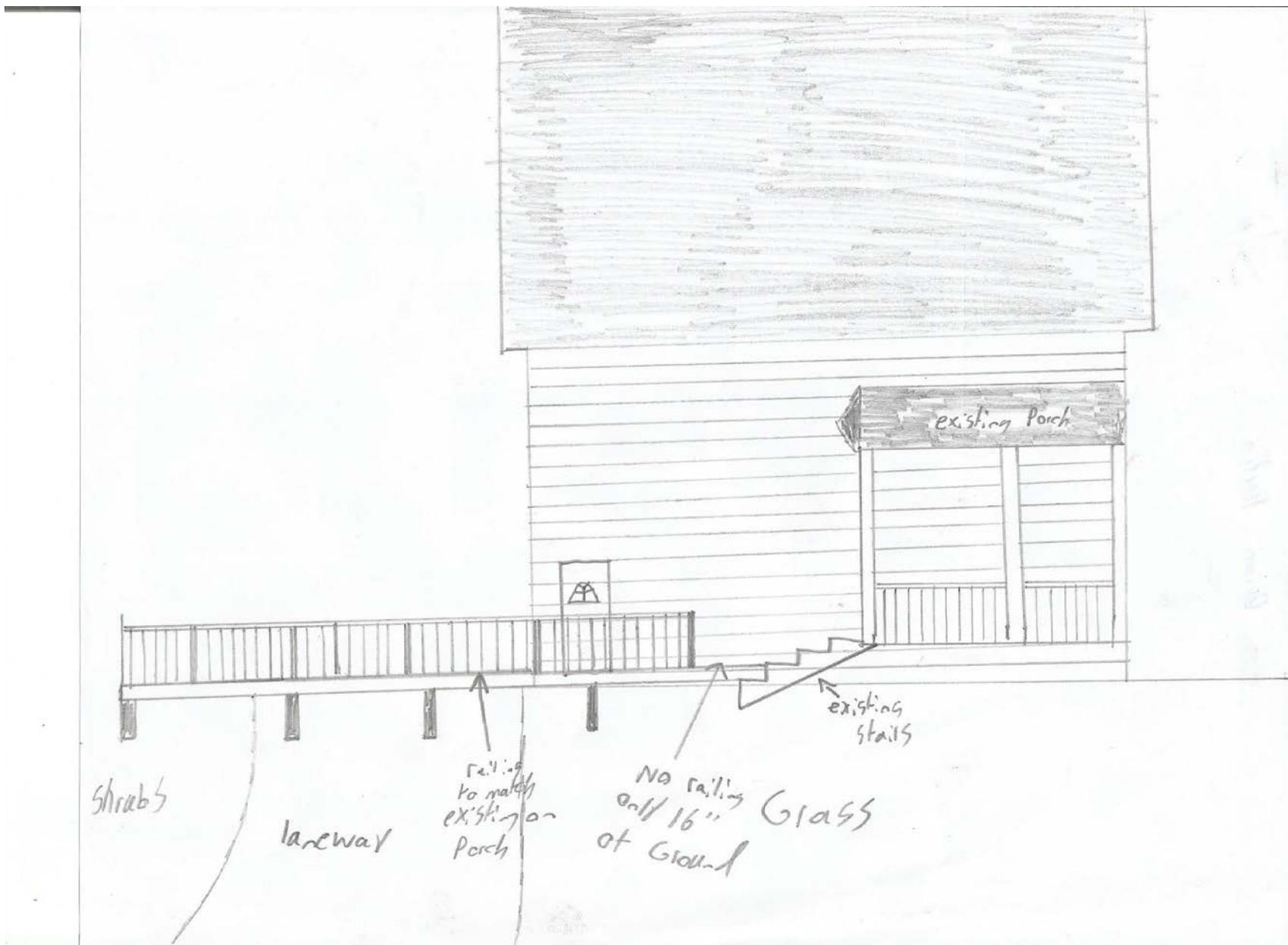


East Elevation



Looking north towards Main Street











2.0 Statement of Cultural Heritage Value and List of Cultural Heritage attributes

Background

The 1980 Heritage Conservation District Plan did not include a statement of cultural heritage value, as this was not a requirement of the *Act* at the time. However, the 1978 Heritage Conservation District Study contained a statement of “Historical and Architectural Significance” that identified a number of elements that contributed to the Village character, including the original grid pattern on which the Village was established, the resulting lot patterns, building setbacks, building size and scale, the architectural styles or influences, use of 19th century materials, views, and landscape elements (e.g. trees, lilacs, fences and stone walls, gardens, etc.).

The 1992 update to the Barriefield Heritage Conservation District Plan also did not include a formal statement of cultural heritage value or interest. The introductory “Statement of Intent”, contains the following text related to “heritage character”:

Council recognizes that: the Barriefield Heritage Conservation District comprises a unique ensemble of heritage buildings and landscapes that have resulted from a century and a half of many social, economic, natural and physical changes. This unique heritage character is to be conserved and protected in the process of change.

Section 2 of the 1992 Plan contains, within its introduction, several paragraphs that summarize the features that make up the district, including: a diverse range of properties dating from the early 19th to late 20th century; influence of several architectural styles; building materials; building type and size; modifications over time to the landscape; village setting; and archaeological resources/potential.

The Village of Barriefield was also listed on the Canadian Register of Historic Places in 2009. Inclusion on the Canadian Register is a means of listing historic places across Canada that have been recognized at the local, provincial and/or national level for their heritage significance. The statement of significance and list of character-defining elements in the Canadian Register of Historic Places that define Barriefield’s local heritage significance is included in **Appendix B** for information purposes.

Geographic Context

The Barriefield Heritage Conservation District is located in the City of Kingston, generally bounded by the Great Cataraqui River on its west side, Kingston Road 15 (known locally as Highway 15) on its east side, Highway 2 on the south, and the convergence of Main Street and Kingston Road 15 at its northern end. The District is an evolving cultural heritage landscape¹ comprised of a 19th century village that developed on a street grid, and now contains new streets, structures and landscape features while still retaining much of its 19th century village character and rural atmosphere.

Cultural Heritage Value

Barriefield has a long history of human activity, beginning with pre-contact aboriginal peoples, evidence of which has been uncovered through archeological finds, with the potential for additional archaeological resources along the bank of the Great Cataraqui River. In the early 19th century, Barriefield developed as an offshoot from the nearby naval dockyard at Kingston, with a townsite plan registered in 1814. Several of the streets have been named after military figures from the War of 1812, and the Village itself was named in 1820 for Commodore Robert Barrie of the naval dockyard. Barriefield continued to develop in the 19th century with houses for labourers of the nearby boat building industry, and associated taverns, mills, and services of a typical village. A traditionally shared open space area at the south-west intersection of Main and James Street, known as the Barriefield Common, was used for livestock pasturing, as well as a military training and social gathering space. The Pittsburgh Township Hall was constructed in the Village in 1886. From the turn of the 19th century to the mid-20th century, there was little new construction in Barriefield as the socio-economic conditions of the Village, Township and nearby Kingston continued to change. Some new construction occurred in the post-war period, including the J.E. Horton Public School and a small number of ranch style houses. Between the 1990s and present day, several new residences have been constructed along Main Street and on Green Bay Road, as well as other infill locations.

The 19th century building stock and some of the 20th century construction contribute to the character of the District. The Heritage buildings are primarily one to one and one half storey residential buildings, primarily constructed of stone or wood. They demonstrate influence of several architectural styles, including Georgian, Classical Revival, Gothic Revival and Ontario Vernacular. Most of the buildings have been altered over time, but the majority of alterations have been sympathetic to the heritage

¹ See Ministry of Culture Infosheet #2 – Cultural Heritage Landscapes (part of 'Heritage Resources in the Land Use Planning Process') for additional information on types of cultural heritage landscapes, and Ministry of Culture 'Heritage Conservation Districts' for additional information on types of heritage conservation districts.

character of the District. New construction, for the most part, has been compatible in scale with the Heritage buildings, and often reflects traditional design and materials. St. Mark's Church is the most prominent landmark of the Barriefield Heritage Conservation District, with significant uninterrupted views of its tower and roof from a distance along Kingston Road 15 across open vegetated areas. Historic views along Main Street, the historic transportation thoroughfare, are framed by the collection of built and natural features.

The setting and rural atmosphere of the Village contributes greatly to its heritage character. Its proximity to Fort Henry reflects its military history. The original street grid pattern from the establishment of the Village is still present, and has expanded over time as the Village has grown. It's not simply the domestic 19th century village that gives Barriefield its special character, but also the location of the village within a significant natural landscape comprised not only of the Great Cataraqui River bank but also the hilly slope to the Common (which historically formed the gateway to the village as it still does visually) and the grass/bush open areas to the east and north. The Great Cataraqui River provides a natural boundary on the west side of the District, and its vegetated banks with a variety of plant materials are an important part of the natural setting of the area. Other natural features in the area are part of the streetscape and domestic landscapes of individual properties, and include landscaped front yards, mature trees, rows of lilacs, and other plant materials. Many properties in the District feature low fences, stone walls or hedges that add to the rural atmosphere of the District. The construction of the Highway 15 by-pass (now Kingston Road 15) in the early 1980s created an eastern boundary to the District.

List of Cultural Heritage Attributes

The heritage attributes essential to defining and conserving the cultural heritage value and interest of the Barriefield Heritage Conservation District include the following:

- The setting on a high embankment adjacent to the Great Cataraqui River;
- Historic views within the District, including those down each street and those noted as significant historic views;
- Naturalized vegetation on the river embankment.
- Structures along the Great Cataraqui River that are evidence of the commercial and industrial past, including a working waterfront in Barriefield;
- Residential properties dating from the early 19th century to the mid-20th century;

- Built structures that reflect stylistic influences such as Georgian, Classical Revival, Gothic Revival, Victorian, and Ontario Vernacular;
- Institutional and commercial buildings that are small and limited in number and use;
- St. Mark's Church being located on a high point of land open to views from multiple directions;
- The rural village character as defined by the following attributes:
 - A grid network of narrow sloping streets and sidewalks, which established the original pattern of settlement within the Village.
 - Small lots with landscape features around homes creating defined yards;
 - Minimal setbacks of most buildings from the street;
 - A built form of primarily single-detached and semi-detached residential dwellings having a traditional range in height from one to two storeys;
 - Distinctive architectural features of the area, including primarily medium-pitched gabled roofs, and use of stone and wood siding as cladding materials, prominent front doors with or without porches;
 - Consistent building scale and mass; and
 - Simple rectangular window and door openings with minimal decorative detailing.



Photos 1 & 2: *Examples of historic built form within the District.*

Name: George Medley House

Address: 215 Main Street

Property Number:
1011090090046000000

Lot: PLAN 51 PT LOT B RP
13R5604;PART 1



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	William and Frederick Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two
Roof Type:	Front gable
Building Height:	Two storey
Alterations:	Rear wing addition (pre-1992), one storey shed roof addition constructed behind two storey rear wing (pre-1992), house and trim repainted (1992), five sash windows, fascia and eaves troughs restored, repaired and replaced (2010-2011)
Landscape/setting:	Corner lot, lawn, mixed shrubs
Heritage value:	Heritage

Description of Historic Place:

The George Medley House is located at the northwest corner of Main Street and Regent Street in the Barriefield Heritage Conservation District. The property contains a two storey front gable two bay frame house constructed by the Allen brothers in the late 19th century.

