

**Council Meeting Number 17-2021
Addendum
Tuesday, July 13, 2021**

Delegations

The consent of Council is requested for the **addition** of Delegation Number 2.

2. Don Timperon will appear before Council to speak to Clause 1i. of Report Number 66: Received from Heritage Kingston with respect to Approval of Application for Ontario Heritage Act Approval – 1403 Highway 15.

Reports

The consent of Council is requested for the **addition** of Report Number 70: Received from the Planning Committee.

Report Number 70: Received from the Planning Committee

To the Mayor and Members of Council:

The Planning Committee reports and recommends as follows, from its meeting held on July 8, 2021:

All items listed on this Committee Report shall be the subject of one motion. Any member may ask for any item(s) included in the Committee Report to be separated from that motion, whereupon the Report of the Committee without the separated item(s) shall be put and the separated item(s) shall be considered immediately thereafter.

1. Approval of Application for Zoning By-Law Amendment – 484 Albert Street and 620 Princess Street

That the applications for Official Plan and zoning By-Law amendment (File Number D35-008-2020) submitted by IBI Group Incorporated, on behalf of Kingston Home Based Housing, for the property municipally known as 484 Albert Street and 620 Princess Street, be approved; and

That the City of Kingston Official Plan, as amended, be further amended, amendment number 75, as per Exhibit A, (Draft By-Law and Schedules A, B and C to Amend the Official Plan) to Report Number PC-21-051, which will be effective during the period in which By-Law Numbers 2021-01 and 2021-02 are not in force; and

That By-Law Number 8499, entitled "Restricted Area (Zoning) By-Law of the Corporation of the City of Kingston", as amended, be further amended, as per Exhibit B (Draft By-Law and Schedules A and B to Amend Zoning By-Law Number 8499) to Report Number PC-21-051, which will be effective during the period in which By-Law Numbers 2021-01 and 2021-02 are not in force; and

That the City of Kingston Official Plan, as amended, be further amended, amendment number 76, as per Exhibit C, (Draft By-Law and Schedules A, B and C to Amend the

**Council Meeting Number 17-2021
Addendum
Tuesday, July 13, 2021**

Official Plan) to Report Number PC-21-051, which will be effective on the date By-Law Numbers 2021-01 and 2021-02 are deemed to come into force; and

That By-Law Number 8499, entitled "Restricted Area (Zoning) By-Law of the Corporation of the City of Kingston", as amended, be further amended, as per Exhibit D (Draft By-Law and Schedules A and B to Amend Zoning By-Law Number 8499) to Report Number PC-21-051, which will be effective on the date By-Law Numbers 2021-01 and 2021-02 are deemed to come into force; and

That Council determines that in accordance with Section 34(17) of the Planning Act, no further notice is required prior to the passage of the By-Law; and

That the amending By-Laws be presented to Council for all three readings.

(See By-Law Number (20), 2021-127 attached to the agenda as schedule pages 1-5)

(See By-Law Number (21), 2021-128 attached to the agenda as schedule pages 6-10)

(See By-Law Number (22), 2021-129 attached to the agenda as schedule pages 11-15)

(See By-Law Number (23), 2021-130 attached to the agenda as schedule pages 16-20)

By-Laws

The consent of Council is requested for the **addition** of By-Law Numbers (20), (21), (22) and (23).

- (20) A By-Law to Amend The City of Kingston Official Plan (Amendment Number 75, 484 Albert Street and 620 Princess Street)

Three Readings

Proposed Number 2021-127

(Clause 1, Report 70)

(Attached to Addendum as schedule pages 1-5)

**Council Meeting Number 17-2021
Addendum
Tuesday, July 13, 2021**

- (21) A By-Law to Amend By-Law Number 8499, "Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston" (Zone Change from Williamsville Main Street Commercial 'C4-H' Zone to Special Williamsville Main Street Commercial 'C4-608' Zone, 484 Albert Street and 620 Princess Street)

Three Readings

Proposed Number 2021-128

(Clause 1, Report 70)

(Attached to Addendum as schedule pages 6-10)

- (22) A By-Law to Amend The City of Kingston Official Plan (Amendment Number 76, 484 Albert Street and 620 Princess Street)

Three Readings

Proposed Number 2021-129

(Clause 1, Report 70)

(Attached to Addendum as schedule pages 11-15)

- (23) A By-Law to Amend By-Law Number 8499, "Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston" (Zone Change from Williamsville Main Street Commercial 'C4-H' Zone to Special Williamsville Main Street Commercial 'C4-609' Zone, 484 Albert Street and 620 Princess Street)

Three Readings

Proposed Number 2021-130

(Clause 1, Report 70)

(Attached to Addendum as schedule pages 16-20)

By-Law Number 2021-___

**A By-Law to Amend The City Of Kingston Official Plan (Amendment Number 75,
484 Albert Street and 620 Princess Street)**

Passed: [Meeting Date]

Whereas a Public Meeting was held regarding this amendment on January 14, 2021;

Now Therefore the Council of The Corporation of the City of Kingston, in accordance with the provisions of Section 17 of the *Planning Act*, R.S.O. 1990, c.P13, hereby enacts as follows:

1. The City of Kingston Official Plan is hereby amended by the following map change which shall constitute Amendment Number 75 to the Official Plan for the City of Kingston.
 - (a) **Amend** Schedule '3-A', 'Land Use', of the City of Kingston Official Plan, so as to re-designate the properties shown on Schedule 'A' to By-Law Number 2021-___, from 'Residential' to 'Main Street Commercial'.
 - (b) **Amend** Schedule 'PS-1', 'Princess Street Corridor Special Policy Area Williamsville Main Street' of the City of Kingston Official Plan, so as to add the lands shown on Schedule 'B' to By-Law Number 2021-__ to the Princess Street Corridor Special Policy Area Williamsville Main Street.
 - (c) **Amend** Schedule '3-D', 'Site Specific Policies', of the City of Kingston Official Plan, so as to designate the property located at 484 Albert Street and 620 Princess Street, as shown on Schedule 'C' to By-Law Number 2021-___, as 'Site Specific Policy Area Number 68'.
2. That the City of Kingston Official Plan, as amended, be further amended by adding the following new Site Specific Policy as Section 3.17.68:

"484 Albert Street & 620 Princess Street, Schedule 3-D, SSP Number 68"

3.17.68 That the properties located at 484 Albert Street & 620 Princess Street, shown on Schedule 3-D as Site Specific Policy Area Number 68, are intended to accommodate the Kingston Youth Services Hub, which is a community centre comprised of, but not limited to, emergency, transitional and supportive housing, a drop-in centre, community hall, and restaurant. The site may be developed subject to the following:

- a. A height map shall be introduced through the implementing zoning by-law to define the form of the buildings traditionally

addressed through angular plane, streetwall height and building height requirements.

