



**City of Kingston  
Report to Heritage Kingston  
Report Number HK-21-033**

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**To:** Chair and Members of the Heritage Kingston  
**From:** Paige Agnew, Commissioner, Community Services  
**Resource Staff:** Jennifer Campbell, Director, Heritage Services  
**Date of Meeting:** June 16, 2021  
**Subject:** Application for Heritage Permit  
**Address:** 274 Johnson Street P18-642  
**File Number:** P18-035-2021

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**Council Strategic Plan Alignment:**

Theme: Corporate business

Goal: See above

**Executive Summary:**

The subject property with the municipal address of 274 Johnson Street is located on the southside of Johnson Street between Barrie and Clergy Streets and is designated under both Parts IV and V of the *Ontario Heritage Act*.

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-035-2021) has been submitted to request approval to repair and renovate the exterior of the existing stone outbuilding/garage located to the rear of the property.

This application was deemed complete on May 10, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on August 8, 2021.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

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**Recommendation:**

**That** Heritage Kingston supports Council approval of the following:

**That** alterations to the property at 274 Johnson Street, be approved in accordance with details described in the application (P18-035-2021), which was deemed completed on May 10, 2021 with said alterations to include:

1. Widening of the existing garage door opening;
2. Rebuilding the wood frame section of wall on the second floor of the south elevation;
3. Cladding the rebuilt section of the frame wall with vertical wood siding;
4. Installing three new windows in the rebuilt frame wall;
5. Installing a new garage door on the south elevation;
6. Repairing the roof, including the wooden eave, and installing new black asphalt shingle roofing;
7. Repointing the stone masonry walls as needed; and

**That** the approval of the alterations be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. Heritage staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
3. Details, including colour(s) of the new windows, wood cladding, and garage door shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure they complement the heritage character and attributes of the property;
4. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
5. Plain/solid coloured dark asphalt shingles shall be installed as the new roofing material;
6. The existing wooden eave shall be repaired with like-for-like detailing;
7. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
8. The property owners are encouraged to salvage any usable stone units removed as part of the garage door widening for future repairs to the garage, in landscaping on the property or for other heritage conservation purposes in the city.
9. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Heritage Services for review and approval.

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**Authorizing Signatures:**

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,  
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief  
Administrative Officer**

**Consultation with the following Members of the Corporate Management Team:**

|   |              |
|---|--------------|
| Peter Huigenbos, Commissioner, Business, Environment & Projects | Not required |
| Brad Joyce, Commissioner, Corporate Services                    | Not required |
| Jim Keech, President & CEO, Utilities Kingston                  | Not required |
| Desirée Kennedy, Chief Financial Officer & City Treasurer       | Not required |
| Sheila Kidd, Commissioner, Transportation & Public Works        | Not required |

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**Options/Discussion:****Description of Application/Background**

The subject property is located at 274 Johnson Street (Exhibit A). The property contains a two-storey brick house, which was constructed by 1875 as part of the Wesley Terrace. The property is designated under both Parts IV and V of the *Ontario Heritage Act* through By-Law Number 8497, as amended by By-Law Number 8892 to expand the reasons for designation, and through By-Law Number 2015-67 as part of the Old Sydenham Heritage Conservation District.

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-035-2021) has been submitted to request approval to renovate the exterior of the existing stone outbuilding/garage that is located to the rear of the property and adjacent to the laneway that connects Clergy and Barrie Streets.

Supporting information, including concept plans, have been prepared and submitted by the applicant and agent, Mac Gervan, as Exhibit B of this report. The proposal includes widening the existing garage door opening to accommodate the parking of two vehicles; repairing and replacing the wood frame section of wall on the second floor and re-cladding it with a pre-stained vertical v-groove wood siding; the installation of three new windows on the second floor of the south elevation; the installation of a new garage door on the south elevation; the repair of the existing roof structure, installation of black asphalt shingle roofing and like-for-like repair of the existing wooden eave; and minor re-pointing of the stone masonry walls as needed. No changes are proposed to the north and east elevation, and the west elevation of the garage directly abuts the neighbouring outbuilding.

This application was deemed complete on May 10, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on August 8, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

**Reasons for Designation/Cultural Heritage Value**

The property was designated under Part IV of the *Ontario Heritage Act* in 1975 through By-Law Number 8497, as amended through By-Law 8892 in 1976 to expand the reasons for designation. The property was also designated in 2015 as part of the Old Sydenham Heritage Conservation District (HCD) through By-Law Number 2015-67. The HCD Property Inventory notes that the subject property is Significant to the District.

By-Law Number 8892 describes the building as follows:

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“Wesley Terrace is a handsome row of brick faced dwellings across from St. Mary’s Roman Catholic Cathedral and the Bishop’s Palace. It was built for William Anglin (1836-1886) and named by him although it was sometimes referred to as Tossell’s Buildings. This is an excellent example of a quality row on a good residential street. It is mainly unaltered.”

The Property Inventory Form describes the building as follows:

“Wesley Terrace, 272, 274, 276, 282 and 286 Johnson Street has always been a distinguished address, directly across from St. Mary’s Cathedral. The extended repetition of classical elements – semi-circular arched door openings; window openings with louvered shutters (Many still with iron ‘shutter dogs’); parapeted side gables with chimneys at the gable peaks and stone corbels at the eaves, as well as the excellent sense of proportion between the three bays on each storey make for an extremely satisfying composition.”

The full description and evaluation have been included as Exhibit C.

### **Cultural Heritage Analysis**

Staff visited the subject property on May 13, 2021. The existing stone outbuilding/garage is located to the rear of the property and adjacent to the laneway that connects Barrie and Clergy Streets. Given the rowhouse form of the Wesley Terrace, the outbuilding is not visible from Johnson Street, but can be viewed from the east and west along the rear laneway. Neither the Part IV designation by-laws nor the Property Inventory Form identify or describe the stone outbuilding/garage to the rear of 274 Johnson Street. However, Section 2.3.3 of the Old Sydenham HCD contains a list of the heritage attributes for the ‘Beyond Bagot’ sub-area, which lists “rear lanes on some blocks, with outbuildings” as a heritage attribute of the sub-area. The age of the stone outbuilding is unknown, but its limestone rubble would suggest that it was built around the same time as the house (i.e. by 1875). Unquestionably, the stone outbuilding’s presence and visibility on the laneway contributes to the character of the Old Sydenham HCD and the public’s experience of the District.

The Old Sydenham HCD Plan does not contemplate or provide detailed guidance for the alteration of historic outbuildings in the District. However, in assessing the proposed alterations, Staff have utilized sections of the Old Sydenham HCD Plan, namely Section 7.2 General Guidelines for Streetscapes and Landscapes, Section 5.3.2 Windows and Section 5.3.3 Cladding as well as the City’s Policy for Window Renovations in Heritage Buildings, and the City’s Policy for Masonry Restoration in Heritage Buildings.

Section 7.2 General Guidelines for Streetscapes and Landscapes acknowledges that laneways are important heritage attributes of the district and should be recognized as rights-of-way which may provide access to private rear yards, accessory structures, and parking areas. The proposal to renovate the exterior of the stone outbuilding/garage will continue to support the function of the adjacent laneway, in the same way that the laneway supports the use of the outbuilding. The renovations to the exterior of the stone outbuilding/garage largely represent preservation and rehabilitation activities as defined by Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada. The proposal to repoint the

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masonry as needed and to rebuild the frame wall will improve the water tightness of the envelope. The proposal to widen the existing garage door opening will allow the outbuilding to comfortably accommodate two vehicles and continue to provide a useful function for the primary dwelling. In other words, the proposed improvements will ensure the long-term conservation of this historic outbuilding, which supports the conservation and use of the historic laneway, a heritage attribute of the District.

The outbuilding appears to have had one existing opening on the second floor of the south elevation at one point in time, though it is now boarded over (see Exhibit A). Section 5.3.2 of the HCD Plan titled Windows, advises against creating new window openings for windows on façades visible from the street. Staff believe that the intent of this guideline is referencing Johnson Street in this context and that the HCD Plan was not considering new window openings facing rear laneways. Accordingly, Staff have assessed the impact of the new openings on the character of the outbuilding and the laneway as a secondary 'street'. The three new window openings in the rebuilt frame wall on the second floor are aligned symmetrically within the composition of the south elevation and are narrow and tall in their proportions. Although not viewed directly in relation to the main house, this symmetry and vertical emphasis, which is characteristic of the classical style of the main house, is well reflected in the outbuilding. The proposed windows are one-over-one 'Marvin' fibreglass windows, which comply with Section 5.3.2 and with the City's Policy on Window Renovations in Heritage Buildings.

Section 5.3.3 of the HCD Plan addresses cladding on heritage buildings. The outbuilding is constructed of rubble stone masonry and the proposal includes repointing of the masonry joints as needed. This will maintain one of the key heritage attributes, the limestone walls, of the outbuilding. There is an existing section of frame wall on the second floor of the south elevation which is in poor repair and proposed to be rebuilt. It is currently clad in wood siding. The proposal is to clad the rebuilt wall in vertical v-groove wood siding. Section 5.3.3 advises that horizontal siding is preferred to board and batten. Given that this is an outbuilding and not the primary house, the vertical orientation of the wood siding is appropriate. Additionally, wood is a traditional building material and will be complementary to the adjacent stone walls.

The application also proposes the enlargement or widening of the existing garage door opening. The applicant wishes to be able to comfortably accommodate two vehicles and at present, the current opening is not of a sufficient size. This proposal will necessitate the removal of a portion of stone wall at the ground and second floors. Given the relatively small portion of wall to be removed and the improved modern functionality of the outbuilding/garage, this seems an acceptable loss. Stone will continue to be the primary building material and a key expression of its character. A condition has been included that the property owners salvage the dismantled stones for future use on the property or for other heritage conservation activities in the city. The surrounding structural frame to the opening will be either concrete or parged blockwork. The enlarged opening will require a new garage door, which should be simple and restrained in its design. A condition has been included that the detailed garage door design be submitted to Staff for their review to ensure its compatibility with the heritage character of the stone outbuilding.

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The last two components of the proposal include the repair of the roof and the repointing of stone masonry as needed. On site, Staff observed some sagging in the current roof and damage to the wooden eave. The existing roof is a simple metal sheet roof and appears heavily worn. The applicant is proposing to repair the roof structure and install black asphalt roofing to match that on the main house and to repair the wooden eaves in like-for-like detail, as needed. This proposal will maintain the simple and unadorned outbuilding character of the garage and laneway. However, Staff have included a condition requiring that plain/solid dark coloured asphalt shingles are used as opposed to 'architectural' or 'variegated' ones. In terms of the limestone masonry walls, Staff did not observe large areas of missing mortar on the south and east elevations, where visible from the public realm. However, the widening of the garage door opening and the rebuilding of the frame wall on the second floor may necessitate some repointing work at these junctures. A condition has been included that all masonry works comply with the City's Policy on Masonry Restoration in Heritage Buildings.

In summary, the proposed alterations will conserve the cultural heritage value and attributes of the outbuilding as well as of the Old Sydenham HCD. The alterations are oriented towards the laneway and will have no impact on the cultural heritage value or attributes of the main house. The alterations will conserve both the built heritage fabric of this building as well as its functionality over the long-term, thereby sustaining the historic use of this laneway in the district.

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries' Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 7 and 8:
  - Legibility – new work to be distinguishable from old; and
  - Maintenance – with continuous care, future restoration will not be necessary.
- Achieve Standards 11 of Parks Canada's Standards and Guidelines:
  - Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

### Previous Approvals

None.