Heritage Value:

Constructed by local builders William and Frederick Allen for George Medley in the late 19th century, this two story frame house sits on the northwest corner of Regent and Main Streets. It is very similar in detailing to its neighbour 217 Main Street which was also built by the Allen Brothers for George Medley during the same period.

The building consists of a rectangular shaped main block facing Main St. and a rear wing - which is a later addition - facing onto Regent Street to create an "L" plan. Both the main block and the rear wing have high pitched gable roofs. A full width front gable dominates the Main St. facade of the primary block. The gable detailing consists of a variety of decorative wooden shingle designs and a simple solid bargeboard with decorative rosettes and return eaves. A single row of dentils are located immediately below the decorative shingles.

The main section sits on a coursed rough-faced limestone foundation and is clad in shiplap siding with accenting cornerboards. The side front entrance has a small gable portico which consists of turned supporting posts and separate semi-circular arches fixed between each post as a decorative element. The window sash consist of typical late 19th century 2/2 lights. An early historical photograph shows that a number of windows had exterior louvred shutters on the main block.

The rear wing is also clad in shiplap siding. It has a one storey hip roof side porch with plain squared supporting posts with a plain square balustrade and hand rail on the south elevation. A one storey shed roof addition has recently been-constructed behind the two storey rear wing.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative of late 19th century Allen brothers construction in Barriefield

Elements that define the architectural value of the property include:

- Two storey massing
- Front gable plan with rear wings
- Return eaves, gable shingles and bargeboard
- Two bay facade
- Frame construction
- Evenly spaced rectangular window and door openings on front facade
- Gable porch

Elements that define the contextual value of the property include:

- Close setback to street
- Prominent location at Main and Regent Streets
- Orientation to Main Street

Heritage Kingston

Summary of Input from Technical Review Process

P18-014-2021

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Bridget Doherty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councilor Gary Oosterhof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Banfield	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Mitchell	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Moya Dumville	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	April 17, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	New Construction
File Number:	P18-021-2021
Property Address:	215 MAIN ST

Description of Proposal:

The subject property at 215 Main Street is located on the northwest corner of Main and Regent Streets in the Village of Barriefield. The subject property is designated under Part V of the Ontario Heritage Act as part of the Village of Barriefield Heritage Conservation District. The applicant is seeking heritage approval to remove a small rotten stoop at the southwest corner of the house (facing Regent Street) and to construct a new stoop and catwalk connecting the existing covered porch along Regent Street to a new rear deck. The deck and railings along the Regent Street elevation will be designed and painted to match the existing covered porch. The rear deck will be left unpainted.

Comments for Consideration on the Application:

No significant concerns, but the applicant might wish to consider a couple of comments. The drawings show that the existing porch steps will be reduced in width. If so, a railing would need to be added where the porch overhangs the catwalk and along the house side of the steps. This seems awkward when going from catwalk to porch, and a better arrangement might be to instead have steps with the width of the catwalk running up to the porch, with the railing moved in to flank the steps. A step from the stone path to the catwalk could then be provided where convenient. Another comment is that the rear deck is surprisingly large, and there might be a more desirable balance between lawn area and deck area.



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

Date:	April 19, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	New Construction
File Number:	P18-021-2021
Property Address:	215 MAIN ST

Description of Proposal:

The subject property at 215 Main Street is located on the northwest corner of Main and Regent Streets in the Village of Barriefield. The subject property is designated under Part V of the Ontario Heritage Act as part of the Village of Barriefield Heritage Conservation District. The applicant is seeking heritage approval to remove a small rotten stoop at the southwest corner of the house (facing Regent Street) and to construct a new stoop and catwalk connecting the existing covered porch along Regent Street to a new rear deck. The deck and railings along the Regent Street elevation will be designed and painted to match the existing covered porch. The rear deck will be left unpainted.

Comments for Consideration on the Application:

Staff to keep a close watch on materials used to ensure they are correct for the District.

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

where history and innovation thrive

Date:	April 19, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	New Construction
File Number:	P18-021-2021
Property Address:	215 MAIN ST

Description of Proposal:

The subject property at 215 Main Street is located on the northwest corner of Main and Regent Streets in the Village of Barriefield. The subject property is designated under Part V of the Ontario Heritage Act as part of the Village of Barriefield Heritage Conservation District. The applicant is seeking heritage approval to remove a small rotten stoop at the southwest corner of the house (facing Regent Street) and to construct a new stoop and catwalk connecting the existing covered porch along Regent Street to a new rear deck. The deck and railings along the Regent Street elevation will be designed and painted to match the existing covered porch. The rear deck will be left unpainted.

Comments for Consideration on the Application:

In its present form this application does not seem to conform to Barriefield Heritage Conservation District Plan 4.7.2 & 4.7.3. and the raised catwalk on exposed piers as shown on the drawing will detract from the Regent streetscape. If the catwalk remains at the proposed height the piers and open area below the catwalk would need screening to make the view of this current proposed construction less of a detraction on the Regent streetscape.

If the applicant wishes to have a wooden walkway to connect the main side door stairs to the deck and westernmost side door, then a wooden walkway at grade placed on sleepers with a few steps up to the back deck and door would be much more suitable. In addition this would eliminate the need to cover the exposed proposed piers and possibly, depending on final design and building code compliance, reduce the need for some of the railings along Regent St.

Recommended Conditions for the Application:

Summary of Final Comments at May 19, 2021 Heritage Kingston Meeting

Mr. Taylor expressed concern with the lack of detailed drawings to show the vertical distance between the porch and the catwalk, how many steps are required, whether handrails are required, and other dimensions to accurately represent what the final result would be. He indicated that he could not provide his support to the application without adequate drawings to demonstrate what the final appearance of the porch will be.

Mr. Mitchell spoke to the intangible heritage of the property and how the proposed changes would make the property more usable and more accessible. He noted the condition of the existing porch and indicated that the proposed porch will be an improvement to the heritage, allow residents to age in place, eliminates certain barriers and he trusts that the finished structure will meet the Building Code as required.

Ms. Demitor commented that detailed drawings are not required for a project of this scope noting that what was received from the applicant provides sufficient information to support the application.

Councillor Doherty indicated that it would be helpful to have more measurements to understand the proposed alterations; however, the applicant's responses demonstrate that the intent is to improve what is existing on the property. She stated that the Committee's role is to ensure there will be no negative impacts on the heritage aspects of the property and further noted her support for the application given that no negative impacts are apparent.



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-022**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Jennifer Campbell, Director, Heritage Services
Date of Meeting: May 19, 2021
Subject: Application for Heritage Permit
Address: 73 Gore Street P18-945
File Number: P18-014-2021

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property with the municipal address of 73 Gore Street is located on the northeast side of Gore Street and is designated under Part V of the *Ontario Heritage Act*.

Applications for alteration under Section 42 of the *Ontario Heritage Act* (P18-014-2021) have been submitted to request approval to construct a two-storey rear addition on the existing two-storey house; to re-paint the brick masonry on the existing house; to re-point brickwork on the existing house as needed; and to re-locate a window from the second floor of the east elevation (rear) to the second floor of the side elevation (north).

This application was deemed complete on April 8, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on July 7, 2021.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

May 19, 2021

Page 2 of 12

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations to the property at 73 Gore Street, be approved in accordance with details described in the application (P18-014-2021), which was deemed completed on April 8, 2021 with said alterations to include:

1. The construction of a two-storey rear addition;
2. The re-painting of the brick masonry on the existing house;
3. Minor re-pointing of brickwork on the existing house as needed; and
4. The relocation of a window from the second floor of the east elevation (rear) to the second floor of the side elevation (north); and

That the approval of the alterations be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. All *Planning Act* applications shall be completed;
3. A Tree Permit to address tree preservation requirements for the city owned tree in the front (southwest) yard, shall be submitted;
4. An ISA Certified Arborist shall be retained to advise on whether any measures are required to protect the adjacent mature tree at 67 Gore Street during and/or after construction of the addition;
5. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
6. Details of all new windows and doors shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
7. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
8. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
9. The stone sill on the second-floor window on the east elevation shall be retained and new in-fill brickwork shall be set back sufficiently from the exterior wall to indicate the historic location of the window;
10. The bricks for the in-fill of the window shall match the dimensions of the existing brickwork;
11. A stone sill to match the existing stone sills shall be included in the design of the new window opening on the second floor of the north elevation;
12. Details related to the colour(s) of the siding and trim on the rear addition and the painted brickwork on the existing house, shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property; and

May 19, 2021

Page 3 of 12

13. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Planning Services for review and approval.

May 19, 2021

Page 4 of 12

Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Corporate Services	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Sheila Kidd, Commissioner, Transportation & Public Works	Not required

May 19, 2021

Page 5 of 12

Options/Discussion:**Description of Application/Background**

The subject property is located at 73 Gore Street. The property contains a two-storey brick house, which was constructed circa 1890-1892. The property is designated under Part V of the *Ontario Heritage Act* through By-Law Number 2015-67 as part of the Old Sydenham Heritage Conservation District.

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-014-2021) has been submitted to request approval to construct a two-storey rear addition on the existing two-storey house; to re-paint the brick masonry on the existing house; to re-point brickwork on the existing house as needed; and to re-locate a window from the second floor of the east elevation (rear) to the second floor of the side elevation (north).

Supporting information including a written description, concept plans and a perspective drawing have been prepared and submitted by the applicant and agent, Mac Gervan, as Exhibit B of this report. The two-storey addition is proposed to accommodate new living space on the first floor and a master bedroom on the second floor. The addition will build up from the existing one-and-a-half storey addition, which was designed by Gary Bean, who was working for Inglis and Downey and constructed by Mac Gervan in 1990. At the same time as constructing the addition, the applicant wishes to carry out repairs to the existing house including minor re-pointing to address evidence of water ingress and re-painting of the brickwork.

This application was deemed complete on April 8, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on July 7, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The property was designated under Part V of the *Ontario Heritage Act* in 2015 as part of the Old Sydenham Heritage Conservation District (HCD) through By-Law Number 2015-67. The HCD Property Inventory notes that the subject property is Significant to the District.

The Property Inventory Form describes the building as follows:

"The design, massing, setback and composition of this building are appropriate to the Gore Streetscape. Its design attributes include its flat façade, brick composition, regular fenestration, ashlar window sills, and its front gable roof."

The full description and evaluation have been included as Exhibit C.

May 19, 2021

Page 6 of 12

Cultural Heritage Analysis

Staff visited the subject property on March 10, 2021. The existing rear addition is not visible from Gore Street, nor is it a heritage attribute of the property. In assessing the potential impact of the proposed addition on the cultural heritage value and attributes of the Old Sydenham HCD, staff have reviewed the proposal primarily against Section 5.2.2 Additions and Section 5.4 Additions to Heritage Properties. The design (form and detail) of the proposed addition is complementary to, but clearly distinguishable from, the main building. A pitched roof form is proposed that matches the height of the ridgeline of the existing house. The proposed cladding, which includes painted vertical wood siding and painted vertical fibre cement board, complies with the policies in Section 5.3.3. The use of painted fibre cement board as the cladding materials will provide a visual distinction from the painted brick walls of the original building. Although Section 5.3.3 states that horizontal siding is preferable to a board and batten design, the proposed vertical channel siding, also known as “reverse board and batten” provides a simple and clean aesthetic and except for the east wall where fibre cement board is being used for its non-combustible properties, wood, a traditional historic material, is proposed. For the roofing, plain black shingles are proposed, which comply with the guidelines in Sections 4.3.2 and 5.3.1.