- b. The policies in Section 10E of the Official Plan with respect to angular plane shall not apply to the properties located in Site Specific Policy Area Number 68. Building stepbacks shall be regulated through the implementing zoning by-law.
 - c. The policies in Section 10E of the Official Plan with respect to minimum streetwall heights shall not apply to the properties located in Site Specific Policy Area Number 68. Minimum streetwall heights shall be regulated through the implementing zoning by-law.
 - d. The policies in Section 10E of the Official Plan with respect to minimum building heights shall not apply to the properties located in Site Specific Policy Area Number 68.
 - e. The maximum permitted height shall be 6 storeys. The maximum permitted building height in metres shall be regulated through the implementing zoning by-law.
 - f. The policies in Section 10E of the Official Plan with respect to ground floor conditions shall not apply to the properties located in Site Specific Policy Area Number 68. Ground floor conditions shall be regulated through the implementing zoning by-law.
3. This By-Law shall come into force and take effect in accordance with the *Planning Act* and shall be automatically repealed on the date that City of Kingston By-Law Number 2021-01 comes into force.

Given all Three Readings and Passed: [Meeting date]

John Bolognone
City Clerk

Bryan Paterson
Mayor



Planning Services

SCHEDULE 'B' TO BY-LAW NUMBER OFFICAL PLAN AMENDMENT NUMBER 75

Address: 620 Princess Street and 484 Albert Street
File Number: D35-008-2020


Certificate of Authentication

This is Schedule 'B' to By-Law Number _____, passed this _____ day of _____ 2021.

LEGEND

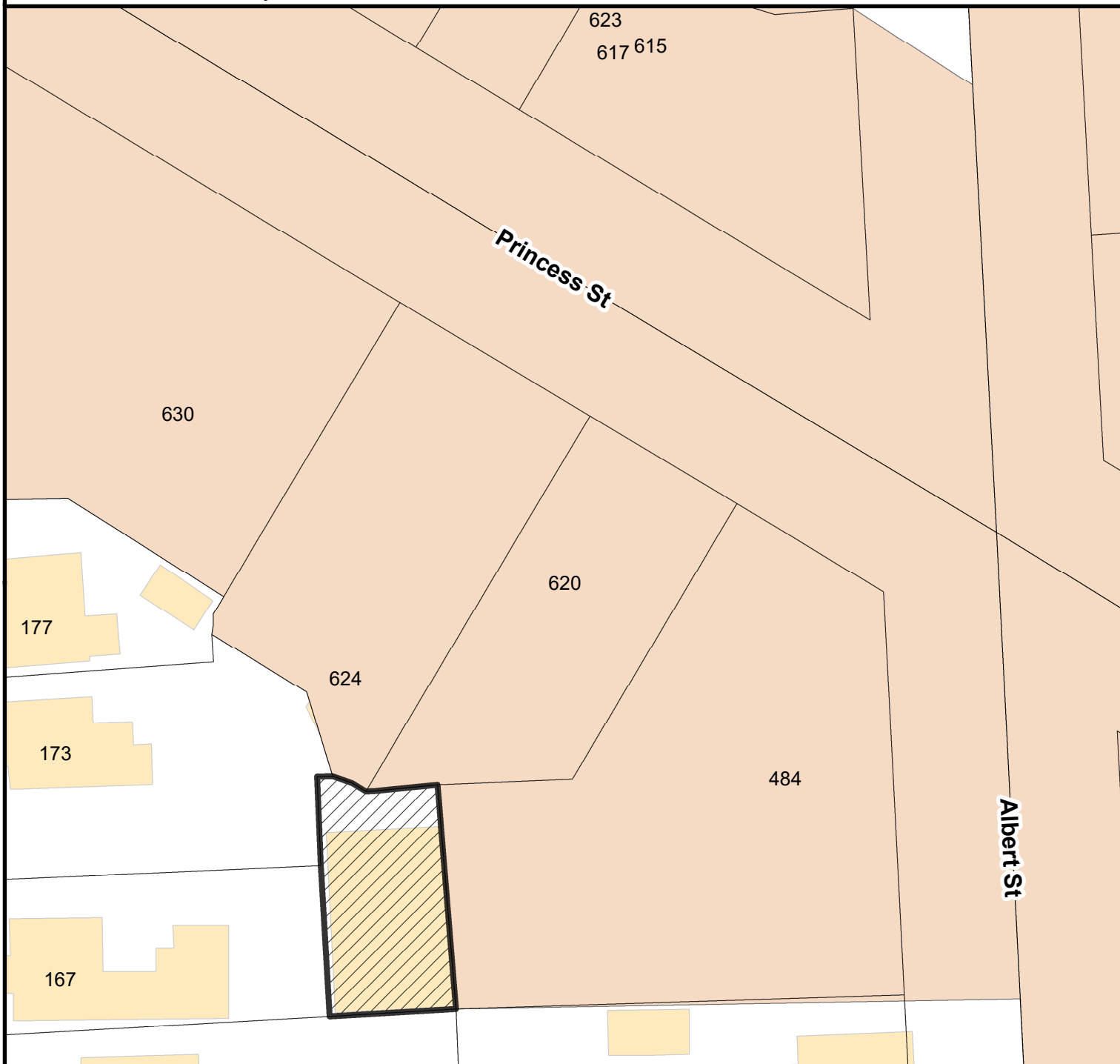
Official Plan Schedule PS-1

 PS-1 Princess St Corridor

 Lands added to the Williamsville Main Street Corridor Area

Mayor

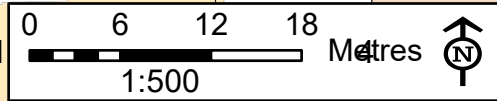
Clerk



Prepared By: lchu
Date: Jun-11-2021

Addendum Meeting 17 July 13 2021

16





Planning Services

SCHEDULE 'C' TO BY-LAW NUMBER OFFICAL PLAN AMENDMENT NUMBER 75

Address: 620 Princess Street and 484 Albert Street
File Number: D35-008-2020

Certificate of Authentication


This is Schedule 'C' to By-Law Number _____, passed this _____ day of _____ 2021.