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### Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

**Planning Act Considerations:** The subject property is designated 'Residential' on Schedule 3-A Land Use of the Official Plan and is zoned B in Zoning By-Law Number 8499. The proposed renovations to the existing outbuilding do not require any type of Planning Act application. If the applicant wishes to change the use or built form of this outbuilding/garage, a Planning Act approval may be required.

**Building Division:** A building permit will be required for any exterior and interior alterations/modifications to the existing accessory structure.

### Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit D.

Responding members provided that they largely had no concerns with the proposal. One member commented that the loss of a portion of the stone masonry is unfortunate but that the widening of the opening for two vehicles is understandable. Another member commented that the salvaged stones could be used for future repairs or landscaping on the property, and accordingly, Staff have included a condition to this effect. Lastly, a member commented that the design of the garage door should include simple flat panels, with divided windows that break up the impression of a long horizontal expanse of window. Staff have included a condition that the finalized design of the garage door be submitted for review to ensure it complements that heritage character of the stone outbuilding.

### Conclusion

Staff recommends approval of the application File Number (P18-035-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

### Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

*Ontario Heritage Act*, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan



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By-Law Number 2013-141 Procedural By-Law for Heritage

Old Sydenham Heritage Conservation District Plan

Designating By-Law Number 2015-67

Designating By-Law Number 8892

City's Policy on Window Renovations in Heritage Buildings

City's Policy on Masonry Restoration in Heritage Buildings

**Notice Provisions:**

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

**Accessibility Considerations:**

None

**Financial Considerations:**

None

**Contacts:**

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Alex Rowse-Thompson, Planner, Heritage 613-546-4291 extension 3251

**Other City of Kingston Staff Consulted:**

None.

**Exhibits Attached:**

Exhibit A Context Maps and Photographs

Exhibit B Supporting Information, prepared by Mac Gervan

Exhibit C By-Law Number 8892 and Old Sydenham HCD Property Inventory Form

Exhibit D Correspondence Received from Heritage Kingston

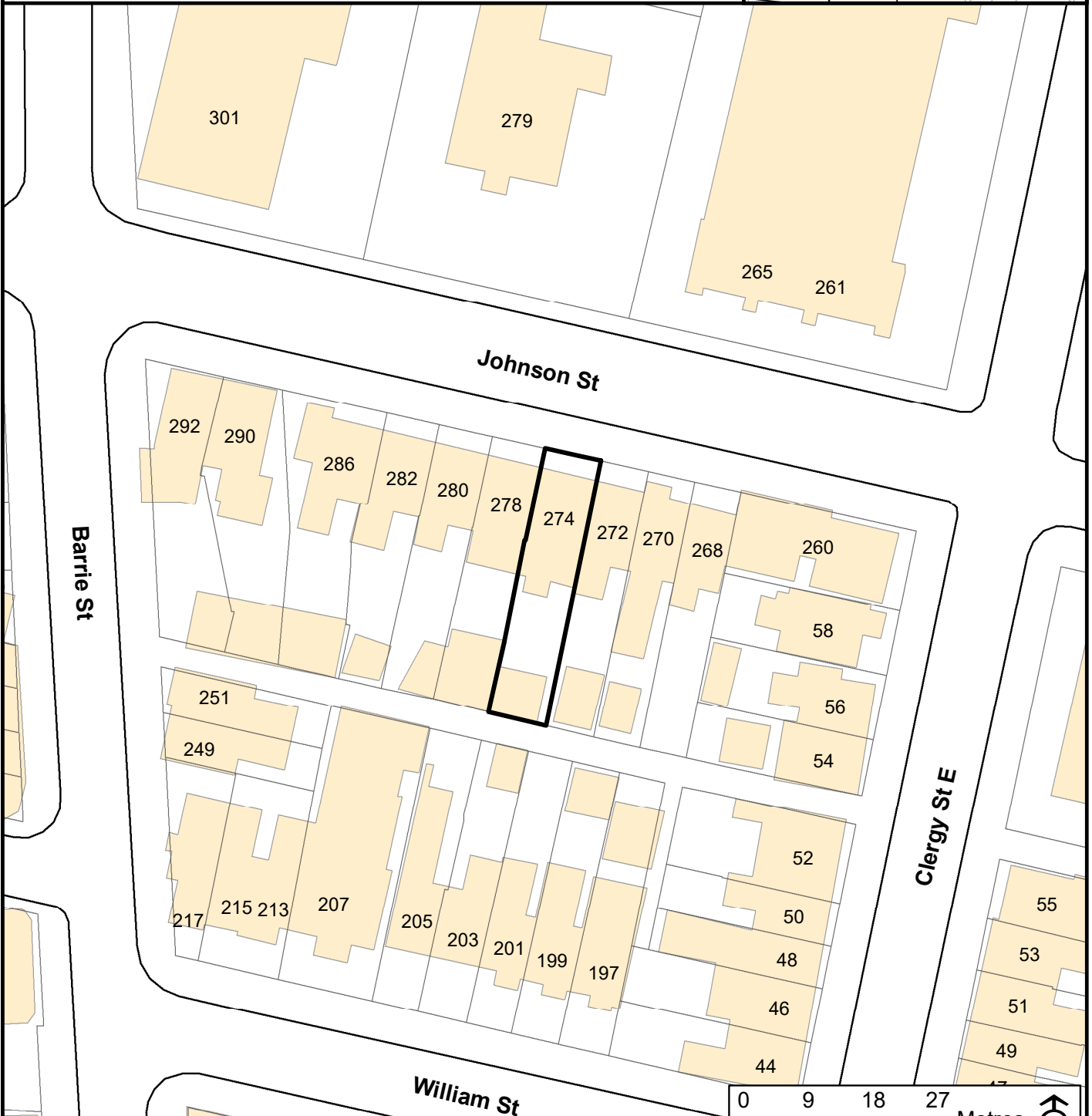
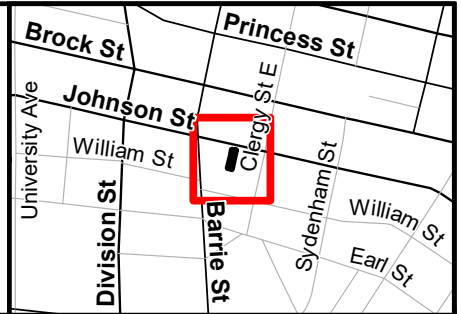
Exhibit E Final Comments from Heritage Kingston June 16, 2021



Heritage Kingston Committee  
**Key Map**

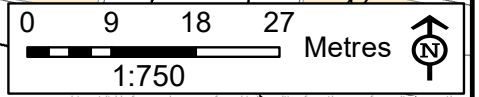
Address: 274 Johnson St  
File Number: P18-035-2021

 Subject Lands



Prepared By: adowker  
Date: May 10-2021

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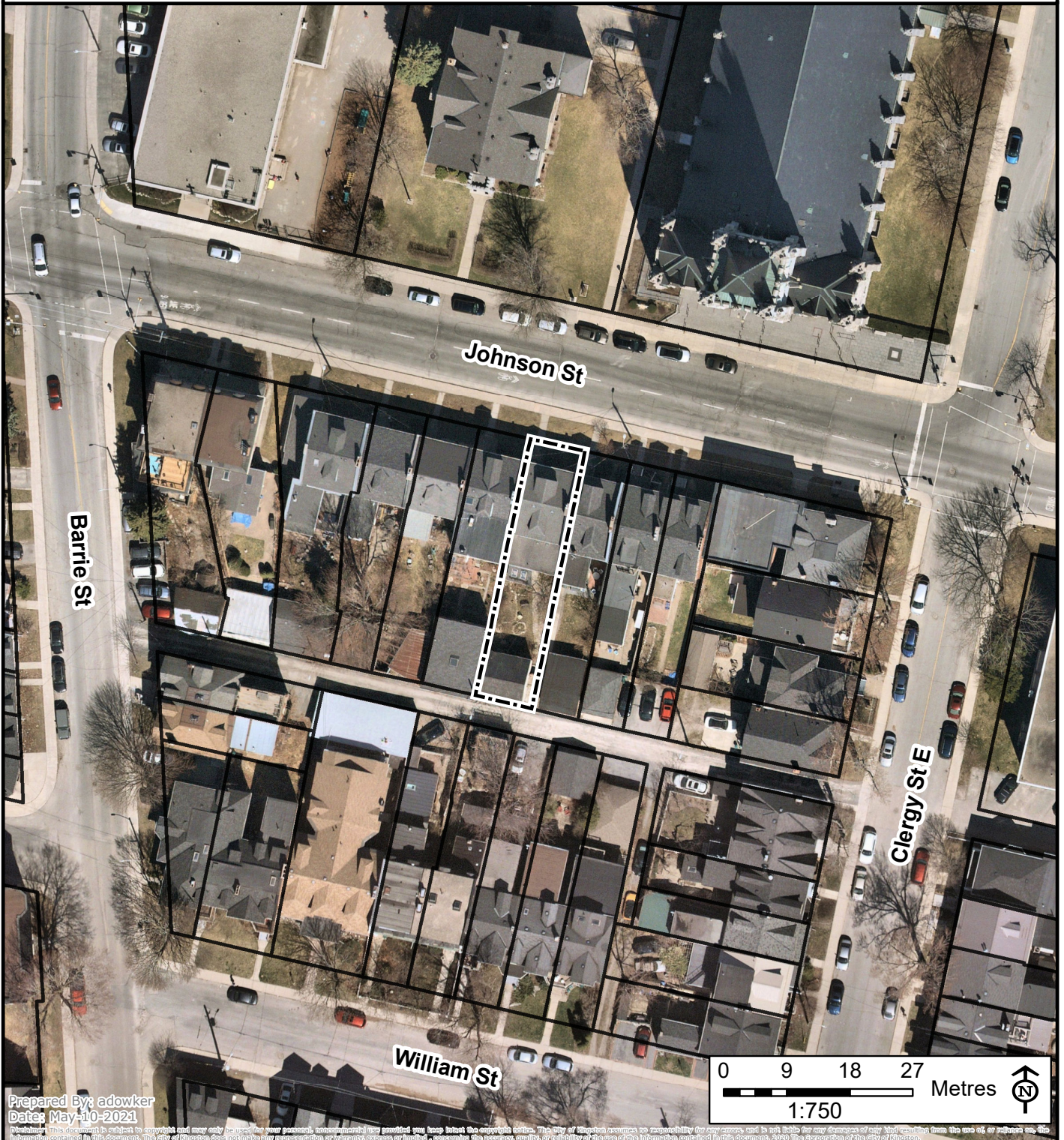




# Heritage Kingston Committee Neighbourhood Context (2020)

Address: 274 Johnson St  
File Number: P18-035-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels

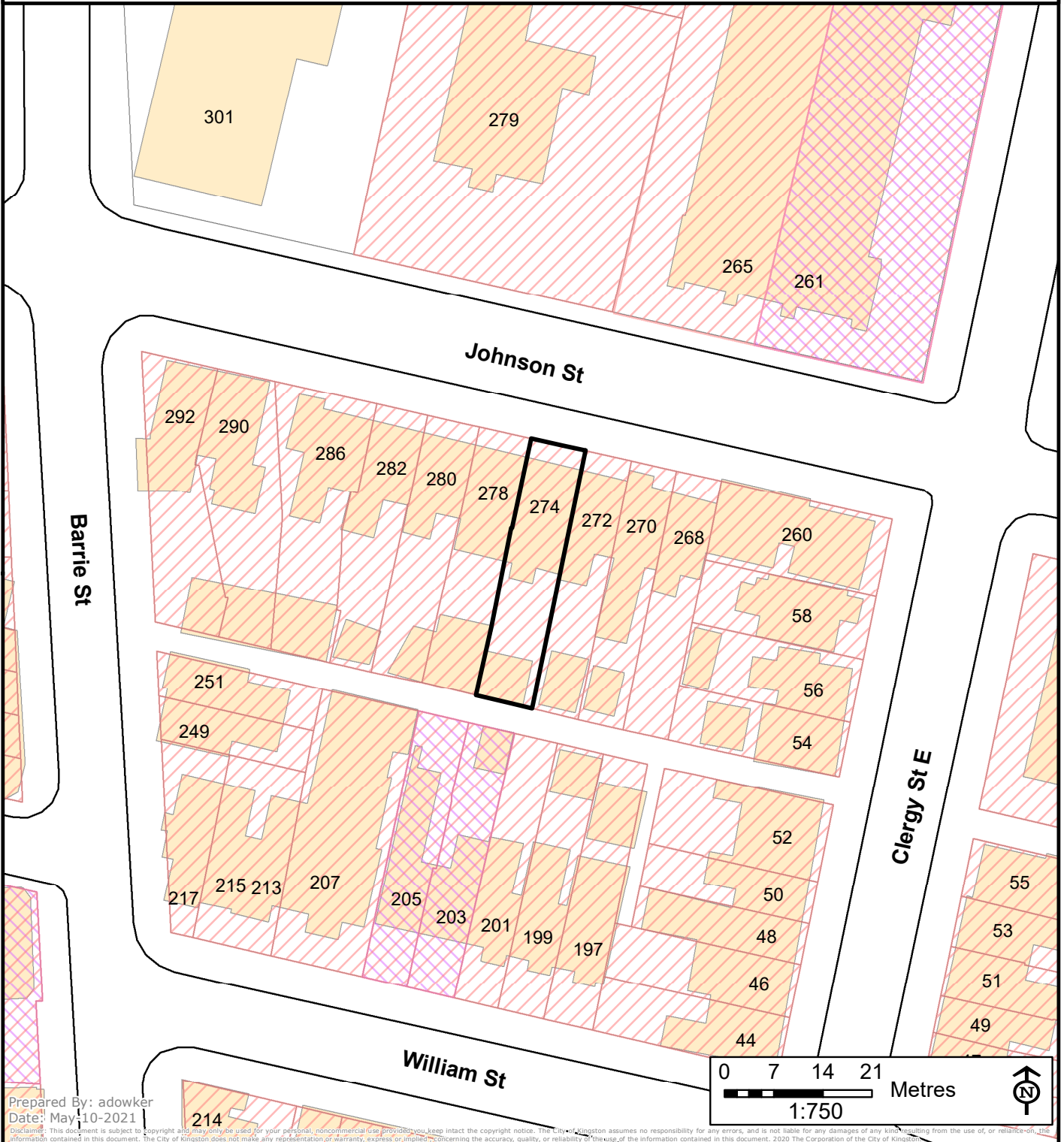




Heritage Kingston Committee  
**City of Kingston Heritage Register**

Address: 274 Johnson St  
File Number: P18-035-2021

- Subject Lands (Old Sydenham Heritage Conservation District)
- Designated Property
- Easement

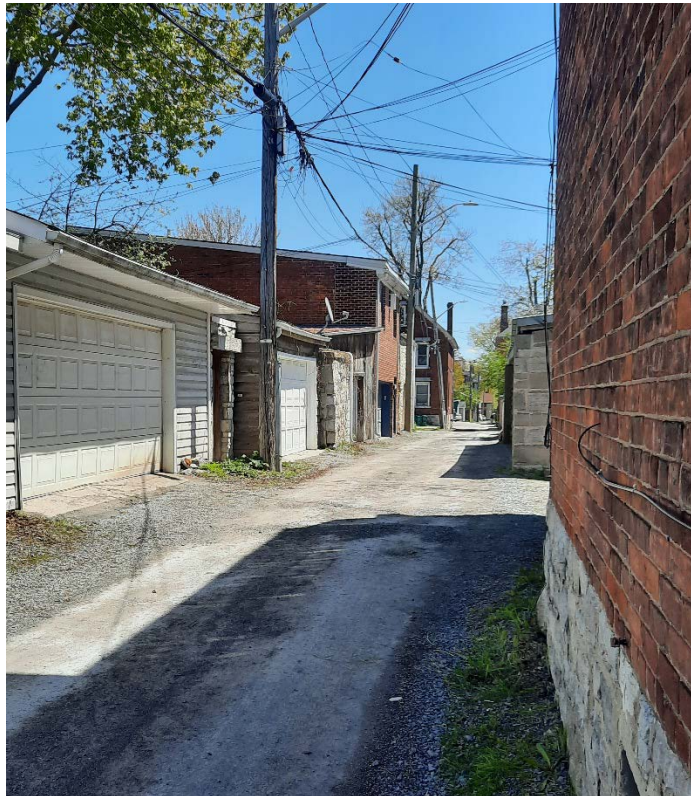


Prepared By: adowker  
Date: May-10-2021

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**Front elevation of 274 Johnson Street**



**View looking east along laneway from Barrie Street**



View looking east along laneway with 274 Johnson St. outbuilding in background



Outbuilding at 274 Johnson Street



South elevation of outbuilding at 274 Johnson Street



View looking west along laneway from Clergy Street



PHOTO OF EXISTING 1 1/2 STOREY GARAGE FROM SOUTHEAST

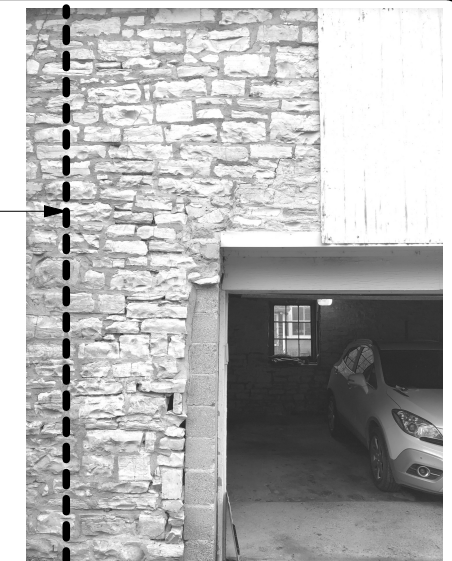
No alterations to East & North Limestone walls.

ROOF REPAIR:  
REINFORCE INTERIOR RAFTERS. (SAG)  
REPAIR FASCIA BOARDS. (WITH WOOD)  
NEW PLYWOOD SHEATHING OVER EX. BOARDS.  
NEW ASPHALT SHINGLES. (BLACK, MATCH HOUSE)

New windows, 24 X 48 double hung  
Marvin fibreglass. 1 over 1.

Secure limestone masonry  
at new wall termination.

Re-frame wall above new beam.  
Vertical pre-stained v groove siding.  
Light taupe colour.



3' (+/-)

Existing portion of  
wall to be removed.

Reclaim 2nd storey wall face currently  
under corrugated metal siding.

No change to east door.

Increase width of doorway to 17'.

Excavate for new column footings.  
Secure limestone below grade.

Concrete or parged block structure.

New overhead garage door.  
Painted steel with foam core.  
Taupe colour to match/complement  
siding and trims.

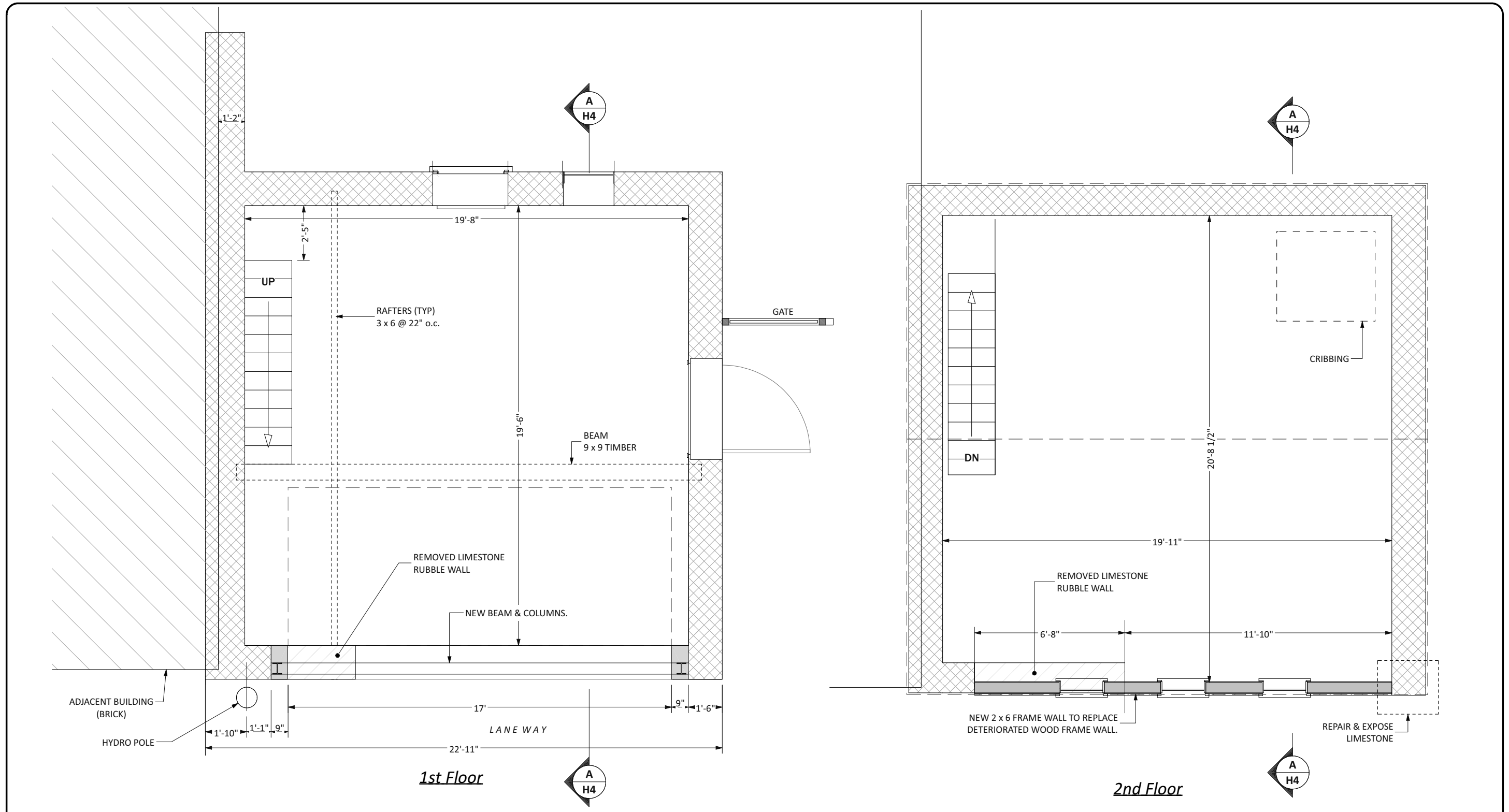
**SCOPE OF PROJECT:**  
EXTEND GARAGE DOOR WIDTH.  
REPAIR DERELICT 2nd STOREY FRAMED WALL.