The new windows are proposed to be fibreglass multi-pane casement windows with muntin bars that are applied to the exterior of the glazing (as opposed to internally). The doors are proposed to be either wood, aluminum clad wood or fibreglass. These options all provide a high-quality design and staff have included a condition requiring confirmation of the finalized door designs. The Old Sydenham HCD Plan does not provide policies for the design of new windows in new additions; however, as proposed, the windows and doors appear to align with the intent of Section 5.3.2 which addresses windows in heritage buildings and with the intent of the City’s Policy on Window Renovations in Heritage Buildings.

The proposed height of the new addition at 7.52 metres matches the height of the existing house. The applicant has submitted a perspective drawing demonstrating that the new addition will not be visible from street level along Gore Street. Sections 5.2.2 advise that additions should be clearly secondary in terms of size and that the height of an addition should be no more than that of the main building and, preferably, lower, in order to clearly distinguish it from the original building. Section 5.4.1 advises that rear addition roof ridgelines should not exceed the existing building roof ridgeline. The HCD guidelines provide clear guidelines regarding the height of rear additions, but also language that allows for some professional judgement. The use of “should” means that in most situations, height of additions will need to be lower than the original; however, there may be some cases where the goal of the policy (to ensure the original heritage building remains most prominent) can be achieved with an addition that is the same height or even taller. In this instance, with a large setback from the street, the proposed addition at the height of the existing house, will not be visible from the public realm. Nonetheless, staff have reviewed the heritage attributes of both the District and the sub-area to assess any potential impacts of the proposed rear addition.

May 19, 2021

Page 7 of 12

73 Gore Street is located within the North to Bagot sub-area. Staff have not identified any impacts of the rear addition to these attributes through their review.

Heritage attributes of this sub-area include:

- Buildings that form a strong street edge;
- Prominent residential and commercial buildings at street corners;
- Buildings and building groups associated with the work of prominent Kingston architects that display a high degree of craftsmanship and design merit;
- Views to the lake down each cross street;
- Views of City Park and Macdonald Park;
- Boulevards with mature tree and shrub landscape planting shading sidewalk and street;
- Surviving examples of historic landscape features such as stone walls, iron fences, laneways, and street furniture (including the last gas streetlamp at Lower Union and King Streets);
- Areas of archaeological potential and significance; and
- Street trees forming canopies along streets and gateposts at intersections.

Staff also reviewed the heritage attributes of the District, which include the following, and found no negative impacts:

- Varied ages, styles and types of buildings, with both vernacular and architect-designed examples of over two-centuries of architectural styles;
- A compact scale comprised of street width, building height (predominantly 2-3 storeys) and setback;
- The presence of landmark civic properties (school, courthouse/registry office, churches) integrated within a residential neighbourhood and dominating skyline;
- Prominent buildings at street corners;
- Views down streets to the lake, to the park and to the downtown;
- An irregular street grid that offers continuously changing views;
- Trees lining the street and dominating rear yards;
- Surviving examples of historic landscape elements such as periodizing planning layouts, walls, fences and street furniture;
- Presence of National Historic Sites and portions of a World Heritage Site;
- A generally high standard of care for buildings and landscapes;
- Proximity to downtown, major institutions and the lake; and
- Physical evidence and historical associations with every stage of Kingston's history.

Following a review of both the District's and sub-area's heritage attributes, staff are confident that the proposed rear addition will not have a negative impact on the heritage attributes of either the District or the sub-area. However, given the close proximity of a mature tree in the rear yard of 67 Gore Street, staff have included a condition requiring a ISA Certified Arborist to advise on whether protective measures are required for the tree before and after construction.

May 19, 2021

Page 8 of 12

The previous design of this addition exceeded the height of the existing house and there were concerns expressed by Heritage Kingston members, including:

- That the design is not in keeping with the HCD guidelines;
- The original house being dominated by height and area by the modern construction;
- The setting of a dangerous precedent and cumulative impact of this type of development; and
- The impact on the experience of the District by adjacent neighbour's.

The design has now been revised to include a reduced height that matches the ridgeline of the existing house as well as a significantly reduced building depth and responding members are generally supportive.

This application also includes minor re-pointing and re-painting of the brickwork masonry on the existing house. According to the applicant, there is some evidence of water ingress on the front (west) elevation between the second floor windows and they anticipate the need for minor re-pointing in this area and possibly other areas once the brickwork has been cleaned for re-painting. The applicant also noted that the brickwork was not in a good condition in the 1990s when it was first painted. Both Heritage Planning staff and Heritage Kingston members commented that removing the paint, and repairing the brickwork, would be preferable to re-painting. However, the applicant does not currently wish to undertake this scope of work. Section 4.3.2 Exterior Walls advises that painting of previously unpainted brick or stone surfaces is not recommended and can result in trapping moisture in the wall assembly, the acceleration of masonry deterioration and maintenance cycles. In this instance, the brickwork was previously painted in the 1990s, and the re-painting of the brickwork has become a maintenance activity. The brickwork is currently painted a grey-green colour and the applicant is proposing a charcoal grey. A condition of this approval will include that a sample of the finalized colour choice for the brickwork be submitted to Heritage Planning staff to ensure that the colour does not overpower or overwhelm the architectural style of the existing house.

Lastly, this application proposes the re-location of a window on the second floor of the rear of the house (east elevation) to the second floor of the north elevation. This is due to the fact that with the construction of the new rear addition, the existing window will face the new exterior wall of the addition, just a few feet away. Section 5.3.2 Windows states that windows facing, or visible from, the street should not be altered and that new openings for windows should not be created on façades visible from the street. The window proposed to be in-filled is on the rear elevation of the existing house and not visible from the street. Although not visible from the street, Heritage Planning staff have included a condition that the existing stone sill be retained and that the in-fill brickwork should be set back sufficiently from the face of the exterior wall so as to maintain a visual indicator of the historical location of this window. The new window opening on the second floor of the north (side) elevation will be minimally visible, if at all, from Gore Street, as it is located at the termination of this elevation. Staff have included a condition requiring that a stone sill to be included in the design of the new window so as to complement the existing historic window openings and the architectural style of the house.

May 19, 2021

Page 9 of 12

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries' Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 6 and 7:
 - Reversibility – Alterations should allow a resource to return to its original conditions;
 - Legibility – new work to be distinguishable from old; and
- Achieve Standards 11 and 12 of Parks Canada's Standards and Guidelines:
 - 11. Conserve the heritage value and character-defining elements when creating new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place; and
 - 12: Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.”

Previous Approvals

None

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Planning Services: The subject property is designated 'Residential' on Schedule 3-A Land Use of the Official Plan and is zoned B in Zoning By-Law Number 8499. The subject property is a one-family dwelling and is permitted as an A zone use in the B zone, and as such is subject to the A zone provisions. The proposed rear addition appears to both exceed the maximum permitted residential building depth and not meet the minimum aggregate side yard. A Minor Variance application will be required.

Building Division: Building department acknowledges there is an active planning application (File Number - D00-035-2021) for the construction proposal; however, the applicant is advised of the following as it may relate to the Heritage application:

May 19, 2021

Page 10 of 12

- Spatial separations and construction of exposing building face to be considered. Elevation within 0.85 metres to the property line is to conform to the construction requirements of OBC 9.10.15.5.
- New openings less than 1.2 metres from the property line are required to be protected. (not sure if the skylights are new and the location of them in relation to the property line).

Environment Division: We have no concerns with the additional residential development at existing residential uses. In order to protect workers and the public the proponent should be notified that in accordance with Section 30 of the *Ontario Occupational Health and Safety Act*, Designated Substances and other potentially hazardous building materials must be identified prior to renovation, construction or demolition that may disturb such materials. All designated substances present must be identified to contractors in advance of the initiation of the subject work as defined in the Act.

Forestry Division: Applicant will be required to apply for a Tree Permit to address tree preservation requirements for the city owned tree in front. The front yard area is not to be used as a staging area for materials, equipment, vehicles, etc. The requirements for tree preservation will eliminate this area for staging. Applicant may apply through DASH. 2.0 metre high plywood hoarding shall be the fencing material used for the tree preservation area.

Utilities Kingston: If increasing the gas load a Gas Load summary should be filled out and submitted to a Utilities Kingston Service Advisor as well as provided with the application. The applicant is encouraged to contact the Utilities Kingston Conservation Department to discuss their development and inquire as to whether there are any water and gas conservation incentives and energy saving options available.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit D.

Responding members provided that the revised design was more in-keeping with the Old Sydenham Heritage Conservation District Guidelines and were supportive of the reduction in building height and depth.

Two members commented that the applicant should investigate the removal of paint from the brickwork on the existing house and that this would be preferable to re-painting. One member commented that if re-painting the brickwork, then a historic approach would be to paint the brickwork a colour that matches a traditional brick colour. Staff have addressed comments relating to re-painting of the brickwork in the cultural heritage analysis section above. One member also commented that metal siding is not supported by the District Plan. The applicant has confirmed that they will be using painted fibre cement board to clad the addition.

In response to the first submission, one Heritage Kingston member raised the issue of protecting the adjacent mature tree in the rear yard of 67 Gore Street during construction. This

May 19, 2021

Page 11 of 12

comment continues to have relevance with regards to the revised design and as such Staff have included a condition regarding the retention of an ISA Certified Arborist to advise on the protection of this tree given that “trees lining the streets and dominating rear yards” is listed as a heritage attribute of the District.

Conclusion

Staff recommends approval of the application File Number (P18-014-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

Old Sydenham Heritage Conservation District Plan

Designating By-Law Number 2015-67

City’s Policy on Window Renovations in Heritage Buildings

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Alex Rowse-Thompson, Planner, Heritage 613-546-4291 extension 3251

May 19, 2021

Page 12 of 12

Other City of Kingston Staff Consulted:

None

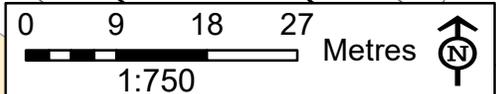
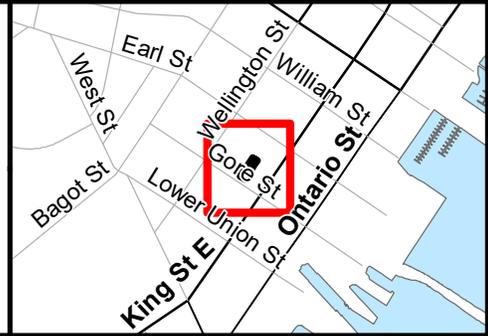
Exhibits Attached:

- Exhibit A Context Maps and Photographs
- Exhibit B Supporting Information, prepared by Mac Gervan
- Exhibit C Old Sydenham HCD Property Inventory Form
- Exhibit D Correspondence Received from Heritage Kingston
- Exhibit E Final Comments from Heritage Kingston May 19, 2021



HERITAGE KINGSTON COMMITTEE
Key Map
Address: 73 Gore Street
File Number: P18-014-2021

 Subject Lands



Prepared By: Ichu
Date: Mar-09-2021

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HERITAGE KINGSTON COMMITTEE
Neighbourhood Context (2020)
Address: 73 Gore Street
File Number: P18-014-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels



April 7/21

HERITAGE APPLICATION – 73 GORE STREET

Alex Rowse-Thompson
Heritage Planner
City of Kingston

Dear Alex,

Following is a letter to accompany our application for this addition on a Part V building.