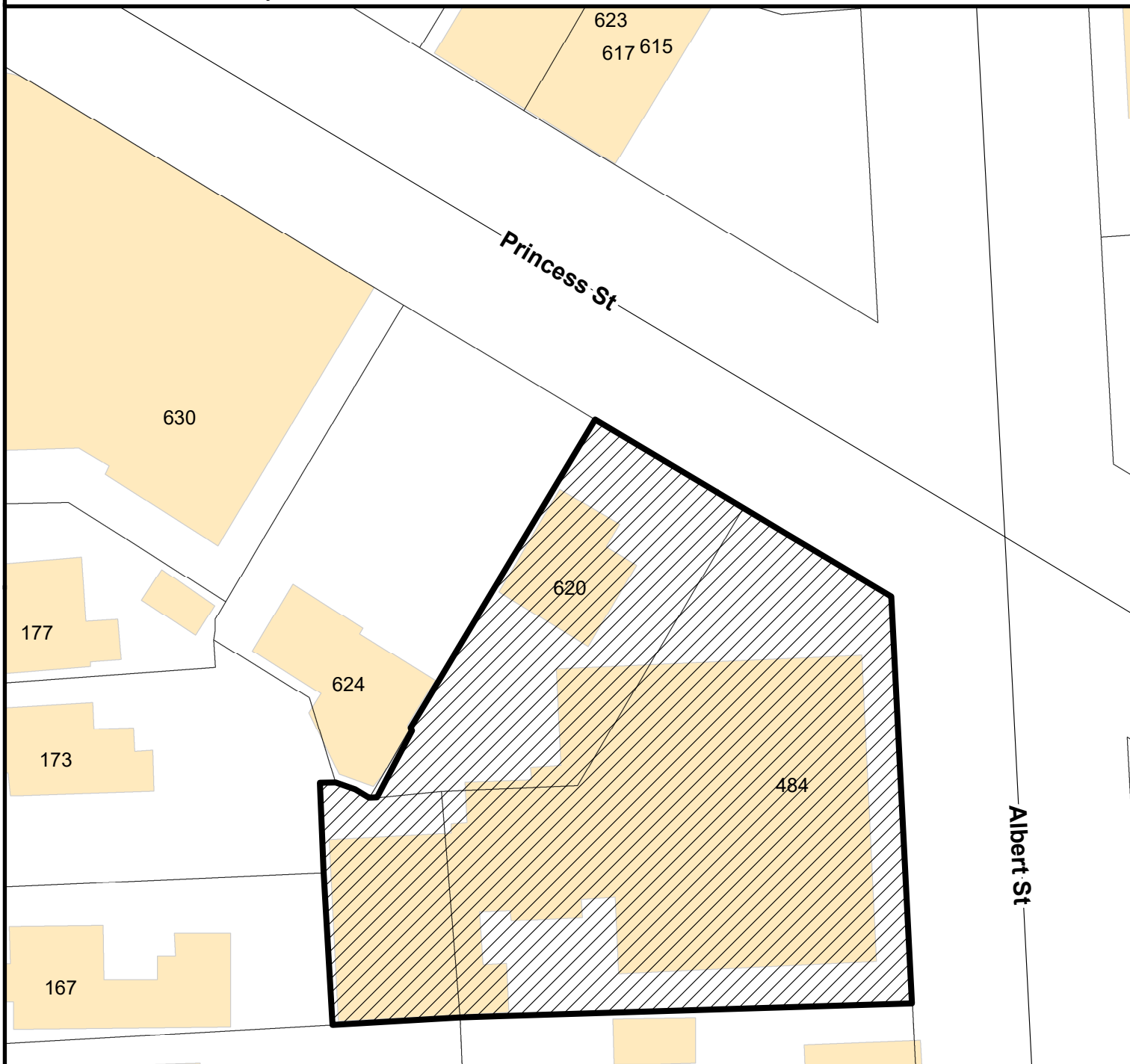
Mayor

Clerk

LEGEND

Official Plan Schedule 3-D

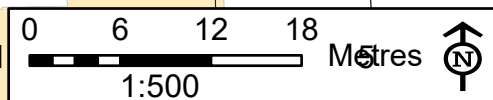
 Lands subject to new Special Policy Area Number 68



Prepared By: lchu
Date: Jun-11-2021

Addendum Meeting 17 July 13 2021

17



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By-Law Number 2021-__

A By-Law to Amend By-Law Number 8499, “Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston” (Zone Change from Williamsville Main Street Commercial ‘C4-H’ Zone to Special Williamsville Main Street Commercial ‘C4-608’ Zone, 484 Albert Street and 620 Princess Street)

Passed: [Meeting Date]

Whereas by Order of the Minister of Municipal Affairs and Housing, The Corporation of the Township of Kingston, The Corporation of the Township of Pittsburgh and The Corporation of the City of Kingston were amalgamated on January 1, 1998 to form The Corporation of the City of Kingston as the successor municipal corporation and pursuant to the Minister’s Order, any by-laws of the former municipality passed under the *Planning Act* continue as the by-laws covering the area of the former municipality now forming part of the new City; and

Whereas the Council of The Corporation of the City of Kingston deems it advisable to amend By-Law Number 8499, as amended, of the former City of Kingston;

Therefore be it resolved that the Council of The Corporation of the City of Kingston hereby enacts as follows:

1. By-Law Number 8499 of The Corporation of the City of Kingston, entitled “Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston”, as amended, is hereby further amended as follows:
 - 1.1. Map 20 of Schedule “A”, as amended, is hereby further amended by changing the zone symbol of the subject site from Williamsville Main Street Commercial ‘C4-H’ Zone to Special Williamsville Main Street Commercial ‘C4-608’ Zone, as shown on Schedule “A” attached to and forming part of By-Law Number 2021-__.
 - 1.2. By **adding** the following Section 608 in Part VIII – Exceptions to the Various Zone Classifications as follows:

(608) 484 Albert Street and 620 Princess Street

Notwithstanding the provisions of Section 5 and 23 hereof to the contrary, on the lands designated ‘C4-608’ on Schedule ‘A’ hereto, the following regulations shall apply:

- (a) Additional Permitted Uses: The Kingston Youth Services Hub, which shall consist of, but not be limited to: drop-in programs, including

psychiatry counselling services and occasional medical services; a youth culture, banqueting and performing arts facility; transitional, emergency and supportive housing, which includes a continuum of housing options; a retail café, and a jobs skills centre.

(b) Streetwall Height:

- (i) Princess Street Frontage: The minimum streetwall height for all buildings and structures shall be 6.5 metres.
- (ii) Albert Street Frontage:
 - a. The minimum streetwall height for all buildings and structures shall be 6.0 metres.
 - b. The maximum streetwall height for all buildings and structures shall be 14.0 metres.

(c) Angular Plane: Angular plane requirements shall not apply.

(d) Building Height: No part of any building shall exceed the height limits in metres as shown on Schedule 'B', attached hereto and forming part of By-Law Number 2021-____, with a maximum 5% variance on noted heights permitted.

(e) Rooftop Mechanical Equipment: Notwithstanding the provisions of Subsection (d) of this Section 608, mechanical equipment shall be permitted to exceed the maximum allowable building height by up to 4 metres, provided it does not cover more than 15% of the rooftop area in which it is located, in aggregate, and is not located closer than 2.5 metres to the edge of a roof.