Perspective of Garage from the Southeast.

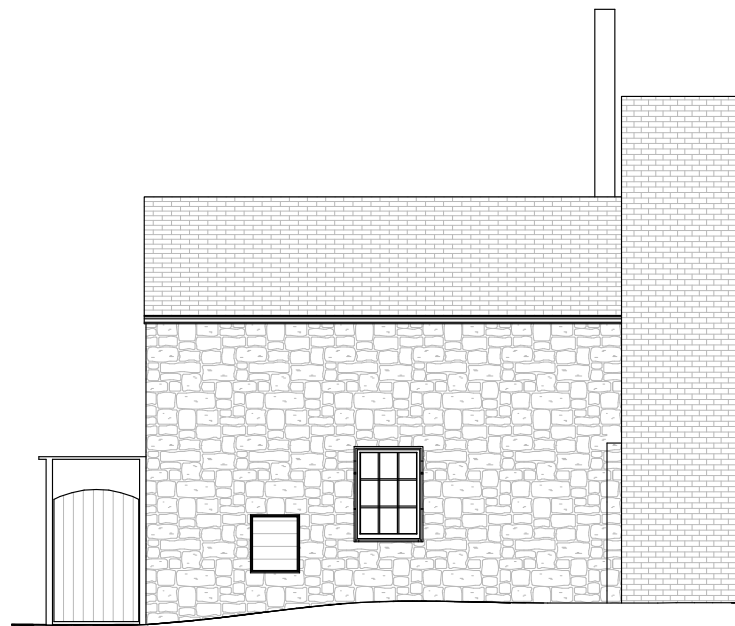


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|-----------------------------------|--|---|---|----|-------|-------------|----|-------------|--|----|------------|--|----|------------|--|--|--|--|
| <p>Drawn By:<br/><b>MG/GF</b></p> | <p><b>Mac GERVAN &amp; ASSOCIATES Ltd.</b></p> <p>Residential and Commercial Design Services<br/>Consulting and Project Management</p> <p>phone 546-5097<br/>fax 546-6249<br/>e-mail mac@gervan.ca<br/>Company BCIN # 33630<br/>Mac Gervan BCIN# 21054</p> | <p>Revisions:<br/>MAY 6, 2021.<br/>DETAILS ADDED.</p> <p>MAY 18, 2021.<br/>ROOF REPAIR ADDED. Dwg. H1</p> | <p>Contents:</p> <table border="1"> <tr> <td>H1</td> <td>COVER</td> <td>PERSPECTIVE</td> </tr> <tr> <td>H2</td> <td>FLOOR PLANS</td> <td></td> </tr> <tr> <td>H3</td> <td>ELEVATIONS</td> <td></td> </tr> <tr> <td>H4</td> <td>SECTION AA</td> <td></td> </tr> </table> | H1 | COVER | PERSPECTIVE | H2 | FLOOR PLANS |  | H3 | ELEVATIONS |  | H4 | SECTION AA |  | <p>Project:<br/>PAUL &amp; LINDA VELLA<br/>274 JOHNSON ST (Laneway)<br/>KINGSTON, ON</p> <p>COACH HOUSE RENO</p> | <p>Drawing:<br/>COVER<br/>PERSPECTIVE</p> <p>ISSUE FOR HERITAGE APP.</p> | <p>Date:<br/>APR. 29, 2021</p> <p>Scale:</p> <p>File:<br/>VELLA COACH HOUSE HERITAGE APP MAY 1 2021 printed 19/05/2021</p> <p>Drawing #:<br/><b>H1</b></p> |
| H1                                | COVER  | PERSPECTIVE   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |  |  |
| H2                                | FLOOR PLANS  |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |  |  |
| H3                                | ELEVATIONS   |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |  |  |
| H4                                | SECTION AA   |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |  |  |



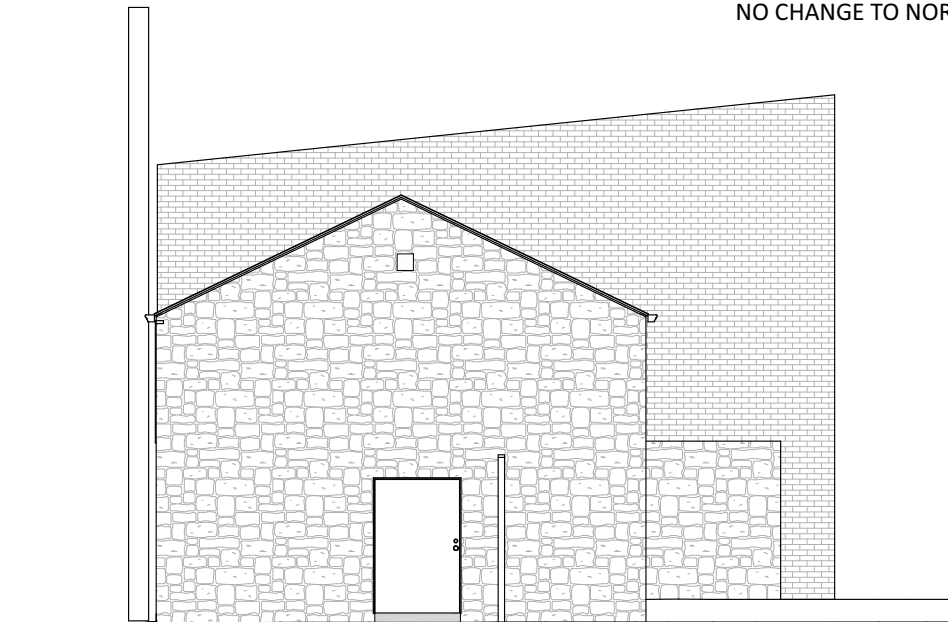


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| <p>Drawn By:<br/>MG/GF</p> | <p><b>Mac GERVAN &amp; ASSOCIATES Ltd.</b></p> <p>Residential and Commercial Design Services<br/>Consulting and Project Management</p> <p>phone 546-5097<br/>fax 546-6249<br/>e-mail mac@gervan.ca<br/>Company BCIN # 33630<br/>Mac Gervan BCIN# 21054</p> | <p>Revisions:</p> <p>MAY 6, 2021.<br/>DETAILS ADDED.</p> <p>MAY 18, 2021.<br/>ROOF REPAIR ADDED. Dwg. H1</p> | <p>Contents:</p> <table border="1"> <tr> <td>H1</td> <td>COVER</td> <td>PERSPECTIVE</td> </tr> <tr> <td>H2</td> <td>FLOOR PLANS</td> <td></td> </tr> <tr> <td>H3</td> <td>ELEVATIONS</td> <td></td> </tr> <tr> <td>H4</td> <td>SECTION AA</td> <td></td> </tr> </table> | H1 | COVER | PERSPECTIVE | H2 | FLOOR PLANS |  | H3 | ELEVATIONS |  | H4 | SECTION AA |  | <p>Project:</p> <p>PAUL &amp; LINDA VELLA<br/>274 JOHNSON ST (Laneway)<br/>KINGSTON, ON</p> <p>COACH HOUSE RENO</p> | <p>Drawing:</p> <p>FLOOR PLANS</p> <p>ISSUE FOR HERITAGE APP.</p> | <p>Date:<br/>APR. 29, 2021</p> <p>Scale:<br/>1/4" = 1' - 0"</p> <p>File:<br/>VELLA COACH HOUSE HERITAGE APP MAY 1 2021 printed 18/05/2021</p> <p>Drawing #:<br/><b>H2</b></p> |
| H1                         | COVER  | PERSPECTIVE  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |   |   |
| H2                         | FLOOR PLANS  |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |   |   |
| H3                         | ELEVATIONS   |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |   |   |
| H4                         | SECTION AA   |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |   |   |



***NORTH ELEVATION***

NO CHANGE TO NORTH & EAST ELEVATIONS



***EAST ELEVATION***

EXISTING SOUTH WALL



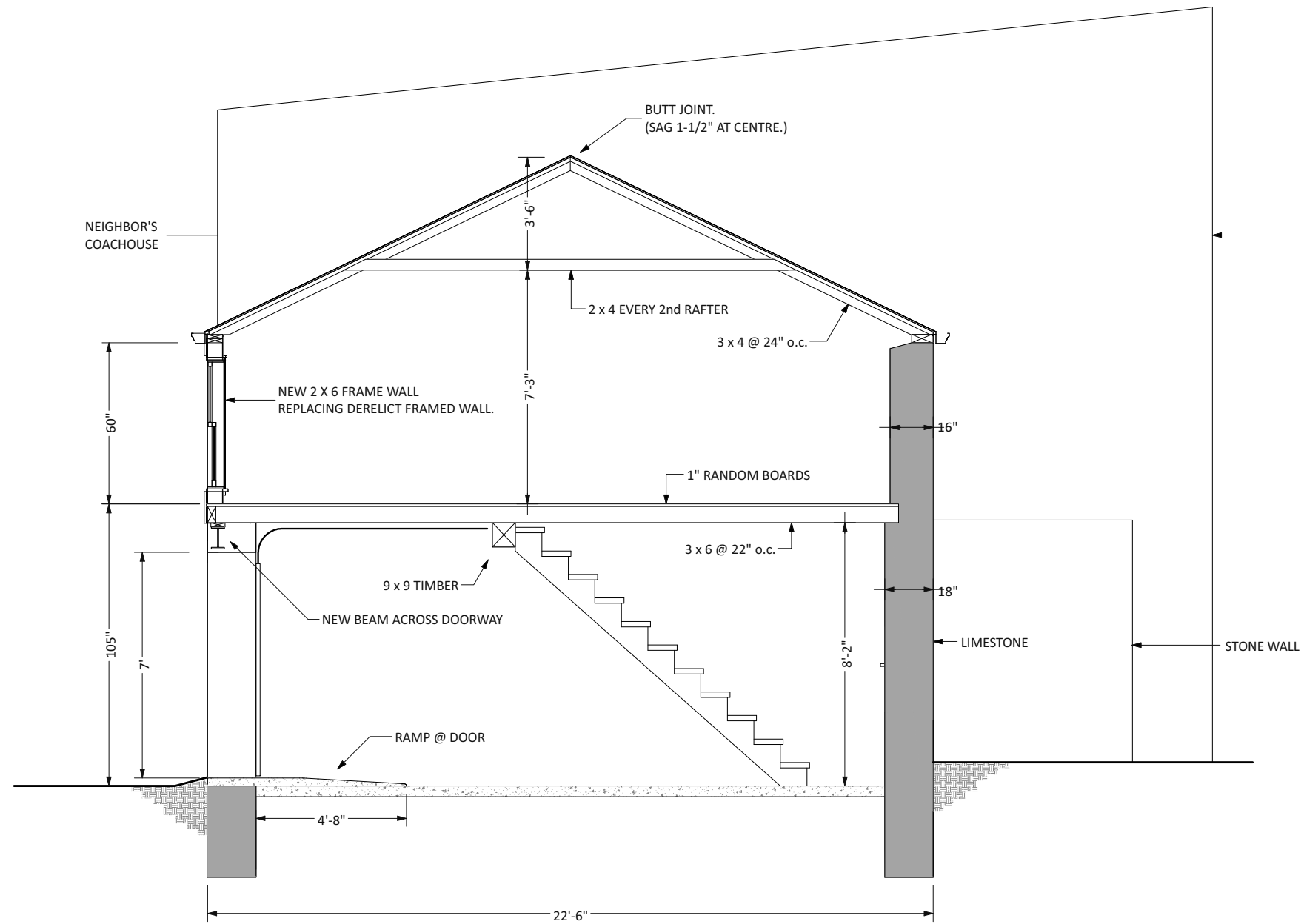
***SOUTH ELEVATION***

NEW EXTENDED GARAGE ENTRY  
AND REPAIRED 2nd STOREY WALL.