- The original building was probably built about 100 years ago? I built the existing addition, for the then owner, Dr Judy Durrance around 1985. Gary Bean, who worked with Inglis and Downey Architects, designed the addition. So the rear existing addition with it's board and batten siding has no particular heritage value. Also it is difficult to see the back addition from the street. We painted the brick on the original structure at the same time.
- The owners would to make a modest extension to create more living space
 - We would like to repaint the brick a dark grey to charcoal
 - we would like to leave the sash white and paint the window trim a complementary dark colour to go with the brick colour
 - we need to do a small amount of repointing to stop some leakage.
 - Remove all existing siding and make all siding uniform...vertical in steel or hardy board, as the finish needs to be fire resistant...in the same tones as the new brick colour, but lighter, so the original home will still stand out on it's own.
 - On the back of the original there is a two story section and then a one story section.
 - We propose to add a second story to the side entrance and on top of the one story section
 - We propose to add an extension on the living room to the west..one story with an open deck above from new master suite
 - We propose to go 2' 5" beyond the back wall to give us space needed
 - We originally had proposed to move back 18 1/2', but have scaled back
 - we will remove part of the back deck for construction but ultimately it will be 2' 5" shorter
 - We have lowered the pitch of the back addition to keep the peak the same height as the original structure
 - We will match the existing roofing
 - new windows will be Marvin fiberglas with SDL's or equivalent
 - We will removing the window in the back bedroom of the original home as it will now look at a wall a few feet in front...and move the window to the south side of the bedroom..

Again, it is very difficult to see any or much of the back addition and I think this shorter, more compact version is a better fit....

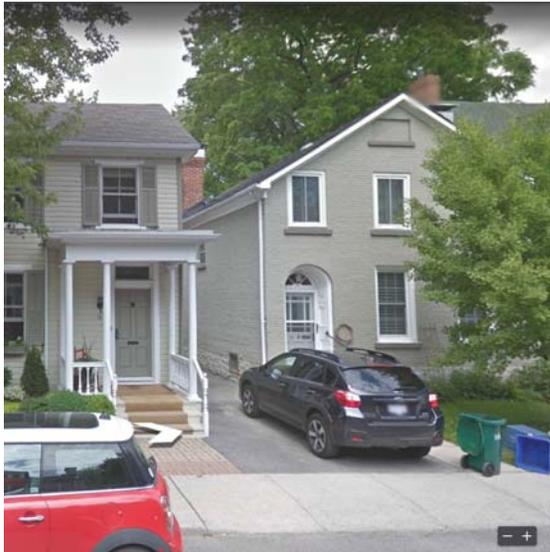
I hope you find this proposal to be acceptable...

Yours Sincerely



Mac Gervan

Mac **GERVAN**
& Associates Ltd.



Limited view from Gore Street to the rear addition at west side of house.

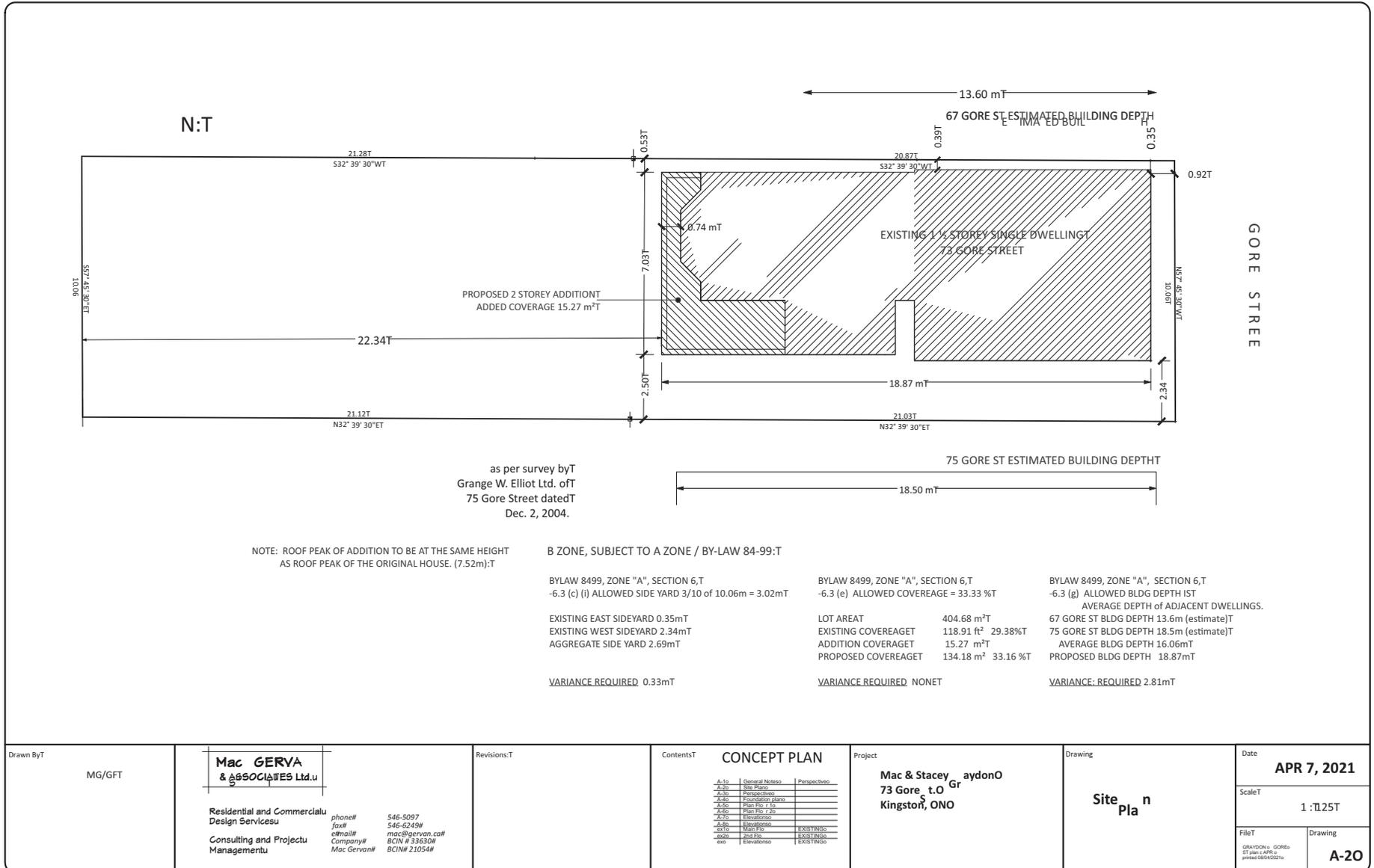


Limited view from Gore Street to the rear addition at east side of house.

SCOPE of WORK:
ADDITION AND RENOVATION AT REAR OF 73 GORE STREET.
REPAIR & REPAINT BRICK ON ORIGINAL HOUSE.

ISSUE FOR HERITAGE APPROVAL

Drawn By: MG/GFT	<p>Mac GERVA & ASSOCIATES Ltd.</p> <p>Residential and Commercial Design Services Consulting and Project Management</p> <p>phone# 546-5097# fax# 546-6249# email# mac@gervan.ca# Company# BCIN # 23630# Mac Gervan# BCIN# 210540#</p>	Revisions: T	Contents: T CONCEPT PLAN <table border="1"> <tr><td>A-10</td><td>General Notes</td><td>Perspective</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Perspective</td><td></td></tr> <tr><td>A-40</td><td>Foundation plans</td><td></td></tr> <tr><td>A-50</td><td>Plan F10, F 10</td><td></td></tr> <tr><td>A-60</td><td>Plan F10, F 20</td><td></td></tr> <tr><td>A-70</td><td>Elevations</td><td></td></tr> <tr><td>A-80</td><td>Site plan</td><td>EXISTING</td></tr> <tr><td>A-90</td><td>Site plan</td><td>EXISTING</td></tr> <tr><td>ext</td><td>Site plan</td><td>EXISTING</td></tr> <tr><td>ext</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspective	A-20	Site Plans		A-30	Perspective		A-40	Foundation plans		A-50	Plan F10, F 10		A-60	Plan F10, F 20		A-70	Elevations		A-80	Site plan	EXISTING	A-90	Site plan	EXISTING	ext	Site plan	EXISTING	ext	Elevations	EXISTING	Project: Mac & Stacey aydon 73 Gore t.O Gr Kingston, ONO	Drawing: General Perspectives	Date: APR 7, 2021 Scale: T File: C:\P\A\2021\GORE\13\13.dwg Drawing: A-10
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Drawn ByT
MG/GFT

Mac GERVA & ASSOCIATES Ltd.

Residential and Commercial Design Services
Consulting and Project Management

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e#mail# mac@gervan.ca#
Company# BCIN # 23630W
Mac Gervan# BCIN# 21054#

Revisions:T

ContentsT

CONCEPT PLAN

A-10	General Notes	Perspective
A-20	Site Plans	
A-30	Perspective	
A-40	Foundation Plans	
A-50	Plan PG. 1 of 2	
A-60	Plan PG. 2 of 2	
A-70	Elevations	
A-80	Hydrographs	EXISTING
exp-1	Main PG	EXISTING
exp-2	2nd Flr	EXISTING
exp-3	Elevations	EXISTING