(f) Ground Floor Height:

- (i) Princess Street Frontage: The ground floor storey of any building shall have a minimum floor to ceiling height of 2.9 metres.
- (ii) Albert Street Frontage: The ground floor storey of any building shall have a minimum floor to ceiling height of 3.4 metres.

(g) Yards:

- i. The minimum setbacks shall be as shown on Schedule 'B' attached hereto and forming part of By-Law Number 2021-____, with a maximum 5% variance on noted dimensions permitted.

(h) Building Frontage: Minimum building frontage percentage requirements shall not apply.

(i) Projections into Yards: Banding, solar shading, canopies, barrier free ramps, stairs, and similar features shall be permitted to project

into required yards, if approved under a Site Plan Control Agreement.

- (j) Loading: A minimum of 1 loading space shall be required.
 - (k) Off-Street Vehicle Parking: No vehicular parking spaces shall be required for the Kingston Youth Services Hub use.
 - (l) Bicycle Parking (minimum):
 - i. A minimum of 60 covered and secure bicycle parking spaces shall be required.
 - ii. Wall mounted racking systems shall have minimum dimensions of 0.6 metres wide by 1.8 metres high.
2. That this By-Law shall come into force in accordance with the provisions of the *Planning Act* and shall be automatically repealed on the date that City of Kingston By-Law Number 2021-02 comes into force.

Given all Three Readings and Passed: [Meeting Date]

Jon Bolognone
City Clerk

Bryan Paterson
Mayor



Schedule 'A' to By-Law Number

Address: 620 Princess Street
and 484 Albert Street
File Number: D35-008-2020

Certificate of Authentication

This is Schedule 'A' to By-Law Number _____, passed this _____ day of _____ 2021.

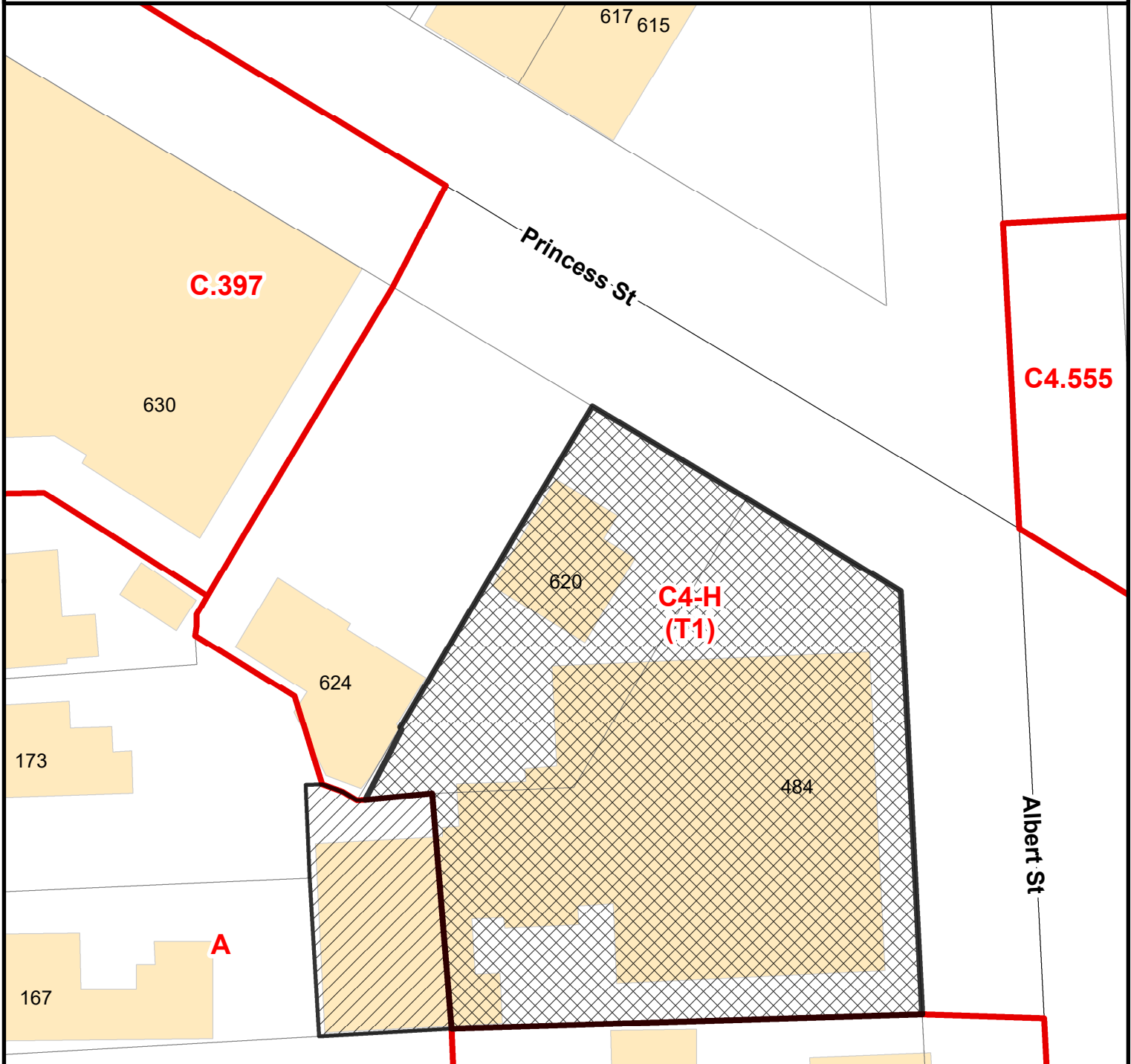
Mayor

Clerk

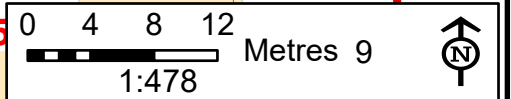
Reference By-Law 8499, Map 19, 20

 Rezoned from A to C4-608

 Rezoned from C4-H (T1) to C4-608



Addendum Meeting 17 July 13 2021



Prepared By: Ichu
Date: Jun-03-2021

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Planning Services

Schedule 'B' to By-Law Number

Address: 620 Princess Street and 484 Albert Street
File Number: D35-008-2020

Certificate of Authentication

This is Schedule 'B' to By-Law Number _____, passed this _____ day of _____ 2021.