***SOUTH ELEVATION***

|                            |  |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |   |   |
|----------------------------|--|---|---|----|-------|-------------|----|-------------|--|----|------------|--|----|------------|--|--|---|---|
| <p>Drawn By:<br/>MG/GF</p> | <p><b>Mac GERVAN &amp; ASSOCIATES Ltd.</b></p> <p>Residential and Commercial Design Services<br/>Consulting and Project Management</p> <p>phone 546-5097<br/>fax 546-6249<br/>e-mail mac@gervan.ca<br/>Company BCIN # 33630<br/>Mac Gervan BCIN# 21054</p> | <p>Revisions:<br/>MAY 6, 2021.<br/>DETAILS ADDED.</p> <p>MAY 18, 2021.<br/>ROOF REPAIR ADDED. Dwg. H1</p> | <p>Contents:</p> <table border="1"> <tr> <td>H1</td> <td>COVER</td> <td>PERSPECTIVE</td> </tr> <tr> <td>H2</td> <td>FLOOR PLANS</td> <td></td> </tr> <tr> <td>H3</td> <td>ELEVATIONS</td> <td></td> </tr> <tr> <td>H4</td> <td>SECTION AA</td> <td></td> </tr> </table> | H1 | COVER | PERSPECTIVE | H2 | FLOOR PLANS |  | H3 | ELEVATIONS |  | H4 | SECTION AA |  | <p>Project:<br/>PAUL &amp; LINDA VELLA<br/>274 JOHNSON ST (Laneway)<br/>KINGSTON, ON</p> <p>COACH HOUSE RENO</p> | <p>Drawing:<br/>ELEVATIONS</p> <p>ISSUE FOR HERITAGE APP.</p> | <p>Date:<br/>APR. 29, 2021</p> <p>Scale:<br/>1/8" = 1' - 0"</p> <p>File:<br/>VELLA COACH HOUSE HERITAGE APP MAY 1 2021 printed 19/05/2021</p> <p>Drawing #:<br/><b>H3</b></p> |
| H1                         | COVER  | PERSPECTIVE   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |   |   |
| H2                         | FLOOR PLANS  |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |   |   |
| H3                         | ELEVATIONS   |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |   |   |
| H4                         | SECTION AA   |   |   |    |       |             |    |             |  |    |            |  |    |            |  |  |   |   |



|                            |  |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |  |   |
|----------------------------|--|--|---|----|-------|-------------|----|-------------|--|----|------------|--|----|------------|--|---|--|---|
| <p>Drawn By:<br/>MG/GF</p> | <p><b>Mac GERVAN &amp; ASSOCIATES Ltd.</b></p> <p>Residential and Commercial Design Services<br/>Consulting and Project Management</p> <p>phone 546-5097<br/>fax 546-6249<br/>e-mail mac@gervan.ca<br/>Company BCIN # 33630<br/>Mac Gervan BCIN# 21054</p> | <p>Revisions:</p> <p>MAY 6, 2021.<br/>DETAILS ADDED.</p> <p>MAY 18, 2021.<br/>ROOF REPAIR ADDED. Dwg. H1</p> | <p>Contents:</p> <table border="1"> <tr> <td>H1</td> <td>COVER</td> <td>PERSPECTIVE</td> </tr> <tr> <td>H2</td> <td>FLOOR PLANS</td> <td></td> </tr> <tr> <td>H3</td> <td>ELEVATIONS</td> <td></td> </tr> <tr> <td>H4</td> <td>SECTION AA</td> <td></td> </tr> </table> | H1 | COVER | PERSPECTIVE | H2 | FLOOR PLANS |  | H3 | ELEVATIONS |  | H4 | SECTION AA |  | <p>Project:</p> <p>PAUL &amp; LINDA VELLA<br/>274 JOHNSON ST (Laneway)<br/>KINGSTON, ON</p> <p>COACH HOUSE RENO</p> | <p>Drawing:</p> <p>SECTION AA</p> <p>ISSUE FOR HERITAGE APP.</p> | <p>Date:<br/>APR. 29, 2021</p> <p>Scale:<br/>1/4" = 1' - 0"</p> <p>File:<br/>VELLA COACH HOUSE HERITAGE APP MAY 1 2021 printed 19/05/2021</p> <p>Drawing #:<br/><b>H4</b></p> |
| H1                         | COVER  | PERSPECTIVE  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |  |   |
| H2                         | FLOOR PLANS  |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |  |   |
| H3                         | ELEVATIONS   |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |  |   |
| H4                         | SECTION AA   |  |   |    |       |             |    |             |  |    |            |  |    |            |  |   |  |   |

DATE Aug 30, 1976

*[Signature]*  
CITY SOLICITOR

Report No. 72  
Clause 8

BY-LAW NO. 8497

A BY-LAW TO DESIGNATE CERTAIN PROPERTIES WITHIN THE MUNICIPALITY TO BE OF HISTORIC OR ARCHITECTURAL VALUE OR INTEREST

PASSED: July 28th, 1975.

WHEREAS Section 29 of The Ontario Heritage Act, 1974, provides that the Council of a municipality may, by by-law, designate a property within the municipality to be of historic or architectural value or interest;

AND WHEREAS notice of intention to designate certain properties within the municipality was served on the owners of the property and The Ontario Heritage Foundation on June 2nd, 1975, and was published in the Whig-Standard on June 2nd, 9th and 16th, 1975;

AND WHEREAS no objections were received against the designation of the said certain properties as a result of the aforementioned notices;

THEREFORE the Council of the Corporation of the City of Kingston enacts as follows:

1. The following properties be and are hereby designated to be of historic or architectural value or interest:

(1) CITY HALL - 216 Ontario Street

Built: 1842-44, rear wing rebuilt 1865-66, dome rebuilt 1909

Architects: 1841-43 George Browne  
1844, 1866 William Coverdale  
1909 Joseph Power

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part Market Reserve, Original Survey, M1802 Patent.

Owner: The Corporation of the City of Kingston

Reason for Designation: This building is one of the finest nineteenth century municipal buildings in Ontario and is one of the great classic buildings of Canada. It was designated as being of national significance by the Historic Sites and Monuments Board of Canada in 1961.

(2) ST. GEORGE'S CATHEDRAL BLOCK

St. George's Cathedral, St. George's Church, House, Caretaker's Cottage, Old Post Office, Customs House.

Reason for Designation: The differing limestone buildings render this block unique in the City of Kingston. The relationship of the building masses to each other and to the streets, provide a most interesting progression of scale from the smallest residential building to St. George's Cathedral.

- 18 -

(46) 6-10 PRINCESS STREET (cont'd)

Reason for Designation: These two buildings form a pleasant grouping of early limestone buildings planned as commercial and residential properties in the central business district.

(47) WESLEY TERRACE - 272, 274, 278, 280, 282 and 286 Johnson Street

(a) 272 Johnson Street

Built: 1856

Architect: William Coverdale

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Parts of Lots "b" and 18, Plan B-27, as described in Instrument #271009.

Owner: Thomas A. Riddoch and Sonia A. Riddoch

(b) 274 Johnson Street

Built: 1856

Architect: William Coverdale

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Parts of Lots "b" and 18, Plan B-27, as described in Instrument #238290.

Owner: Istvan Anhalt and Beate Anhalt

(c) 278 Johnson Street

Built: 1856

Architect: William Coverdale

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part of Lot "b", Plan B-27, as described in Instrument #217235.

Owner: Eileen Mary Cain

(d) 280 Johnson Street

Built: 1856

Architect: William Coverdale

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part of Lot "B", Plan B-27, as described in Instrument #188483.

Owner: Gerrit Wilde and Wilhelmina Wilde

APPROVED AS TO FORM

DATE *Aug 16/76*

*[Signature]*  
CITY SOLICITOR

Report No. 84  
Clause 1

BY-LAW NO. 8892

A BY-LAW TO AMEND BY-LAW NO. 8497, "A BY-LAW TO DESIGNATE CERTAIN PROPERTIES WITHIN THE MUNICIPALITY TO BE OF HISTORIC OR ARCHITECTURAL VALUE OR INTEREST" (EXPAND REASONS FOR DESIGNATION)

PASSED: August 16th, 1976.

The Council of the Corporation of the City of Kingston enacts as follows:

1. By-Law No. 8497, "A By-Law to Designate Certain Properties Within the Municipality to be of Historic or Architectural Value or Interest", is hereby amended by expanding the reasons for designation as set forth on the attached Schedule "A".

This by-law shall come into force and take effect on its passing.

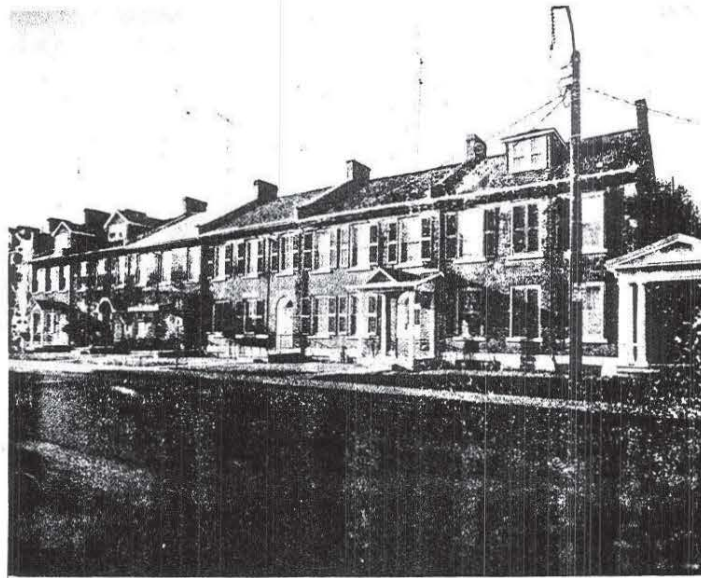
GIVEN THREE READINGS AND FINALLY PASSED the 16th day of August, 1976.

*[Signature]*  
CLERK-COMPTROLLER

*[Signature]*  
MAYOR

REASONS FOR DESIGNATION (cont'd)

(47) WESLEY TERRACE - 272-286 Johnson Street



Significance: Wesley Terrace is a handsome row of brick faced dwellings across from St. Mary's Roman Catholic Cathedral and the Bishop's Palace. It was built for William Anglin (1836-1886) and named by him although it was sometimes referred to as Tossell's Buildings. This is an excellent example of a quality row on a good residential street. It is mainly unaltered.

This row of six dwellings is faced with red brick in common bond. The first unit has brick sides and back, the others have backs of rubble stone. All rest on a limestone basement. The gable roof has parapeted end walls and dividers, each rising from stone corbels to double, joined brick chimneys at the roof ridge. Three units have later dormers on the front slope of the roof and all units have rear dormers.