Project

Mac & Stacey aydonO
73 Gore t.O Gr
Kingston, ONO

Drawing

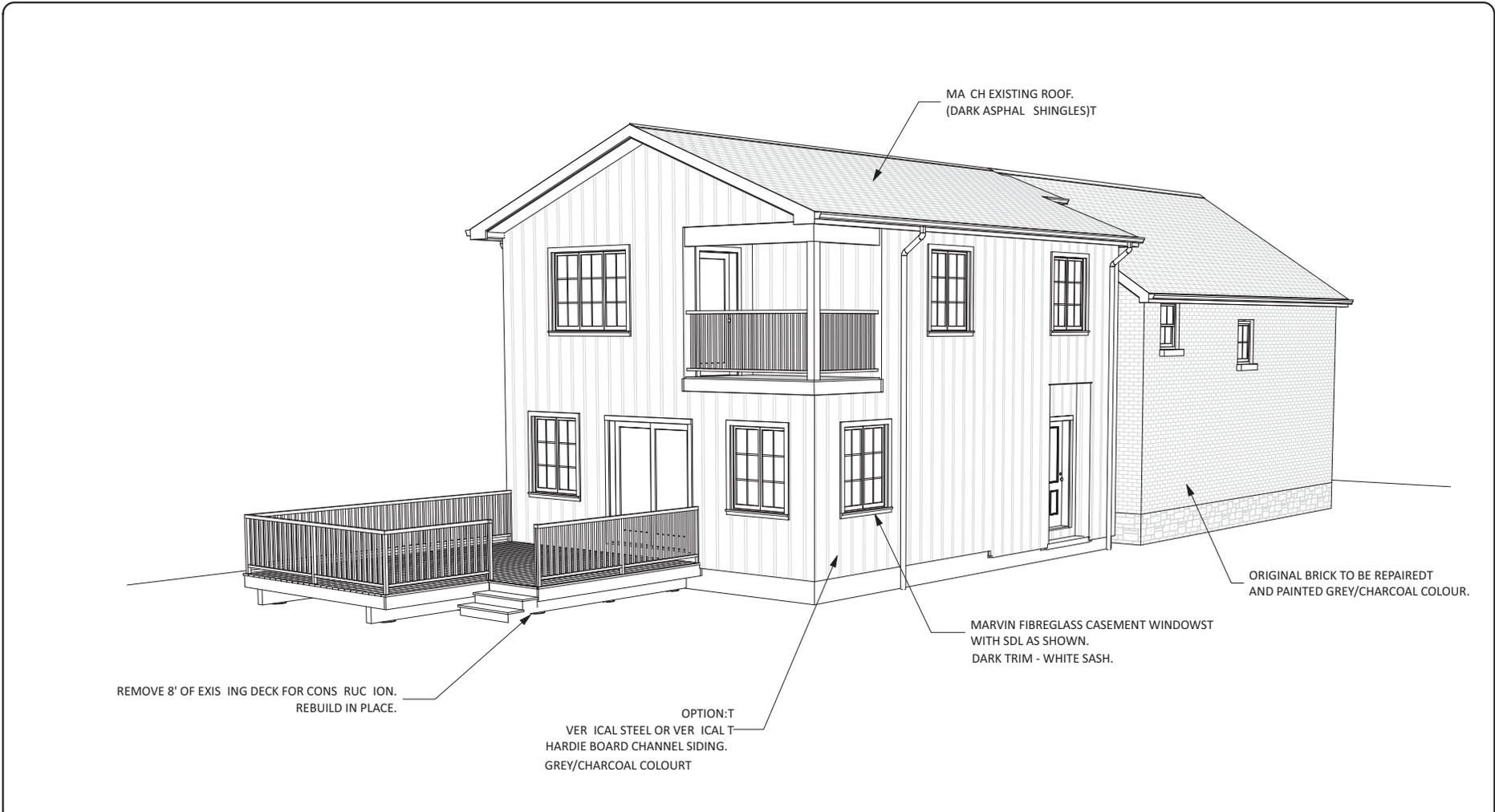
Site Plan

Date
APR 7, 2021

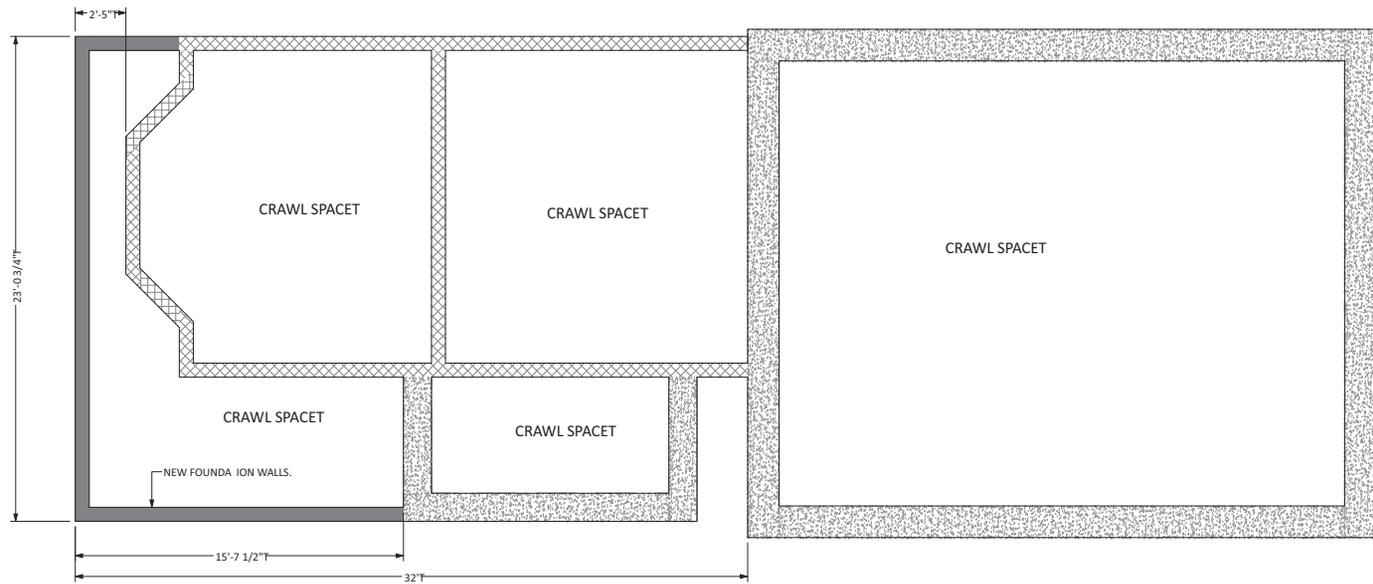
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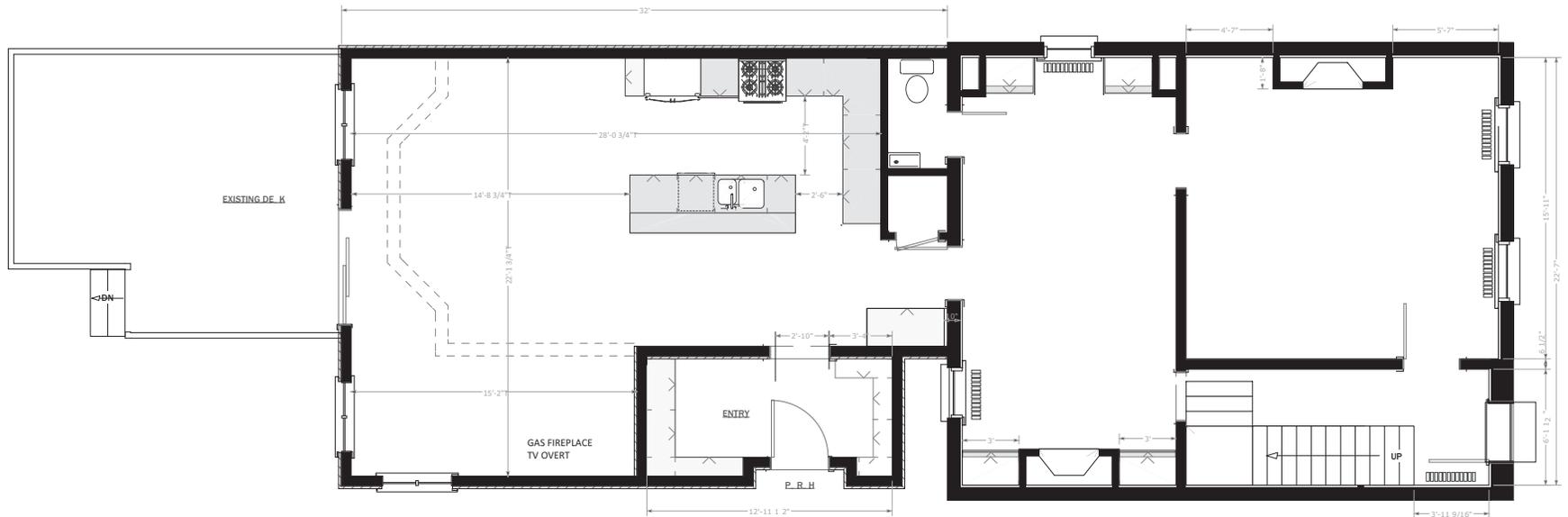
Drawing
A-20



<p>Drawn By: MG/GFT</p>	<p>Mac GERVAN & ASSOCIATES Ltd.</p> <p>Residential and Commercial Design Services phone# 546-5097# fax# 546-6249# e-mail# mac@gervan.ca# Company# BCIN 33630# Mac Gervan# BCIN# 21054#</p>	<p>Revisions: T</p>	<p>Contents: CONCEPT PLAN</p> <table border="1"> <tr><td>A-10</td><td>General Notes</td><td>Perspectivo</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Perspectivo</td><td></td></tr> <tr><td>A-40</td><td>Foundation Plans</td><td></td></tr> <tr><td>A-50</td><td>Plan 11 - 110</td><td></td></tr> <tr><td>A-60</td><td>Plan 11 - 120</td><td></td></tr> <tr><td>A-70</td><td>Elevations</td><td></td></tr> <tr><td>A-80</td><td>Elevations</td><td></td></tr> <tr><td>ex10</td><td>1st Flr</td><td>EXISTING</td></tr> <tr><td>ex20</td><td>2nd Flr</td><td>EXISTING</td></tr> <tr><td>ex30</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectivo	A-20	Site Plans		A-30	Perspectivo		A-40	Foundation Plans		A-50	Plan 11 - 110		A-60	Plan 11 - 120		A-70	Elevations		A-80	Elevations		ex10	1st Flr	EXISTING	ex20	2nd Flr	EXISTING	ex30	Elevations	EXISTING	<p>Project: Mac & Stacey Gervan 73 Gore St. Gr Kingston, ONO</p>	<p>Drawing: Perspectivo</p>	<p>Date: APR 7, 2021O</p> <p>Scale:</p> <p>File: GRAVDON 73 GORE ST plan - APR 7 2021 08:04:00Z Drawing #: A-30</p>
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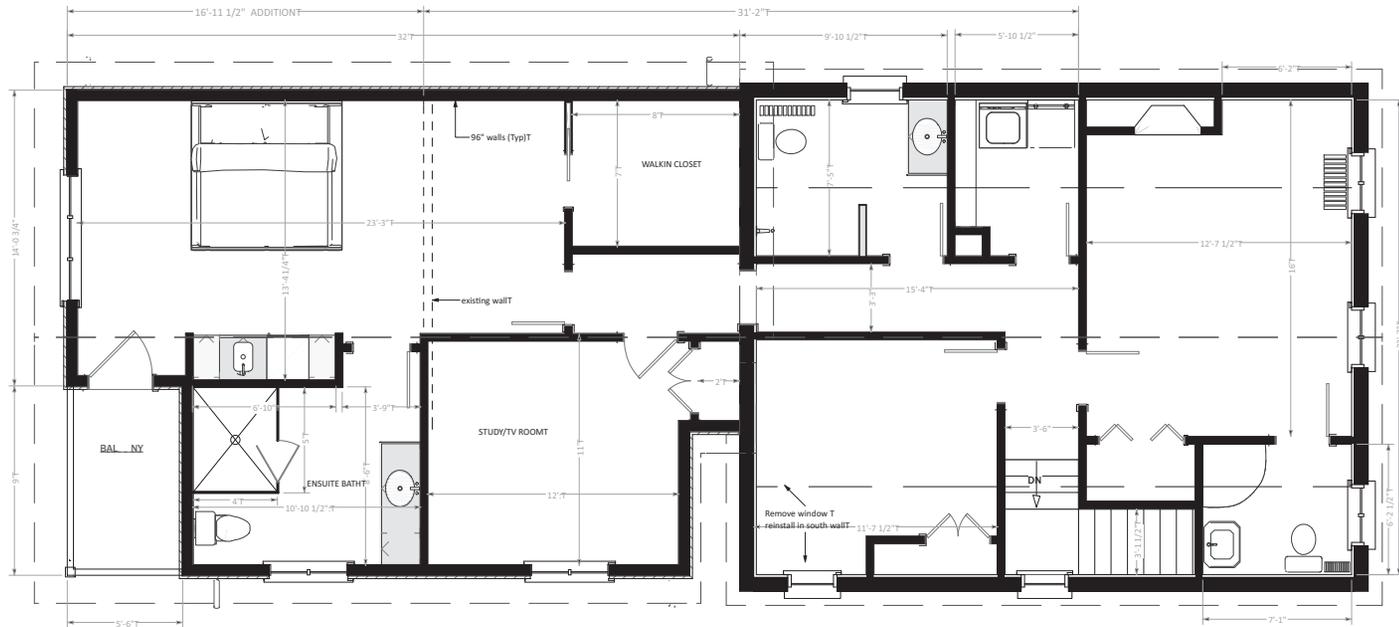