Reference By-Law 8499, Map 19, 20

Label

— Setbacks

Mayor

Clerk



Prepared By: rejonas
Date: Jun-17-2021

Addendum Meeting 17 July 13 2021
22



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By-Law Number 2021-___

**A By-Law to Amend The City Of Kingston Official Plan (Amendment Number 76,
484 Albert Street and 620 Princess Street)**

Passed: [Meeting Date]

Whereas a Public Meeting was held regarding this amendment on January 14, 2021;

Now Therefore the Council of The Corporation of the City of Kingston, in accordance with the provisions of Section 17 of the *Planning Act*, R.S.O. 1990, c.P13, hereby enacts as follows:

1. The City of Kingston Official Plan is hereby amended by the following map change which shall constitute Amendment Number 76 to the Official Plan for the City of Kingston.
 - (a) **Amend** Schedule '3-A', 'Land Use', of the City of Kingston Official Plan, so as to re-designate the properties shown on Schedule 'A' to By-Law Number 2021-___, from 'Residential' to 'Main Street Commercial'.
 - (b) **Amend** Schedule 'PS-1', 'Princess Street Corridor Special Policy Area Williamsville Main Street' of the City of Kingston Official Plan, so as to add the lands shown on Schedule 'B' to By-Law Number 2021-___ to the Princess Street Corridor Special Policy Area Williamsville Main Street.
 - (c) **Amend** Schedule '3-D', 'Site Specific Policies', of the City of Kingston Official Plan, so as to designate the property located at 484 Albert Street and 620 Princess Street, as shown on Schedule 'C' to By-Law Number 2021-___, as 'Site Specific Policy Area Number 69'.
2. That the City of Kingston Official Plan, as amended, be further amended by adding the following new Site Specific Policy as Section 3.17.69:

"484 Albert Street & 620 Princess Street, Schedule 3-D, SSP Number 69"

3.17.69 That the properties located at 484 Albert Street & 620 Princess Street, shown on Schedule 3-D as Site Specific Policy Area Number 69, are intended to accommodate the Kingston Youth Services Hub, which is a community centre comprised of, but not limited to, emergency, transitional and supportive housing, a drop-in centre, community hall, and restaurant. The site may be developed subject to the following:

- a. A height map shall be introduced through the implementing zoning by-law to regulate the form of the buildings

traditionally addressed through setback, streetwall height and building height requirements.

- b. The maximum permitted height shall be 6 storeys. The maximum permitted building height in metres shall be regulated through the implementing zoning by-law.
 - c. Given the specific heritage context of the site, the policies in Section 10E of the Official Plan with respect to minimum ground floor heights shall not apply to the properties located in Site Specific Policy Area Number 69. Minimum ground floor heights shall be regulated through the implementing zoning by-law.
 - d. Given the specific heritage context of the site, the policies in Section 10E of the Official Plan with respect to minimum streetwall heights shall not apply to the properties located in Site Specific Policy Area Number 69. Minimum streetwall heights shall be regulated through the implementing zoning by-law.
 - e. The existing site configuration limits the ability for typical setbacks from residential properties. The policies in Section 10E of the Official Plan with respect to setbacks to residential properties shall not apply to the properties located in Site Specific Policy Area Number 69. Setbacks from residential properties will be regulated through the implementing zoning by-law.
 - f. The policies in Section 10E of the Official Plan with respect to setbacks shall not apply to the properties located in Site Specific Policy Area Number 69. Setbacks shall be regulated through the implementing zoning by-law.
3. This By-Law shall come into force and take effect on the later of (a) the day prescribed by the *Planning Act*, and (b) the day that City of Kingston By-Law Number 2021-01 comes into effect, and if City of Kingston By-Law Number 2021-01 does not come into effect, this By-Law shall be of no force and effect.

Given all Three Readings and Passed: [Meeting date]