Each unit is three bays wide and five of the units have a doorway in the third bay. A wide door and fan-light with Y-tracery is set deep in a semi-circular arched opening with panelled reveals. Only No. 282 seems to have the original double-leaf door. Four doorways have a variety of canopies over them. The sixth unit has at the side a one-storey porch

REASONS FOR DESIGNATION (cont'd)

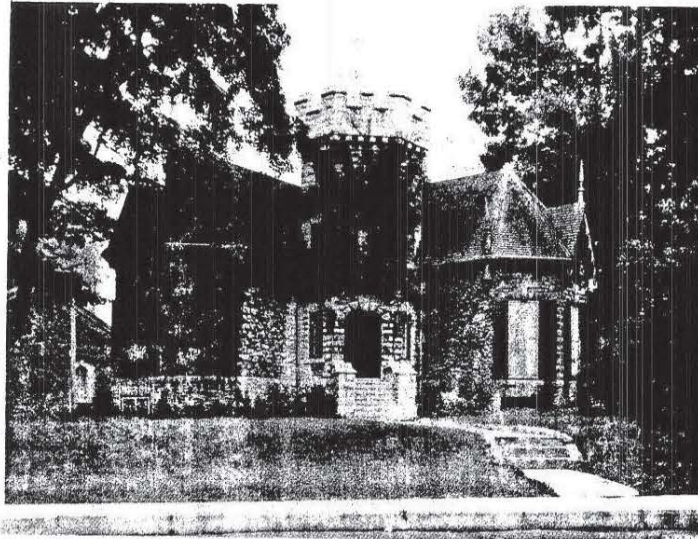
(47) WESLEY TERRACE - 272-286 Johnson Street (cont'd)

with double columns supporting a simple wooden pediment trimmed with dentils. The porch leads to a doorway with a transom light set into the rubble stone side of this sixth unit. There is one small window beyond the door.

Each unit has two wide arched windows in the basement protected by areas on light wells. The two windows in the main storey and three in the upper storey of each unit are flat arched with limestone sills and most of them have the original six on six glazing pattern.

To the rear of the sixth unit is a long two-storey brick wing and other units have various rear additions in brick or frame which obscure the original fenestration.

(48) MCINTOSH CASTLE - 14 Sydenham Street



Significance: This is said to have been the first major project for architect John Power, who had come to Kingston from Devonshire. Built in 1852 for Donald McIntosh, a ship owner and forwarder, this Gothic dwelling was sold in 1857 to Joseph Doyle,



**272-274-278-280-282-286**  
**JOHNSON STREET**  
**WESELEY TERRACE****Built: by 1875****Rating: S (Part IV)**

Wesley Terrace, 272, 274, 276, 282 and 286 Johnson Street has always been a distinguished address, directly across from St. Mary's Cathedral. The extended repetition of classical elements - semi-circular arched door openings; window openings with louvered shutters (many still with iron 'shutter dogs'), parapeted side gables with chimneys at the gable peaks and stone corbels at the eaves, as well as the excellent sense of proportion between the three bays on each storey make for an extremely satisfying composition.

The most articulated elements of the uncluttered façade(s) are the deep, paneled door embrasures with dentillated transom rail and transom of three curved lights. The rather unusual western termination of the row with a frame vestibule and portico as the entrance to 286 provides a contrasting element and is shown on the Brosius 'bird's eye view' of 1875 signifying that it is an early, and possibly original, feature. The portico/vestibule with paired columns, heavy, turned balustrade, pedimented gable and dentillated cornice and main entrance with sidelights and transom is a 'grander' feature than is typical at the terrace but its classical vocabulary is consistent and it was clearly designed as a larger unit.

The terrace is built on a coursed ashlar limestone foundation with scabbled finish and beveled water table. The walls above are laid in stretcher bond brick with composite voussoired 'flat' (actually slightly segmental) arches at the first storey and simple voussoirs above (except for 282 which has a composite arch at the upper storey as well). Except for 272 Johnson the rear and west walls of the terrace are of roughly coursed 'rubble' limestone. At 272 the rear wall is constructed in common bond brickwork, suggesting it was built at a different time (probably slightly later) than the others. Actually while the buildings certainly were all built within a relatively short time frame, a close examination of construction and architectural detailing reveals that they were probably completed in four separate phases. 272 and 274 are each separate entities while 276-280 and 282-286 are each true double-houses. In each case the brick coursing does not extend through and there are variations in the finish and size of the foundation stonework between these sections.

This property forms part of farm lot 25 granted by the crown to Michael Grass in 1798. Originally consisting of 100 acres the entire lot was sold to Henry Murney in 1809. His heirs sold three acres in 1839 to Charles Hales, a prominent merchant who developed the block which came to be known as Charles Hales Block, Kingston Heights, "Block W".

By the mid 19<sup>th</sup> century a large portion of the Johnson Street frontage had come into the hands of William Anglin. By 1860 Anglin had built six attached two storey brick town houses and called the row Wesley Terrace. The 1865 directory shows "Richard Tossell, builder" at 1 Wesley Terrace and Henry Cunningham at "Wesley Terrace, opposite St. Mary's Church." (Though the design has, in the past, been attributed to William Coverdale, this could not be confirmed by current research despite the examination of Coverdale's account book.)

Consisting of six structures Wesley Terrace is almost itself the streetscape and certainly its well proportioned, elegant, rhythmic composition establishes the character for that block. Occupying a key urban location directly across from the Roman Catholic Cathedral, its modest scale and relatively austere classical architecture seems in dialogue with the towering Gothic spire and pinnacles of St. Mary's. This contrast provides one of the most satisfying architectural experiences in the City.\*

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\* Text from Bray, Scheinman, et al., *Old Sydenham Heritage Area Conservation Study: Cultural Heritage Resource Inventory and Evaluation Report*, 2009. Research by Jennifer McKendry.

# Heritage Kingston

## Summary of Input from Technical Review Process

P18-035-2021

| Heritage Kingston Members | Comments Enclosed                   | No Comments Provided                | No Response Received                |
|---------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| Chair, Peter Gower        | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Councilor Bridget Doherty | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| Councilor Gary Oosterhof  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| Jane McFarlane            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Donald Taylor             | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| Jennifer Demitor          | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| Paul Banfield             | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| Donald Mitchell           | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| Moya Dumville             | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |



City of Kingston  
216 Ontario Street  
Kingston, Ontario  
Canada, K7L 2Z3

Website: [www.cityofkingston.ca](http://www.cityofkingston.ca)

TTY: Dial 613-546-4889

where history and innovation thrive

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|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 8, 2021                     |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Don Taylor                      |
| Application Type: | Alteration and/or repair        |
| File Number:      | <a href="#">P18-035-2021</a>    |
| Property Address: | 274 JOHNSON ST                  |

---

#### Description of Proposal:

The subject property at 274 Johnson Street is located on the south side of Johnson Street, between Barrie and Clergy Streets, in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. The applicant is seeking heritage approval to renovate the existing stone outbuilding/garage to the rear of the property facing a laneway that connects Clergy and Barrie Streets. The proposal includes widening the existing garage door opening, repairing and replacing the wood frame section of wall on the second floor, and the installation of three new windows and a new garage door on the south elevation. No changes are proposed to the north and east elevation. The west elevation of the garage directly abuts a neighbouring outbuilding.

#### Comments for Consideration on the Application:

No concerns. The loss of limestone wall is to be regretted, but the wider door with access for two cars is understandable.

#### Recommended Conditions for the Application:

Ensure that the three windows are indeed centred and symmetrical over the garage door as indicated on the elevation drawing.



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|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 8, 2021                     |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Peter Gower                     |
| Application Type: | Alteration and/or repair        |
| File Number:      | <a href="#">P18-035-2021</a>    |
| Property Address: | 274 JOHNSON ST                  |

---

#### Description of Proposal:

The subject property at 274 Johnson Street is located on the south side of Johnson Street, between Barrie and Clergy Streets, in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. The applicant is seeking heritage approval to renovate the existing stone outbuilding/garage to the rear of the property facing a laneway that connects Clergy and Barrie Streets. The proposal includes widening the existing garage door opening, repairing and replacing the wood frame section of wall on the second floor, and the installation of three new windows and a new garage door on the south elevation. No changes are proposed to the north and east elevation. The west elevation of the garage directly abuts a neighbouring outbuilding.

#### Comments for Consideration on the Application:

I have no concerns with the updating of this coachhouse/garage as long as all of the specifications noted on the application are followed.



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|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 11, 2021                    |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Jane McFarlane                  |
| Application Type: | Alteration and/or repair        |
| File Number:      | <a href="#">P18-035-2021</a>    |
| Property Address: | 274 JOHNSON ST                  |

---

#### Description of Proposal:

The subject property at 274 Johnson Street is located on the south side of Johnson Street, between Barrie and Clergy Streets, in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. The applicant is seeking heritage approval to renovate the existing stone outbuilding/garage to the rear of the property facing a laneway that connects Clergy and Barrie Streets. The proposal includes widening the existing garage door opening, repairing and replacing the wood frame section of wall on the second floor, and the installation of three new windows and a new garage door on the south elevation. No changes are proposed to the north and east elevation. The west elevation of the garage directly abuts a neighbouring outbuilding.

#### Comments for Consideration on the Application:

This application is reasonable and acceptable. Because it requires the removal of some limestone, the applicant should consider saving the removed stone for repairs or landscaping on the property or possibly offering the stones for reuse elsewhere. Suggested garage door design would be simple flat panel, vertical style with divided windows that break up the impression of long horizontal expanses of window.

**Summary of Final Comments at June 16, 2021 Heritage Kingston Meeting**

Mr. Taylor noted the loss of limestone on the left-hand side of the door will be balanced by gaining some stonework back on the right-hand side. He further noted his agreement with the use of wood for the cladding between the stonework.



**City of Kingston  
Report to Heritage Kingston  
Report Number HK-21-034**

---

**To:** Chair and Members of the Heritage Kingston  
**From:** Paige Agnew, Commissioner, Community Services  
**Resource Staff:** Jennifer Campbell, Director, Heritage Services  
**Date of Meeting:** June 16, 2021  
**Subject:** Application for *Ontario Heritage Act* Approval  
**Address:** 2 Sharman's Lane P18-429  
**File Number:** P18-034-2021

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**Council Strategic Plan Alignment:**

Theme: Corporate business

Goal: See above

**Executive Summary:**

The subject property is located on the east side of Sharman's Lane in the Village of Barriefield and contains a two-storey frame dwelling, built in 1888, known as the Hutton House. The property is designated as part of the Barriefield Heritage Conservation District.

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-034-2021) has been submitted to request approval to add two single-storey additions to the rear of the dwelling. The additions will be clad in vertical wood siding with an asphalt roof, in colours that match the existing dwelling. Each addition will include one wooden sash window facing east. The southern addition will include a door. Detailed plans are attached to the submission.

This application was deemed complete on May 14, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application on a heritage property under Section 42(4). This timeframe will expire on August 12, 2021.



June 16, 2021

Page 2 of 9

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

**Recommendation:**

**That** Heritage Kingston supports Council approval of the following:

**That** alterations on the property at 2 Sharman's Lane, be approved in accordance with details described in the application (P18-034-2021), which was deemed completed on May 14, 2021 with said alteration to include the construction of two single-storey shed-roofed additions, clad in either vertical or horizontal wood siding, to the rear of the dwelling; and

**That** the approval of the application be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. Heritage staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
3. Details related to the colour(s) and design of the new siding shall be submitted to Heritage staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
4. All *Planning Act* applications shall be completed, as necessary;
5. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings; and
6. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Heritage Services for review and approval.