Drawn By: MG/GFT	<p>Mac GERVAN & ASSOCIATES Ltd.</p> <p>Residential and Commercial Design Services Consulting and Project Management</p> <p>phone# 546-5097# fax# 546-6249# e-mail# mac@gervan.ca# Company# BCIN 33630# Mac Gervan# BCIN# 21054#</p>	Revisions: T	Contents: CONCEP PLANT <table border="1"> <tr><td>A-10</td><td>General Notes</td><td>Perspectivo</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Perspectivo</td><td></td></tr> <tr><td>A-40</td><td>Foundation plans</td><td></td></tr> <tr><td>A-50</td><td>Plan 11 - r. 10</td><td></td></tr> <tr><td>A-60</td><td>Plan 11 - r. 20</td><td></td></tr> <tr><td>A-70</td><td>Excav. r. 10</td><td></td></tr> <tr><td>A-80</td><td>Excav. r. 20</td><td></td></tr> <tr><td>ex10</td><td>Notes</td><td>EXISTING</td></tr> <tr><td>ex20</td><td>2nd Fl.</td><td>EXISTING</td></tr> <tr><td>ex30</td><td>Elevation</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectivo	A-20	Site Plans		A-30	Perspectivo		A-40	Foundation plans		A-50	Plan 11 - r. 10		A-60	Plan 11 - r. 20		A-70	Excav. r. 10		A-80	Excav. r. 20		ex10	Notes	EXISTING	ex20	2nd Fl.	EXISTING	ex30	Elevation	EXISTING	Project: Mac & Stacey aydonO 73 Gore, t.O Gr Kingston, ONO	Drawing: Foundation planO	Date: APR 7, 2021O <p>Scale: 3/16" = 1' - 0" T</p> <p>File: GRAVDON 73 GORE 01 plan - APR 7 pfile 08/04/2021</p> Drawing #: A-4O
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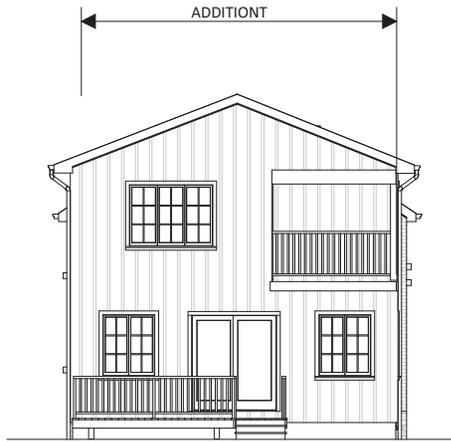
1st Floor T

<p>Drawn By: MG/GFT</p>	<p>Mac GERVA & ASSOCIATES Ltd. Residential and Commercial Design Services Consulting and Project Management phone# 546-5097 fax# 546-6249# email# mac@gervan.ca# Company# BCIN # 33630# Mac Gervan# BCIN# 21054#</p>	<p>Revisions: T</p>	<p>Contents: T</p> <p>CONCEPT PLAN</p> <table border="0"> <tr><td>A-10</td><td>General Notes</td><td>Perspectivo</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Perspectivo</td><td></td></tr> <tr><td>A-40</td><td>Foundation plans</td><td></td></tr> <tr><td>A-50</td><td>Plan 1st Flr</td><td></td></tr> <tr><td>A-60</td><td>Plan 2nd Flr</td><td></td></tr> <tr><td>A-70</td><td>Elevations</td><td></td></tr> <tr><td>A-80</td><td>Elevations</td><td></td></tr> <tr><td>ex10</td><td>1st Flr</td><td>EXISTING</td></tr> <tr><td>ex20</td><td>2nd Flr</td><td>EXISTING</td></tr> <tr><td>ex30</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectivo	A-20	Site Plans		A-30	Perspectivo		A-40	Foundation plans		A-50	Plan 1st Flr		A-60	Plan 2nd Flr		A-70	Elevations		A-80	Elevations		ex10	1st Flr	EXISTING	ex20	2nd Flr	EXISTING	ex30	Elevations	EXISTING	<p>Project: Mac & Stacey Gervan 73 Gore St. O Kingstn, ON</p>	<p>Drawing: Plan Floor 1</p>	<p>Date: APR 7, 2021 Scale: 3/16" = 1' - 0" T File: GRAVDON - GORE ST plan - APR 07 2021 Drawing: A-50</p>
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2nd Floor T

<p>Drawn By T MG/GFT</p>	<p>Mac GERVAU & ASSOCIATES Ltd.</p> <p>Residential and Commercial Design Services Consulting and Project Management</p> <p>phone# 546-5097# fax# 546-6249# email# mac@gervan.ca# Company# BCIN # 33630# Mac Gervau# BCIN# 21054#</p>	<p>Revisions: T</p>	<p>Contents T</p> <p>CONCEPT PLANT</p> <table border="1"> <tr><td>A-10</td><td>General Notes</td><td>Perspectivo</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Perspectivos</td><td></td></tr> <tr><td>A-40</td><td>Foundation Plans</td><td></td></tr> <tr><td>A-50</td><td>Plan Elevations</td><td></td></tr> <tr><td>A-60</td><td>Plan Elevations</td><td></td></tr> <tr><td>A-70</td><td>Elevations</td><td></td></tr> <tr><td>A-80</td><td>Elevations</td><td></td></tr> <tr><td>EX-10</td><td>1st Flr</td><td>EXISTING</td></tr> <tr><td>EX-20</td><td>2nd Flr</td><td>EXISTING</td></tr> <tr><td>EX-30</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectivo	A-20	Site Plans		A-30	Perspectivos		A-40	Foundation Plans		A-50	Plan Elevations		A-60	Plan Elevations		A-70	Elevations		A-80	Elevations		EX-10	1st Flr	EXISTING	EX-20	2nd Flr	EXISTING	EX-30	Elevations	EXISTING	<p>Project T</p> <p>Mac & Stacey Gervau 73 Gore, Toronto Kingston, ONO</p>	<p>Drawing T</p> <p>Plan Floor 20</p>	<p>Date T</p> <p>APR 7, 20210</p> <p>Scale T</p> <p>3/16" = 1' - 0" T</p> <p>File T</p> <p>GRAVDON - GORE ST Plan - APR 0 Project 08/04/2021</p> <p>Drawing T</p> <p>A-60</p>
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NORTH ELEVATION

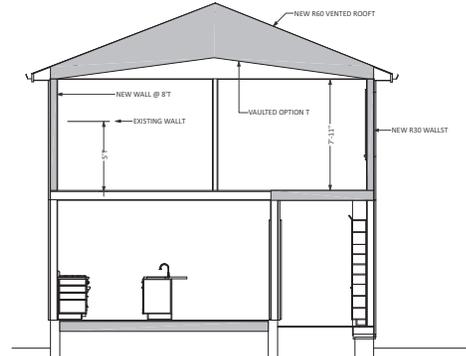
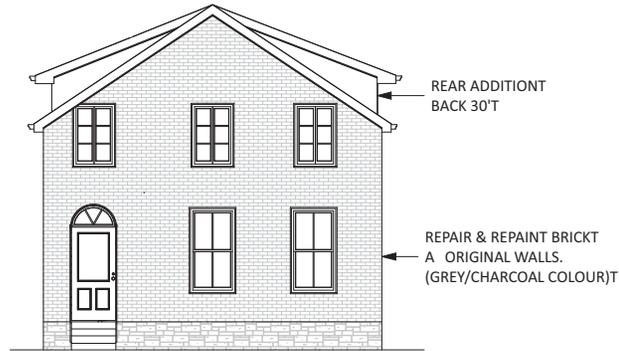


PHOTO OF EXISTING REAR YARD.



WEST ELEVATION

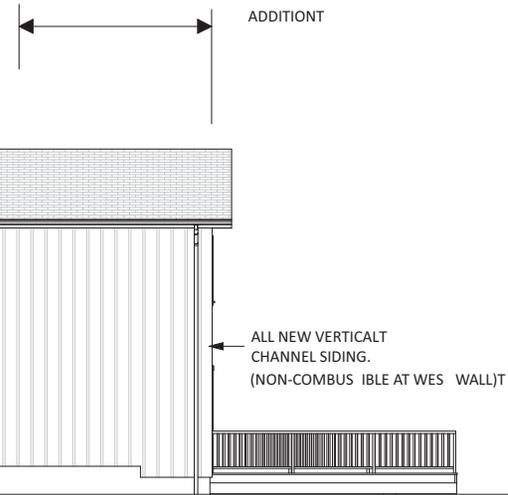
<p>Drawn By: MG/GFT</p>	<p>Mac GERVAN & ASSOCIATES Ltd.</p> <p>Residential and Commercial Design Services phone# 546-5097 fax# 546-6249# e-mail# mac@gervan.ca# Consulting and Project Management Company# BCIN 33630# Mac Gervan# BCIN# 21054#</p>	<p>Revisions: T</p>	<p>Contents: CONCEPT PLAN</p> <table border="0"> <tr><td>A-10</td><td>General Notes</td><td>Perspectives</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Site Photos</td><td></td></tr> <tr><td>A-40</td><td>Foundation Plans</td><td></td></tr> <tr><td>A-50</td><td>Plan 1: 1/8"</td><td></td></tr> <tr><td>A-60</td><td>Plan 2: 1/8"</td><td></td></tr> <tr><td>A-7</td><td>Elevations</td><td></td></tr> <tr><td>A-80</td><td>Elevations</td><td></td></tr> <tr><td>ex10</td><td>1st Flr</td><td>EXISTING</td></tr> <tr><td>ex20</td><td>2nd Flr</td><td>EXISTING</td></tr> <tr><td>ex30</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectives	A-20	Site Plans		A-30	Site Photos		A-40	Foundation Plans		A-50	Plan 1: 1/8"		A-60	Plan 2: 1/8"		A-7	Elevations		A-80	Elevations		ex10	1st Flr	EXISTING	ex20	2nd Flr	EXISTING	ex30	Elevations	EXISTING	<p>Project: Mac & Stacey Graydon 73 Gore St. Oshawa Kingston, ONO</p>	<p>Drawing: Elevations</p>	<p>Date: APR 7, 2021</p> <p>Scale: 1/8" = 1' - 0"</p> <p>File: GRAYDON 73 GORE ST PLAN - APR 7 2021 Drawing #: A-70</p>
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SOUTH ELEVATION