John Bolognone
City Clerk

Bryan Paterson
Mayor




Planning Services

SCHEDULE 'A' TO BY-LAW NUMBER OFFICAL PLAN AMENDMENT NUMBER 76

Address: 620 Princess Street and 484 Albert Street
File Number: D35-008-2020

LEGEND

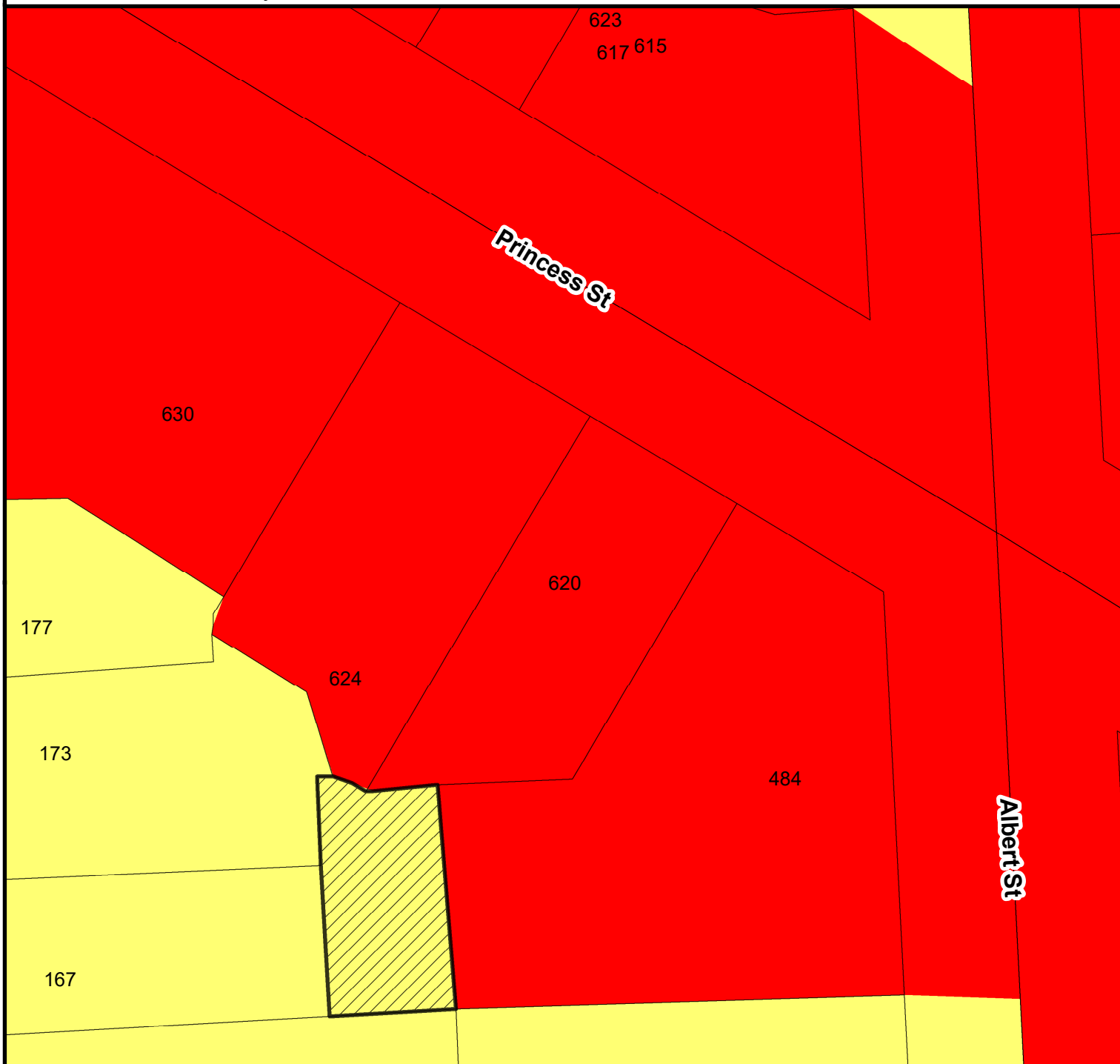
Official Plan Schedule 3-A

 Lands redesignated from Residential to Main Street Commercial

Certificate of Authentication

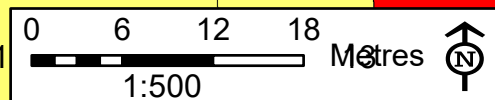
This is Schedule 'A' to By-Law Number _____, passed this _____ day of _____ 2021.

Mayor Clerk



Prepared By: lchu
Date: Jun-11-2021

Addendum Meeting 17 July 13 2021
25





SCHEDULE 'B' TO BY-LAW NUMBER OFFICIAL PLAN AMENDMENT NUMBER 76

Address: 620 Princess Street
and 484 Albert Street
File Number: D35-008-2020


Certificate of Authentication

This is Schedule 'B' to By-Law Number _____, passed this _____ day of _____ 2021.