June 16, 2021

Page 3 of 9

**Authorizing Signatures:**



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**Paige Agnew, Commissioner,  
Community Services**



---

**Lanie Hurdle, Chief  
Administrative Officer**

**Consultation with the following Members of the Corporate Management Team:**

|   |              |
|---|--------------|
| Peter Huigenbos, Commissioner, Business, Environment & Projects | Not required |
| Brad Joyce, Commissioner, Corporate Services                    | Not required |
| Jim Keech, President & CEO, Utilities Kingston                  | Not required |
| Desirée Kennedy, Chief Financial Officer & City Treasurer       | Not required |
| Sheila Kidd, Commissioner, Transportation & Public Works        | Not required |

June 16, 2021

Page 4 of 9

**Options/Discussion:****Description of Application/Background**

The subject property is located on the east side of Sharman's Lane in the Village of Barriefield and contains a two-storey frame dwelling, built in 1888, known as the Hutton House (Exhibit A – Context Maps and Photographs). The property is designated under Part V of the *Ontario Heritage Act* as part of the Barriefield Heritage Conservation District (Exhibit B – Property Inventory Evaluation).

An application for alteration under Section 42 of the *Ontario Heritage Act* (P18-034-2021) has been submitted to request approval to add two single-storey shed-roofed additions to the rear (east side) of their dwelling. The additions will flank the existing two storey rear tail of the building (built in 1990) on the north and south sides. They will be clad in vertical wood siding (however the applicants are open to other wood siding options) with asphalt shingled roofs, in colours that match the existing dwelling. Each addition will include one wooden sash window facing east. The southern addition will include the reuse of the existing door on the south elevation.

The owners submitted detailed elevation and floor plans and current photographs with their submission (Exhibit C – Concept Plans).

This application was deemed complete on May 14, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application on a heritage building under Section 42(4). This timeframe will expire on August 12, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

**Reasons for Designation/Cultural Heritage Value**

2 Sharman's Lane is designated under Part V of the *Ontario Heritage Act* as part of the Barriefield Heritage Conservation District (HCD) through By-Law Number 2016-173. The HCD Plan classifies the principal building (the Hutton House) as a “heritage” building and includes the following heritage attributes:

- Vernacular frame construction, with its two-storey massing, side gable roof, rectangular plan, with rectangular window and door openings, narrow horizontal cladding and stone foundation.

The current rear wing/addition was added in 1990 and is not noted as a heritage attribute of the district. The full description of cultural heritage value with all identified attributes has been included as Exhibit B – Property Inventory Evaluation.

June 16, 2021

Page 5 of 9

## Cultural Heritage Analysis

The Hutton House at 2 Sharman's Lane is considered a contributing heritage building by the Barriefield HCD Plan. The main building was constructed in the late 19<sup>th</sup> century. Its medium pitched side gable roof and rectangular window openings exemplifies an Ontario Vernacular style, which is common in Barriefield. The building has a strong presence along Sharman's Lane.

The proposed works are required to be undertaken in accordance with the Village of Barriefield Heritage Conservation District (HCD) Plan. Other applicable by-laws, policy and guidance (including Parks Canada's 'Standards and Guidelines for the Conservation of Historic Places in Canada' and the Ministry of Heritage, Tourism, Sport and Culture Industry 'Eight Guiding Principles in the Conservation of Built Heritage Properties') should also be considered and followed in order to ensure that the new additions complement and enhance the District. The assessment of this application is summarized below through references to the relevant sections of the HCD Plan.

Staff visited the subject property on May 14<sup>th</sup>, 2021.

### Section 2 (Statement of Cultural Heritage Value and List of Cultural Heritage attributes)

Section 2 provides a Statement of Cultural Heritage Value and List of Cultural Heritage attributes for the entire district. This statement includes a value statement as well as a list of heritage attributes, which are those physical components of the District that express its cultural heritage value.

Section 2 notes several cultural heritage aspects that make the Barriefield HCD unique, such as its location on a high embankment overlooking the Great Cataraqui River, the range of housing influences and the rural village character. This village character is defined by the following attributes: small lots with landscape features around homes creating defined yards; minimal front yard setbacks; a built form of mostly single/semi-detached residential dwellings with one to two-storeys of height; distinctive architectural features (e.g. medium pitched gable roofs); consistent building scale and mass; and simple rectangular window and door openings with minimal decorative detailing. The subject property contributes to many of the cultural attributes of the district. The proposed interventions will maintain the heritage character of Barriefield, in accordance with the policies and guidelines of the District Plan.

### Section 3 (Conservation Goals and Objectives)

Section 3 details the "goals and objectives...for the policies and guidelines contained in" Sections 4 and 5. Section 4 is the focus of this assessment as it contains the majority of the relevant policies applicable to the subject property and this application. However, since these policies are based on the goals and guidelines listed in Section 3, these must be detailed first.

Section 3.2 (Conservation Goals) notes the following relevant goals: "to protect and enhance the setting, both built and natural which contributes to Barriefield's identity and character", and to

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preserve/protect “the rural village character...[and] existing low rise residential” character/profile of the HCD.

Section 3.3 (Conservation Objectives) notes 15 objectives to achieve the above Conservation Goals, these include: (1) “To ensure the conservation, maintenance, enhancement and protection of the cultural heritage value of Barriefield”; (2) “to maintain the low profile residential environment within the District”; (3) “to preserve and protect the rural, nineteenth century character of the District”; (4) “to protect significant historic views,”; and (5) “To accommodate new development only where it respects or otherwise complements the prevailing low profile and heritage character of existing buildings and structures within the District and does not adversely affect the cultural heritage character of the District.

The proposal seeks to fulfill these goals and objectives by following the relevant policies and guidelines of the Plan.

#### **Section 4 (Guidelines for Conserving Barriefield’s Cultural Heritage Value)**

Section 4.0 provides direction on various types of possible changes in the district in order to conserve its cultural heritage value. The most pertinent of these sections is 4.3 with respect to Additions to Heritage Buildings, however the Plan should be read in its entirety.

Section 4.3 provides policies and guidelines to aid in designing additions with minimal impacts to the cultural heritage value of the HCD. Section 4.3.1 outlines the preferred location, height, and massing for new additions, noting that new additions should be lower in height than the heritage building, and located away from the publicly visible elevation of the main building. The illustration on page 29 of the Plan depicts a desirable addition, which is located to the rear of the heritage building, built at a lower/subservient scale and minimally visible from the public realm. The proposed new additions will be one storey and largely screened from public view by the existing building and located in a similar fashion to the illustration in the HCD Plan.

Section 4.3.2, which is similar in nature to the Provincial Guiding Principle number 7, and the Federal Standard number 11, notes that new additions should be complementary to the heritage building in terms of scale, form, and materials, but distinguishable from the heritage building and not designed to replicate the exact style of the building. With their single storey, shed roofs and slight inset (reveal) from the existing building, the new builds should be clearly read as contemporary additions. The applicants are considering using vertical wood siding in order to further distinguish the new additions from the heritage building, however they are also open to the option suggested by committee members of using similar sized horizontal (shiplap) siding to the existing building. Given the small scale and limited visibility of the proposed additions, and the fact that the 1990 rear addition is clad in horizontal siding, staff have no objection to either option. Staff’s recommended motion allows the applicants to consider comments provided by Heritage Kingston and provide samples of their preferred siding choice to staff for review as a condition of approval.

Section 4.2 of the HCD Plan provides direction on altering the existing heritage building. While the primary focus of this application is the new additions, two ground floor rear windows of the

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original house, and one door on the later (1990) addition, are to be concealed/relocated as part of the construction of the new additions. Section 4.2.3 directs that “removing or blocking up windows that are important to the architectural character of the Heritage building is not permitted.” While the rear facing windows are period appropriate wooden windows, they are completely out of view from the public realm and do not contribute to the heritage character of this building or its contribution to the historic streetscape of Sharman’s Lane and the District. The additions will allow the owners to improve the functionality and enjoyment of their dwelling. The additions will be located and designed in a manner that will conserve the heritage value of the building as enjoyed from the public realm. Staff support the proposed additions. We encourage the applicants to salvage and reuse the existing windows on the new addition or elsewhere on the property, where possible.

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the goals of Village of Barriefield Heritage Conservation District Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries’ Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada’s ‘Standards and Guidelines for the Conservation of Historic Places in Canada’. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve the goals of Section 3.2 (Village of Barriefield HCD Plan): specifically, “to preserve and protect the rural village” and the “low rise residential character and profile of the Barriefield Heritage Conservation District”;
- Achieve Guiding Principle Number 7 “Legibility” new work should be distinguishable from old and not blur the distinction between old and new; and
- Achieve Standard 11 of Parks Canada’s Standards and Guidelines, which notes that new additions should conserve the character-defining elements of the heritage property, by making the new addition physically and visually compatible with, subordinate to and distinguishable from the historic place.

**Previous Approvals**

|                |  |
|----------------|--|
| P18-059-2010   | Replacing gravel driveway with interlocking pavers |
| P18-087-2019DA | Repair and repaint all storm and sash windows      |

**Comments from Department and Agencies**

The following internal departments have commented on this application and provided the following comments:

Building:

No objections to the addition, a building permit will be required prior to construction. Please confirm the distance to the property lines from the new additions.

June 16, 2021

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Environment:

1. No change of land use: We have no concerns with residential development at an existing residential use.
2. Designated substances: In order to protect workers and the public, the proponent should be notified that in accordance with Section 30 of the Ontario Occupational Health and Safety Act, Designated Substances and other potentially hazardous building materials must be identified prior to renovation, construction or demolition that may disturb such materials. All designated substances present must be identified to contractors in advance of the initiation of the subject work as defined in the Act.
3. Construction notes and excess soil: Design and construction drawings will need to have the City's standard environmental notes added. The proponent should be reminded that any excess soils generated during construction will need to be managed in accordance with all applicable Provincial regulations for soil and waste. Any potential for off-site impacts from contamination must be reported to the City's Environment division and the Provincial Ministry of Environment, Conservation, and Parks (MECP).

Planning:

The property is zoned Residential (R2-1) in the former Pittsburgh Township Zoning By-Law Number 32-74. A plot plan will be required to confirm zone compliance. The minimum rear yard depth of the existing dwelling (and thus the new additions) appears to be at or very close to the required setback of 7.5 metres. The applicants will also need to confirm compliance with the minimum landscape open space (30%) and maximum lot coverage (35%) requirements. A full zoning review will be completed as part of the building permit application. Site Plan Control approval is not required.

**Consultation with Heritage Kingston**

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit D. Responding members provided general support for the application.