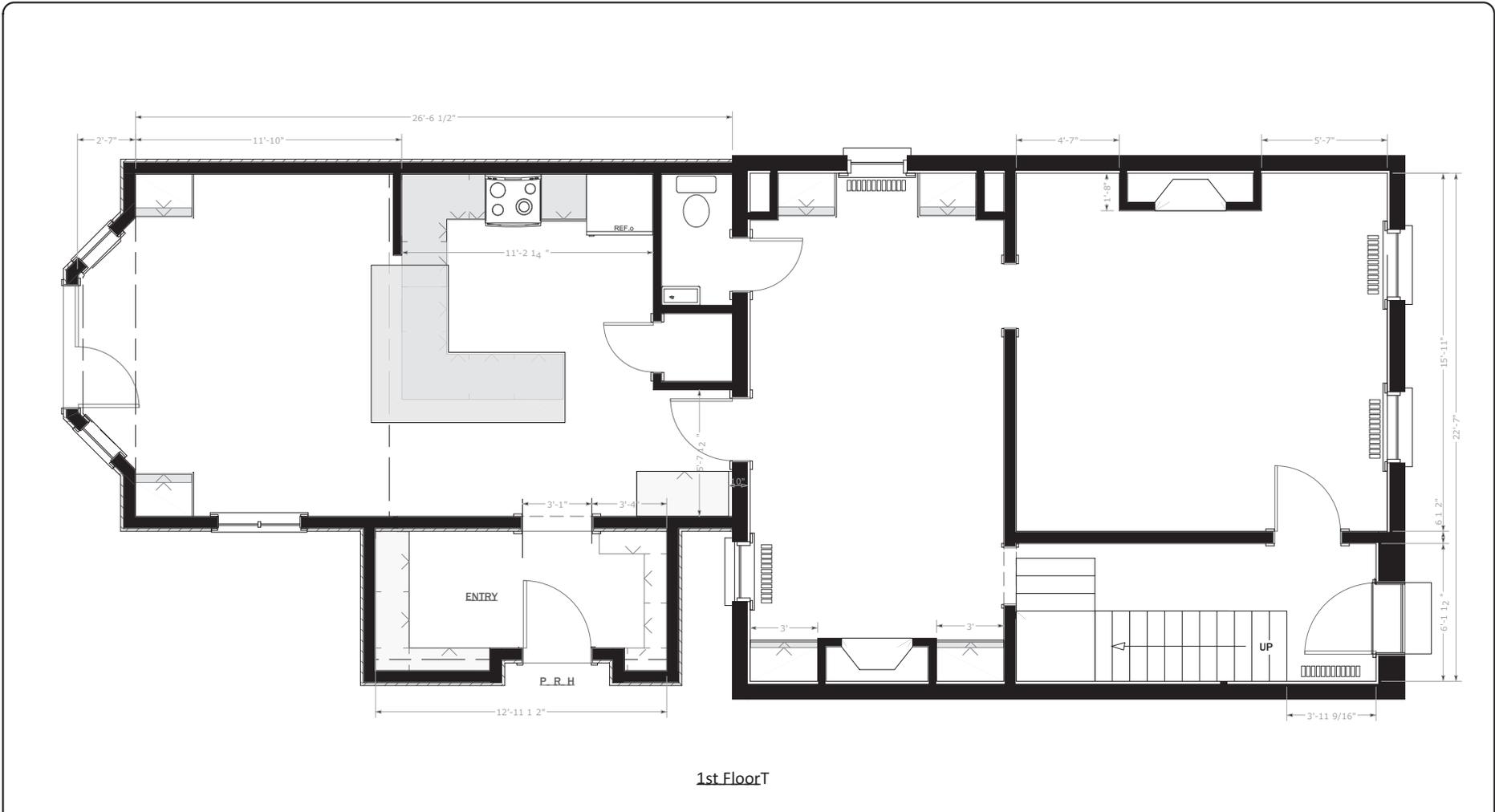


PHOTO OF EXISTING STREET VIEW.

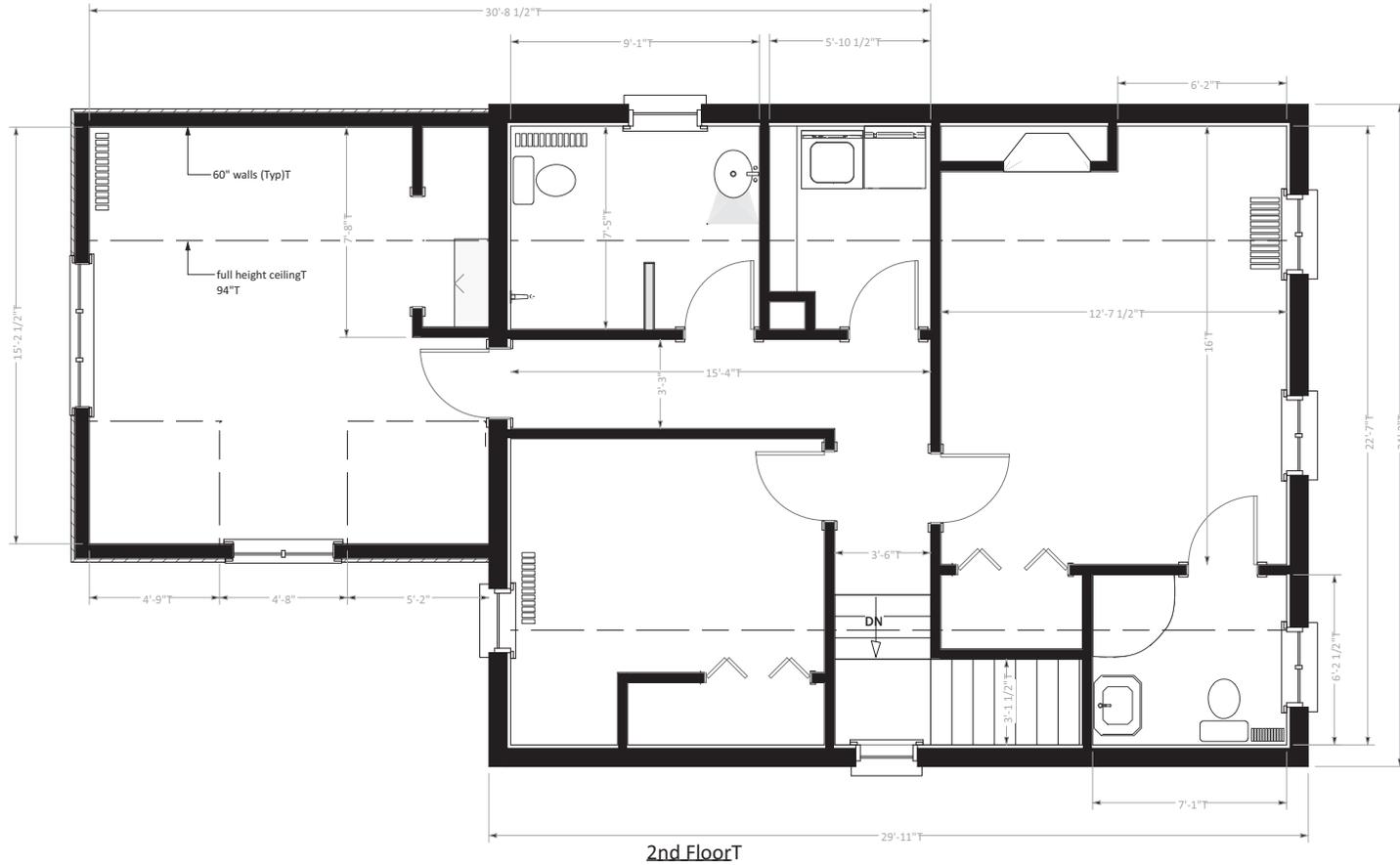


EAST ELEVATION

<p>Drawn By: MG/GFT</p>	<p>Mac GERVAN & ASSOCIATES Ltd.</p> <p>Residential and Commercial Design Services phone# 546-5097# fax# 546-6249# e-mail# mac@gervan.ca# Consulting and Project Management Company# BCIN 33630# Mac Gervan# BCIN# 21054#</p>	<p>Revisions: T</p>	<p>Contents: CONCEPT</p> <table border="1"> <tr><td>A-10</td><td>General Notes</td><td>Perspectives</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Proposals</td><td></td></tr> <tr><td>A-40</td><td>Foundation Plans</td><td></td></tr> <tr><td>A-50</td><td>Plan 1st Flr</td><td></td></tr> <tr><td>A-60</td><td>Plan 2nd Flr</td><td></td></tr> <tr><td>A-70</td><td>Elevations</td><td></td></tr> <tr><td>A-80</td><td>Elevations</td><td></td></tr> <tr><td>EXIST</td><td>1st Flr</td><td>EXISTING</td></tr> <tr><td>EXIST</td><td>2nd Flr</td><td>EXISTING</td></tr> <tr><td>EXIST</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectives	A-20	Site Plans		A-30	Proposals		A-40	Foundation Plans		A-50	Plan 1st Flr		A-60	Plan 2nd Flr		A-70	Elevations		A-80	Elevations		EXIST	1st Flr	EXISTING	EXIST	2nd Flr	EXISTING	EXIST	Elevations	EXISTING	<p>Project: Mac & Stacey Gervan 73 Gore St. Gr Kingston, ONO</p>	<p>Drawing: ElevationsO</p>	<p>Date: APR 7, 2021O</p> <p>Scale: 1/8" = 1' - 0" T</p> <p>File: GRAVDON 73 GORE ST plan - APR 7 2021 08:54:00Z Drawing #: A-80</p>
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		File GRAVDON - GORE ST plan - APR 6 - 2021 project 08-04-0021a	Drawing ex10			



<p>Drawn ByT MG/GFT</p>	<p>Mac GERVA & ASSOCIATES Ltd.u</p> <p>Residential and Commercial Design Services phone# 546-5097# fax# 546-6249# Consulting and Project Management e#mail# mac@gervan.ca# Company# BCIN # 33630# Mac Gervan# BCIN# 210540#</p>	<p>Revisions:T</p>	<p>ContentsT</p> <p>CONCEPT PLAN</p> <table border="1"> <tr><td>A-10</td><td>General Notes</td><td>Perspectivo</td></tr> <tr><td>A-20</td><td>Site Plans</td><td></td></tr> <tr><td>A-30</td><td>Perspectivo</td><td></td></tr> <tr><td>A-40</td><td>Foundation plans</td><td></td></tr> <tr><td>A-50</td><td>Plan for 1st fl.</td><td></td></tr> <tr><td>A-60</td><td>Plan for 2nd fl.</td><td></td></tr> <tr><td>ex10</td><td>Elevations</td><td>EXISTING</td></tr> <tr><td>ex20</td><td>2nd Flr.</td><td>EXISTING</td></tr> <tr><td>ex30</td><td>Elevations</td><td>EXISTING</td></tr> </table>	A-10	General Notes	Perspectivo	A-20	Site Plans		A-30	Perspectivo		A-40	Foundation plans		A-50	Plan for 1st fl.		A-60	Plan for 2nd fl.		ex10	Elevations	EXISTING	ex20	2nd Flr.	EXISTING	ex30	Elevations	EXISTING	<p>Project</p> <p>Mac & Stacey aydonO 73 Gore, t.O Gr Kingston, ONO</p>	<p>Drawing</p> <p>2nd Fl EXISTING</p>	<p>Date</p> <p>APR 7, 2021</p> <p>ScaleT</p> <p>1/4" = 1' - 0"</p> <p>File</p> <p>GRAVDON - GORE ST plan - APR 0 pfile 08-04-2021</p> <p>Drawing</p> <p>ex20</p>
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NOR. H. ELEVATION



EAS. ELEVATION



WES. ELEVATION



SOU. H. ELEVATION

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73 GORE STREET

Built: by 1892

Rating: S



This brick house appears on the 1892 fire insurance map of Kingston. All of the buildings along this stretch of Gore Street had side, rather than front-gable roofs in 1875. The present building does not appear to be related to an earlier structure. Its construction may date to 1890, when the property was purchased by customs officer James Hanley.