LEGEND

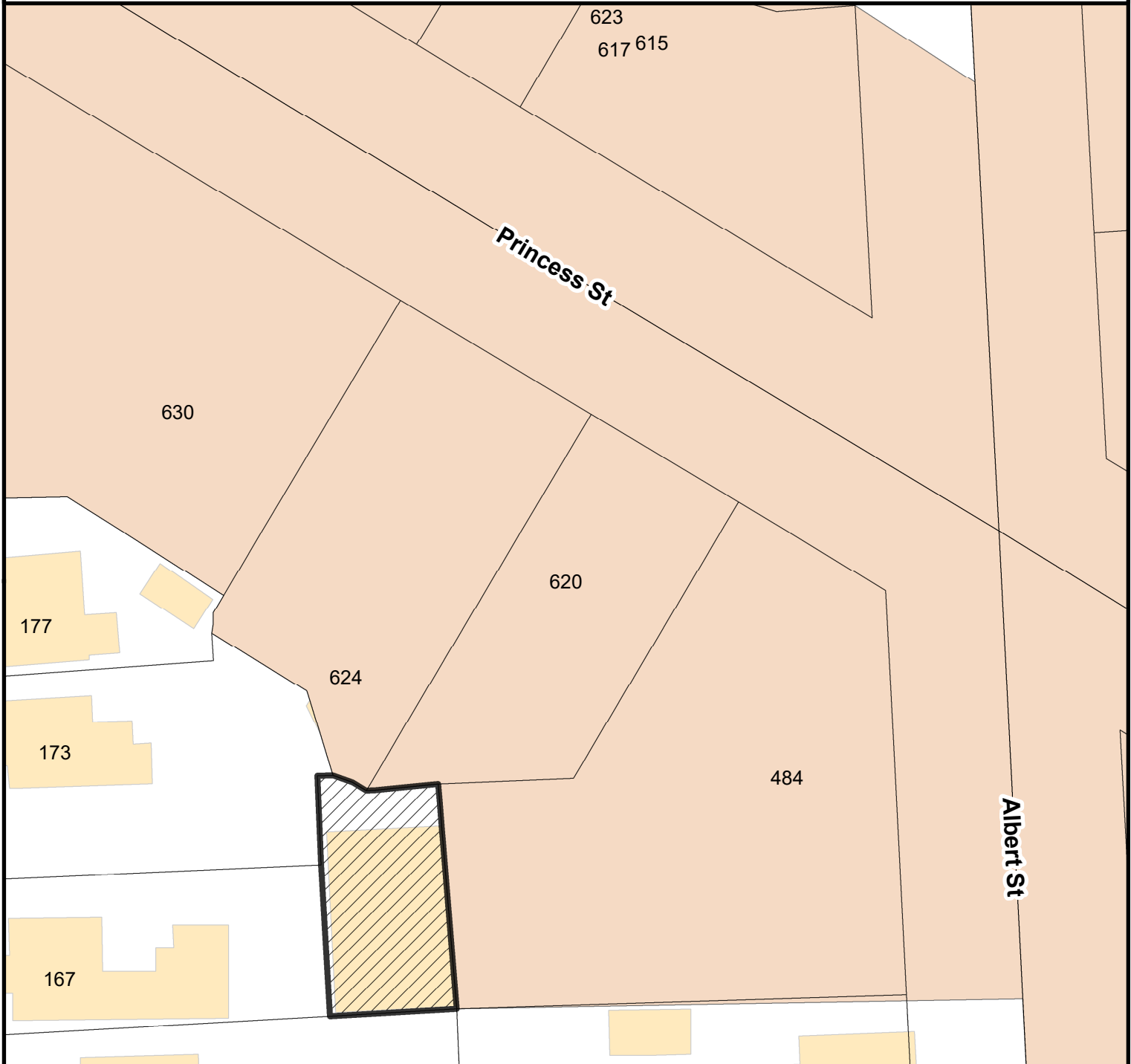
Official Plan Schedule PS-1

 PS-1 Princess St Corridor

 Lands added to the
Williamsville Main Street
Corridor Area

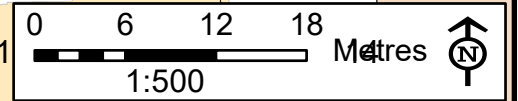
Mayor

Clerk



Prepared By: lchu
Date: Jun-11-2021

Addendum Meeting 17 July 13 2021
26






SCHEDULE 'C' TO BY-LAW NUMBER OFFICIAL PLAN AMENDMENT NUMBER 76

Address: 620 Princess Street
and 484 Albert Street
File Number: D35-008-2020

LEGEND

Official Plan Schedule 3-D

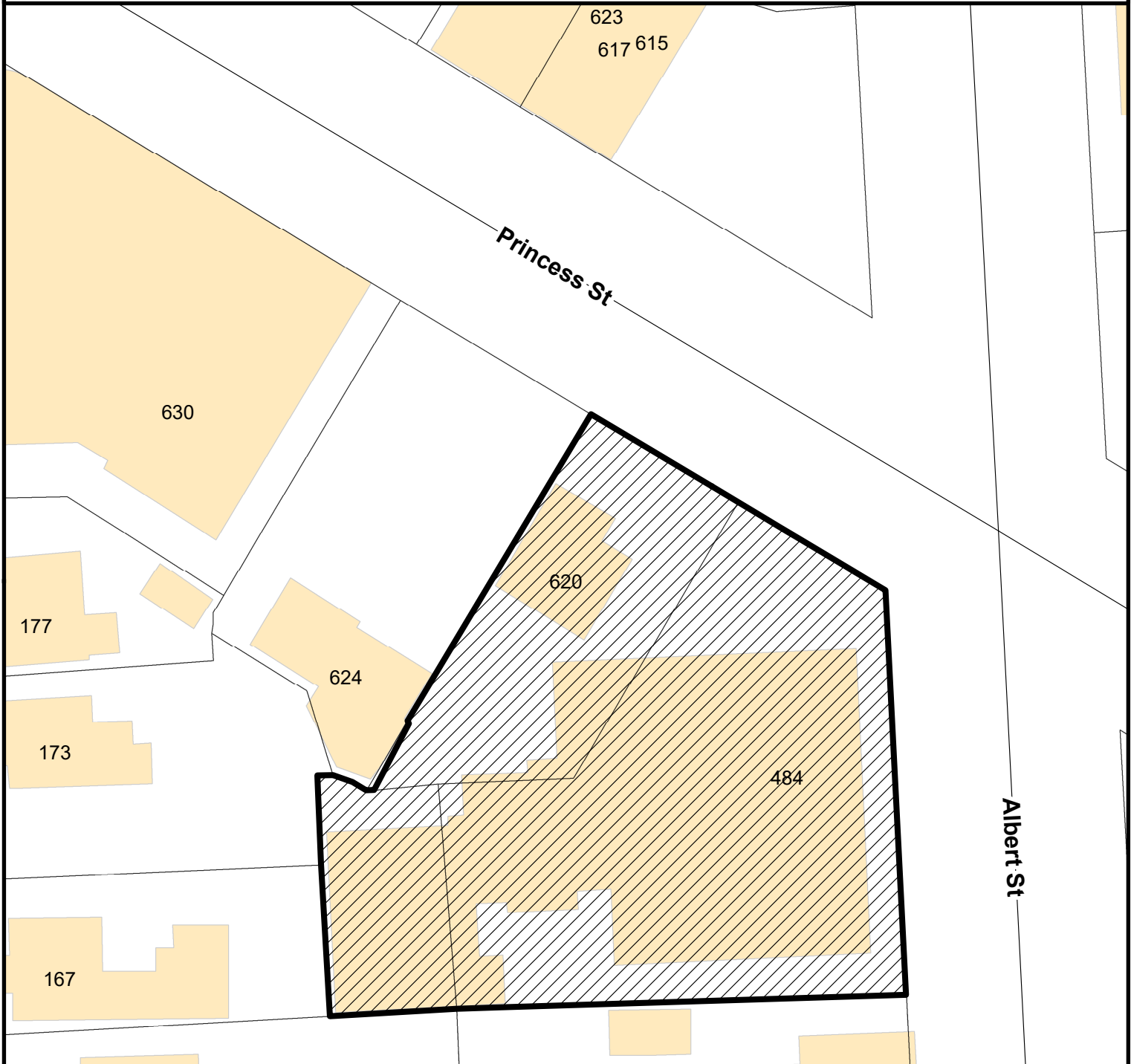
 Lands subject to
new Special Policy Area
Number 69

Certificate of Authentication

This is Schedule 'C' to By-Law Number _____, passed this _____ day of _____ 2021.

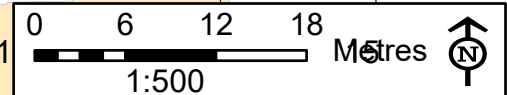
Mayor

Clerk



Prepared By: lchu
Date: Jun-11-2021

Addendum Meeting 17 July 13 2021
27



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By-Law Number 2021-__

A By-Law to Amend By-Law Number 8499, “Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston” (Zone Change from Williamsville Main Street Commercial ‘C4-H’ Zone to Special Williamsville Main Street Commercial ‘C4-609’ Zone, 484 Albert Street and 620 Princess Street)

Passed: [Meeting Date]

Whereas by Order of the Minister of Municipal Affairs and Housing, The Corporation of the Township of Kingston, The Corporation of the Township of Pittsburgh and The Corporation of the City of Kingston were amalgamated on January 1, 1998 to form The Corporation of the City of Kingston as the successor municipal corporation and pursuant to the Minister’s Order, any by-laws of the former municipality passed under the *Planning Act* continue as the by-laws covering the area of the former municipality now forming part of the new City; and

Whereas the Council of The Corporation of the City of Kingston deems it advisable to amend By-Law Number 8499, as amended, of the former City of Kingston;

Therefore be it resolved that the Council of The Corporation of the City of Kingston hereby enacts as follows:

1. By-Law Number 8499 of The Corporation of the City of Kingston, entitled “Restricted Area (Zoning) By-Law of The Corporation of the City of Kingston”, as amended, is hereby further amended as follows:
 - 1.1. Map 20 of Schedule “A”, as amended, is hereby further amended by changing the zone symbol of the subject site from Williamsville Main Street Commercial ‘C4-H’ Zone to Special Williamsville Main Street Commercial ‘C4-609’ Zone, as shown on Schedule “A” attached to and forming part of By-Law Number 2021-__.
 - 1.2. By **adding** the following Section 609 in Part VIII – Exceptions to the Various Zone Classifications, as follows:

“(609) 484 Albert Street and 620 Princess Street

Notwithstanding the provisions of Sections 5 and 23 hereof to the contrary, on the lands designated ‘C4-609’ on Schedule ‘A’ hereto, the following regulations shall apply:

- (a) Additional Permitted Uses: The Kingston Youth Services Hub, which shall consist of, but not be limited to: drop-in programs,

including psychiatry counselling services and occasional medical services; a youth culture, banqueting and performing arts facility; transitional, emergency and supportive housing, which includes a continuum of housing options; a retail café, and a jobs skills centre.