The design, massing, setback and composition of this building are appropriate to the Gore Streetscape. Its design attributes include its flat façade, brick composition, regular fenestration, ashlar window sills, and its front gable roof. The building's main-storey windows maintain an appropriate 6/6 window pattern. Those on the upper floor are paired casements, with glazing bars that create 3 sections each, and smaller flanking sidelights. The building's front entrance is deeply recessed, with paneled wood reveals and a fanlight transom. This building has exceptionally large brick chimneys: one toward the northwest rear of the building, and one along its southeast elevation.

Heritage Kingston

Summary of Input from Technical Review Process

P18-014-2021

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Bridget Doherty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councilor Gary Oosterhof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Banfield	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Mitchell	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Moya Dumville	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	April 9, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	New Construction
File Number:	P18-014-2021
Property Address:	73 GORE ST

Description of Proposal:

73 Gore Street is located on the northeast side of Gore Street between Wellington Street and King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant has revised the initial design and is now seeking heritage act approval to expand the existing one-and-a-half storey rear addition to a two-storey rear addition. The two-storey addition (at 7.52 metres) is proposed to match the height of the existing house and to be clad in vertical 'channel' siding. This proposal has been revised from the initial two-storey addition which was significantly longer and slightly taller than the current proposal.

Comments for Consideration on the Application:

I have no concerns with this as long as design and materials continue to closely match what is already there.



where history and innovation thrive

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	April 10, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	New Construction
File Number:	P18-014-2021
Property Address:	73 GORE ST

Description of Proposal:

73 Gore Street is located on the northeast side of Gore Street between Wellington Street and King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant has revised the initial design and is now seeking heritage act approval to expand the existing one-and-a-half storey rear addition to a two-storey rear addition. The two-storey addition (at 7.52 metres) is proposed to match the height of the existing house and to be clad in vertical 'channel' siding. This proposal has been revised from the initial two-storey addition which was significantly longer and slightly taller than the current proposal.

Comments for Consideration on the Application:

The revised plan with addition height matching the main building is appreciated and is generally acceptable. The proposal to paint the brick cladding of the original house is a concern, however. The district guidelines recommend against painting brick or stone surfaces, and general heritage guidelines likewise oppose it, both because of the loss of heritage fabric and because the finish can trap moisture and lead to freeze/thaw damage. The applicants are instead encouraged to remove the existing paint and return to the original fabric. It is noteworthy that the nearby brick house at the corner of King St is setting a commendable example of paint removal. If the applicants are unwilling to do this, they should note that where there are historic examples of painting brick, the chosen colour is one that matches one of the traditional brick colours. Accordingly a dark colour such as charcoal should not be acceptable.

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Date:	April 14, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	New Construction
File Number:	P18-014-2021
Property Address:	73 GORE ST

Description of Proposal:

73 Gore Street is located on the northeast side of Gore Street between Wellington Street and King Street East. The property is designated under Part V of the Ontario Heritage Act as part of the Old Sydenham Heritage Conservation District. The applicant has revised the initial design and is now seeking heritage act approval to expand the existing one-and-a-half storey rear addition to a two-storey rear addition. The two-storey addition (at 7.52 metres) is proposed to match the height of the existing house and to be clad in vertical 'channel' siding. This proposal has been revised from the initial two-storey addition which was significantly longer and slightly taller than the current proposal.

Comments for Consideration on the Application Revisions:

The revisions are an improvement to the original design and more in line with the Old Sydenham Conservation District guidelines now that the roof line of the addition will not extend above the existing roofline. The reduction in building depth is also an improvement.

The applicant should investigate the removal of the paint on the original building before considering repainting. Once a determination has been made regarding the efficacy of paint removal, then choice of an acceptable and appropriate colour for the cladding on the addition can be made. Note that 5.3.3 of the Old Sydenham Conservation District Guidelines list fibre cement board as an acceptable cladding but not aluminum.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

Summary of Final Comments at May 19, 2021 Heritage Kingston Meeting

Mr. Taylor expressed concern over the unknown condition of the painted brickwork on the original section of the building noting that the paint could be covering up significant problems. He commented that a condition should be added that requires the applicant consult with a masonry expert to assess the condition of the existing brick work and provide recommendations on removing existing paint or applying paint in an appropriate heritage colour in order to better preserve the original building. He added that he is pleased with the proposed process for filling in the existing window but disagreed with the use of a stone sill on the new window of the addition noting that additions should be distinguishable from the older sections of the building. He suggested the use of a concrete sill to prevent confusion over whether the window was a part of the original structure.



**City of Kingston
Report to Heritage Kingston**

To: Members of Heritage Kingston
From: Peter Gower, Chair
Date of Meeting: May 19, 2021
Subject: Heritage Kingston 2020 Report Card

Summary of the Discussion Item:

Heritage Kingston is a committee of Council which serves in both an advisory and consultative role. In addition, the Committee is involved in educating and informing the community related to Kingston's cultural heritage – tangible, intangible, and natural. The membership of Heritage Kingston is composed of two members of council and nine members of the public. Heritage Kingston reports directly to Council; furthermore, three working groups report to Heritage Kingston. The working groups are composed of representatives from the Committee as well as the community. The working groups examine the following issues: heritage properties, cultural heritage and heritage assets. In 2019, Council approved an ad hoc working group to undertake a review of the composition, mandate, and procedures of Heritage Kingston whose work continued throughout 2020.

The mandate of Heritage Kingston addresses both the stewardship of Kingston's cultural heritage resources and works within the framework of the Ontario Heritage Act regarding the conservation of properties of cultural heritage value or interest.

In accordance with Section 2.5 of the Committee By-Law, Heritage Kingston is required to provide Council with a report summarizing the activities undertaken by Heritage Kingston during 2020.

Recommendation:

That Heritage Kingston recommends to Council:

That the 2020 Heritage Kingston Report Card be approved as a summary of the work accomplished by the Committee.

Report to Heritage Kingston

May 19, 2021

Page 2 of 3

Discussion:

Heritage Kingston is comprised of 11 members consisting of two Members of Council and nine citizen appointees. There were no changes in membership during the 2020 year. Two members completed their term on the Committee at the end of 2020.

Heritage Kingston met on 10 occasions during 2020. The contents of the staff reports brought to Heritage Kingston are categorized as follows:

- The Committee provided recommendations related to reports associated with statutory aspects of the Ontario Heritage Act which included consideration of 22 Part IV heritage permit applications;
- The Committee provided consultation regarding 12 reports related to applications for permits under Part V of the Ontario Heritage Act;
- The Committee provided recommendations for the removal of the listed status of five properties and the removal of five properties from the City of Kingston Heritage Register;
- The Committee received four reports related to pre-consultations for applications for heritage permits under the Ontario Heritage Act;
- The Committee received three reports related to cultural heritage aspects of their mandate – specifically for acquisitions to the Civic Collection, consultation on the Civic Collections Management Policy and review of the Plan for the Administration of the Cultural Heritage Fund;
- The Committee received four sets of notes from the Heritage Kingston Review Working Group, one set of notes from the Cultural Heritage Working Group, two (2) sets of notes from the Heritage Properties Working Group, and no notes from the Heritage Assets Working Group, updating the Committee on working group initiatives;

Heritage Kingston attended limited site visits over the course of 2020 due to the COVID-19 pandemic. In addition, the frequency of working group meetings was impacted as supporting staff were redeployed to priority service delivery and/or experienced lay-offs, and while new online meeting processes were established.

In 2020, 21 applications were received for the Heritage Property Grant program. After scoring the applications against the criteria in the by-law, 11 grants were awarded, representing a total investment of \$50,000 in heritage conservation efforts throughout the City. The approved works included significant masonry repairs, restoration of period windows, and the accurate repair of original building features.

In 2020, 8 operating and 6 project grants were awarded through the City of Kingston Heritage Fund, representing a total of \$ 338,976 in community museums, heritage projects, cultural groups and historical societies. Two of these grants were deferred into 2021 as a result of the impacts of the COVID-19 pandemic.

Report to Heritage Kingston

May 19, 2021

Page 3 of 3

Working Groups

Cultural Heritage Working Group

The Cultural Heritage Working Group held one in-person meeting in 2020 to review the phase III workplan for the Engage for Change Project and the outcomes of the Your Stories, Our Histories community consultation project. The Working Group additionally acted as a jury (over email) for the selection of community art pieces to be included in the inaugural art exhibition 'Then and Now' that opened in January 2021 in the new Market Wing Cultural Space within Kingston City Hall.

Heritage Assets Working Group

The Heritage Assets Working Group was not convened for any formal meetings in 2021. Similar to the Cultural Heritage Working Group, the Heritage Assets Working Group acted as a jury (over email) for the selection of community art pieces to be included in the inaugural art exhibition 'Then and Now' that opened in January 2021 in the new Market Wing Cultural Space within Kingston City Hall.

Heritage Properties Working Group

The Heritage Properties Working Group held two in-person meetings in early 2020 to review draft statements of cultural heritage value for six prospective heritage properties and discussed possible updates to the City's Policy of Masonry Restoration in Heritage Buildings. In 2021, the Heritage Properties Working Group will continue its inventory and review of possible heritage resources in the Williamsville area through field and document review. The Working Group will be involved in the review of the new heritage easement agreement with Queen's University, including review of the revised and new statements of cultural heritage value for individual heritage buildings and cultural heritage landscapes. Staff are also commencing with an ambitious project to advance several new designations in 2021-2022 and will be circulating these to the Working Group for comment and input on the statements of value and draft by-laws.

Heritage Kingston Review Working Group

The Heritage Kingston Review Working Group continued its review of the composition, mandate, and procedures of Heritage Kingston throughout 2020 completing a comprehensive review of the committee mandate and collecting additional feedback/input through targeted interviews and open surveys. The Working Group met 5 times in 2020 and was impacted by delays and staff resourcing challenges of the COVID-19 pandemic. The Working Group is expected to submit recommendations to the Council in mid-2021.