- (b) Maximum Height: No part of any building shall exceed the height limits in metres as shown on Schedule 'B', attached to and forming part of By-Law Number 2021-____, with a maximum 5% variance on noted heights permitted, subject to subsection (h) below.
- (c) Streetwall Height
 - (i) Princess Street Frontage: The minimum streetwall height for all buildings and structures shall be 6.5 metres.
 - (ii) Albert Street Frontage:
 - a. The minimum streetwall height for all buildings and structures shall be 6.0 metres.
 - b. The maximum streetwall height for all buildings and structures shall be 14.0 metres.
- (d) Minimum building frontage requirements specified in this By-Law shall not apply.
- (e) Setbacks and Stepbacks: Minimum setback and stepback requirements shall be as shown on Schedule 'B' attached hereto and forming part of By-Law Number 2021-____, with a maximum 5% variance on noted dimensions permitted.
- (f) Projections into Required Setbacks: Banding, solar shading, canopies, barrier free ramps, stairs, and similar features shall be permitted to project into required setbacks, if approved under a Site Plan Control Agreement.
- (g) Ground Floor Conditions:
 - (i) Princess Street Frontage: The first storey of a building shall have a minimum floor to floor height of 3.3 metres.
 - (ii) Albert Street Frontage: The first storey of a building shall have a minimum floor to floor height of 4.1 metres.
- (h) Rooftop Mechanical Equipment
 - (i) Notwithstanding the provisions of Subsection (b) of this Section 608, rooftop mechanical equipment shall be permitted to exceed the maximum allowable building height by up to 4 metres, provided it does not cover more than 15% of the rooftop area on which it is located, in the aggregate, and is not located closer than 2.5 metres to the edge of a roof.
 - (i) Parking Spaces: No vehicular parking spaces shall be required for the Kingston Youth Services Hub use.

- (j) Loading Space Requirements: A minimum of 1 loading space shall be required.
 - (k) Bicycle Parking Requirement (minimum):
 - (i) A minimum of 60 covered and secure bicycle parking spaces shall be required.
 - (ii) Wall mounted racking systems shall have minimum dimensions of 0.6 metres wide by 1.8 metres high.”
2. This By-Law shall come into force and take effect on the later of (a) the day prescribed by the *Planning Act*, and (b) the day that City of Kingston By-Law Number 2021-02 comes into effect, and if City of Kingston By-Law Number 2021-02 does not come into effect, this By-Law shall be of no force and effect.

Given all Three Readings and Passed: [Meeting Date]

John Bolognone
City Clerk

Bryan Paterson
Mayor



Schedule 'A' to By-Law Number

Address: 620 Princess Street
and 484 Albert Street
File Number: D35-008-2020

Certificate of Authentication

This is Schedule 'A' to By-Law Number _____, passed this _____ day of _____ 2021.

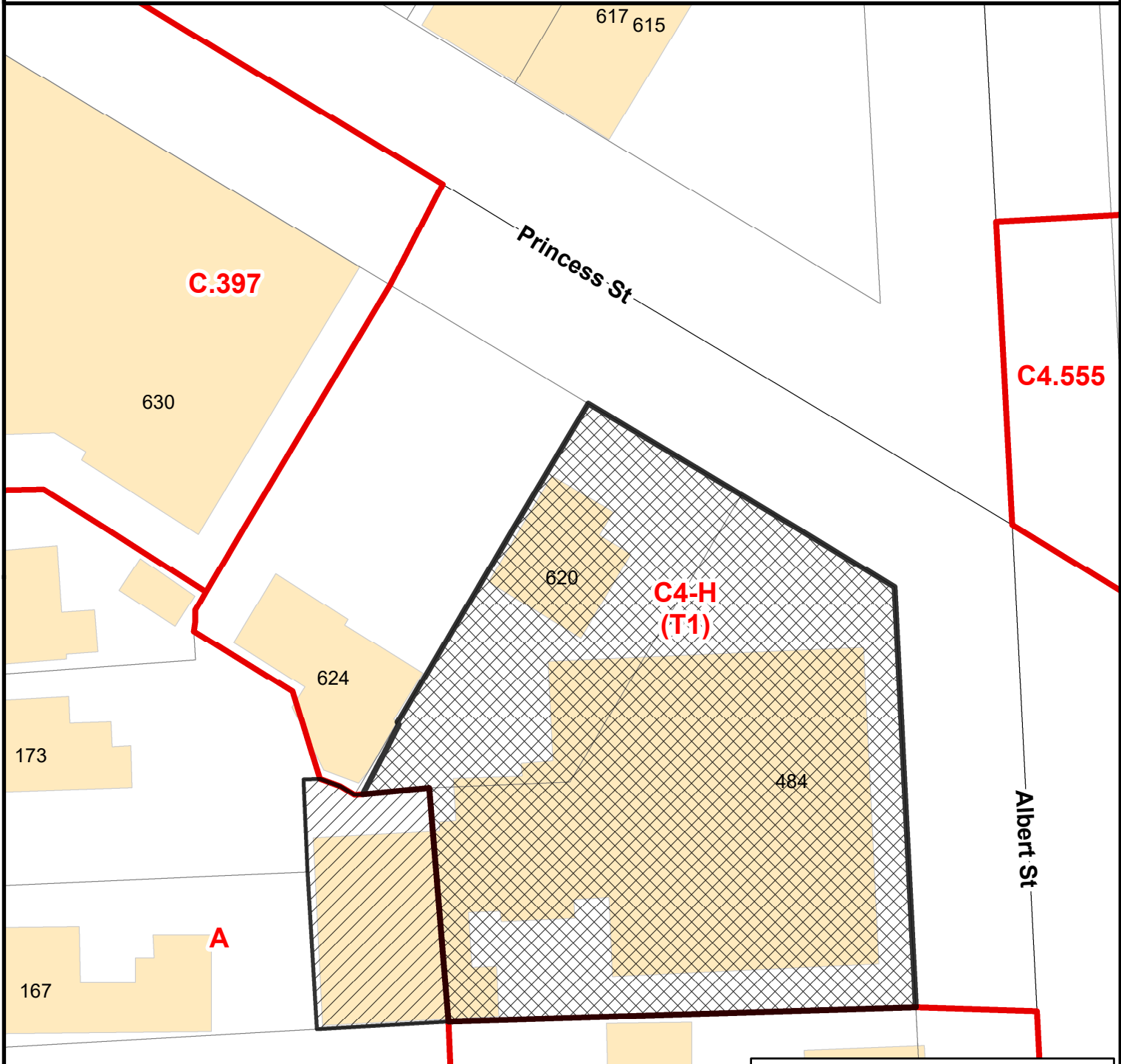
Mayor

Clerk

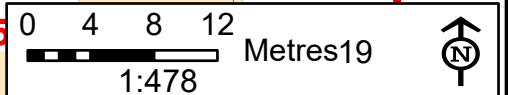
Reference By-Law 8499, Map 19, 20

 Rezoned from A to C4-609

 Rezoned from C4-H (T1) to C4-609



Addendum Meeting 17 July 13 2021



Prepared By: Ichu
Date: Jun-03-2021

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Schedule 'B' to By-Law Number

Address: 620 Princess Street
and 484 Albert Street
File Number: D35-008-2020

Certificate of Authentication

This is Schedule 'B' to By-Law Number _____, passed this _____ day of _____ 2021.

Reference By-Law 8499, Map 19, 20

Label

— Setbacks

Mayor

Clerk