**Conclusion**

Staff recommends approval of the application File Number (P18-034-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

**Existing Policy/By-Law:**

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

*Ontario Heritage Act*, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

June 16, 2021

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By-Law Number 2013-141 Procedural By-Law for Heritage

Village of Barriefield Heritage Conservation District Plan

City's Policy on Window Renovations in Heritage Buildings

**Notice Provisions:**

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

**Accessibility Considerations:**

None

**Financial Considerations:**

None

**Contacts:**

Andrea Gummo, Manager, Heritage Planning, 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage, 613-546-4291 extension 3233

**Other City of Kingston Staff Consulted:**

None

**Exhibits Attached:**

Exhibit A Context Maps and Photographs

Exhibit B Property Inventory Evaluation Form

Exhibit C Concept Plans, prepared by applicants

Exhibit D Correspondence Received from Heritage Kingston

Exhibit E Final Comments from Heritage Kingston June 16, 2021

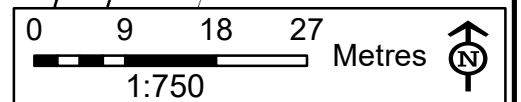
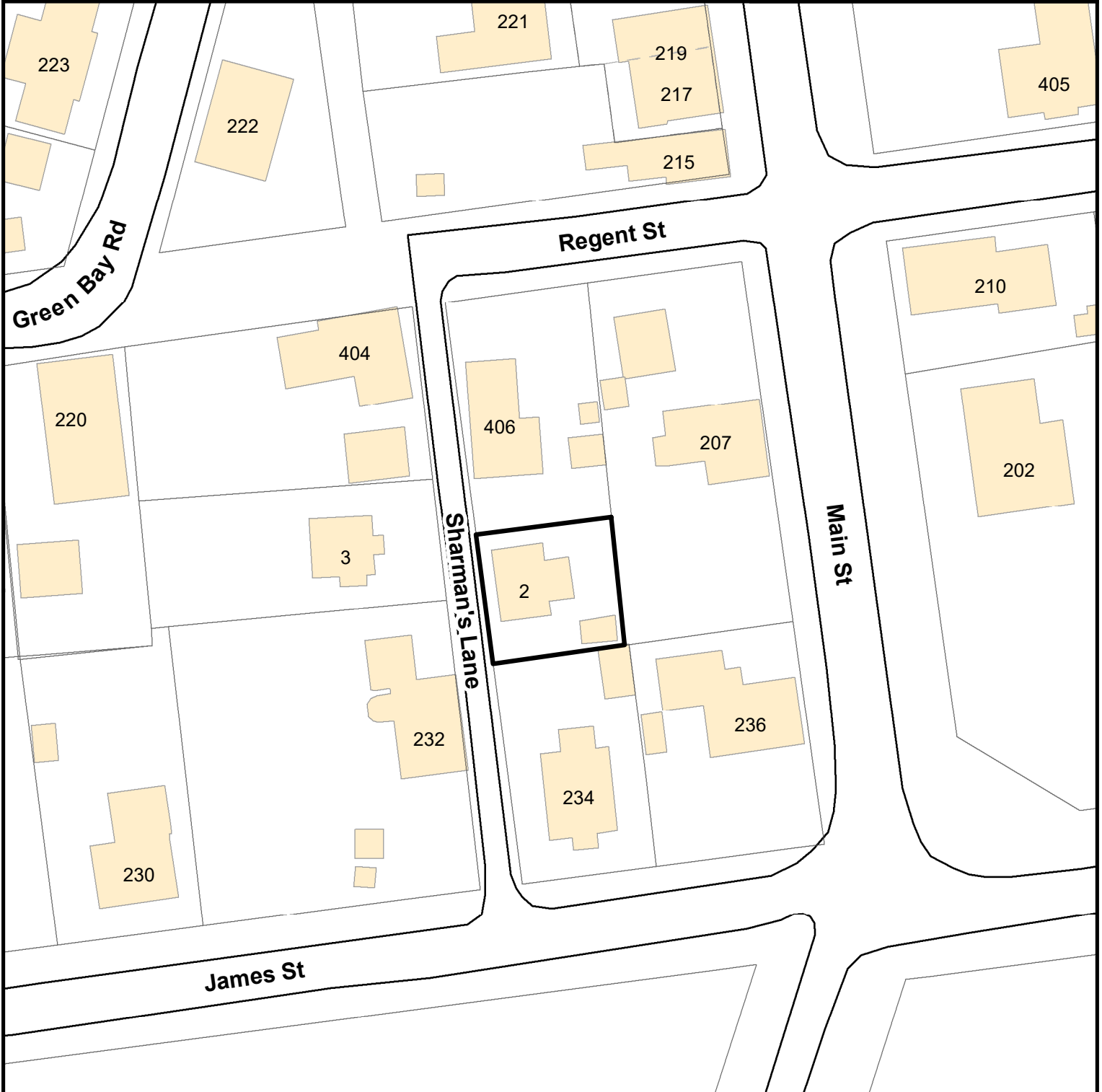
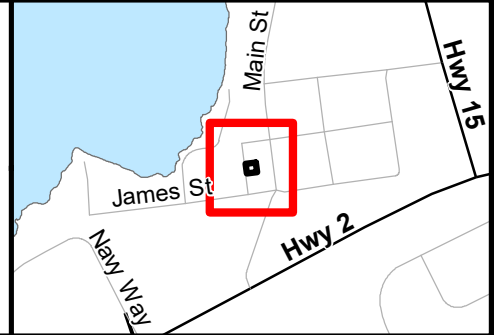




# Heritage Kingston Committee Key Map

Address: 2 Sharman's Lane  
File Number: P18-034-2021

 Subject Lands





# Heritage Kingston Committee Neighbourhood Context (2020)

Address: 2 Sharman's Lane  
File Number: P18-034-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: Ichu  
Date: May-03-2021

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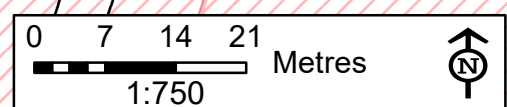
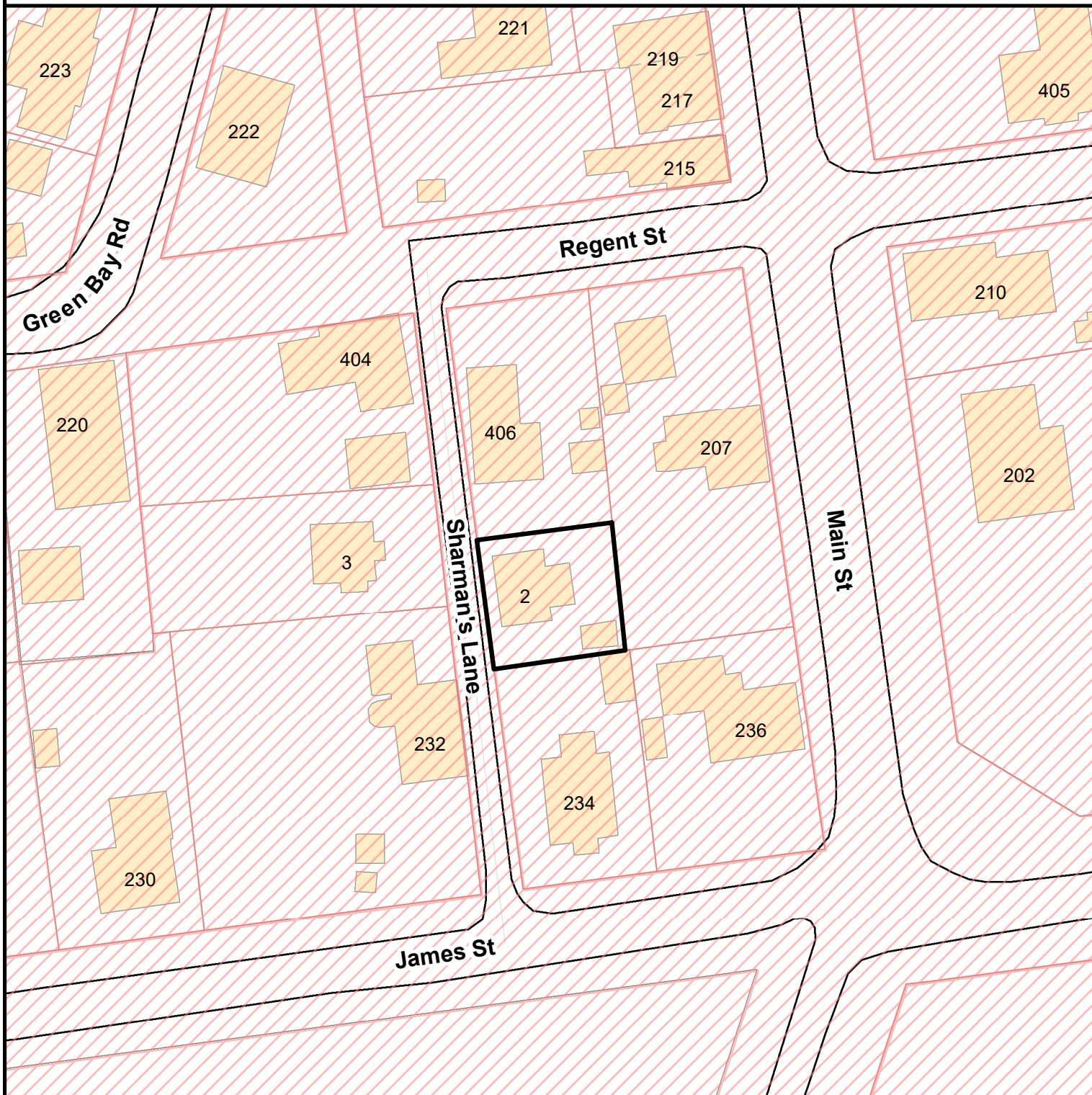


Planning Services

Heritage Kingston Committee  
City of Kingston Heritage Register

Address: 2 Sharman's Lane  
File Number: P18-034-2021

- Subject Lands (Barriefield Heritage Conservation District)
- Designated Property



Prepared By: lchu  
Date: May-03-2021

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# Hutton House – 2 Sharman’s Lane



# Current View



# Current View



Village of Barriefield Heritage Conservation District Plan update  
Heritage Conservation District Inventory

**Name:** Hutton House

**Address:** 2 Sharman's Lane

**Property Number:**  
1011090090055100000.00

**Lot:** PLAN 51 PT LOT 3 RP  
13R2800;PART 2



|                                  |   |
|----------------------------------|---|
| <b>Property Type:</b>            | Residential   |
| <b>Era/Date of Construction:</b> | Late 19 <sup>th</sup> Century   |
| <b>Architect/Builder:</b>        | Not known   |
| <b>Building style/Influence:</b> | Vernacular  |
| <b>Materials:</b>                | Frame   |
| <b>Number of Bays:</b>           | Four  |
| <b>Roof Type</b>                 | Side gable  |
| <b>Building Height:</b>          | Two storey  |
| <b>Alterations:</b>              | Conversion from double to single unit house, front deck. Interlock pavers added to driveway (2010), exterior repairs (2007), roof replacement (2002). |
| <b>Landscape/setting:</b>        | Close setback to street, shrubs   |
| <b>Heritage Value:</b>           | Heritage  |

### Description of Historic Place:

The property at 2 Sharman's Lane is located on the east side of Sharman's Lane in the Barriefield Heritage Conservation District. The property contains a two storey, side gable four bay frame structure constructed in the late 19<sup>th</sup> Century.

### Heritage Value:

Originally built in the late 19th century as a double house, this two storey frame building has recently been converted to a single unit dwelling. It has a side gable roof and is clad in shiplap siding with contrasting cornerboards and flat wooden window trim with slightly projecting hoods. Divided into four bays, it originally consisted of a window/door, door/window arrangement. The front elevation now has a single off-centre door and transom with two windows on the south end and one window on the north end. A modern deck with a hand railing. and balustrade runs across the front of the building.

**Heritage Attributes:**

Elements that define the historical value of the property include:

- Vernacular frame construction representative of late 20<sup>th</sup> century design in Barriefield

Elements that define the architectural value of the property include:

- Two storey massing
- Side gable rectangular plan
- Frame construction
- Stone foundation
- Four bay facade
- Rectangular window and door openings
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to the street
- Orientation to Sharman's Lane



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RAELENE YOUNG AND JAMES PRICE



[young.price@gmail.com](mailto:young.price@gmail.com)

April 28, 2021

2 Sharmans Lane  
Kingston, ON  
K7K5S7

Heritage Committee  
City of Kingston

Re. Heritage permit application, File # 21TMP-001973

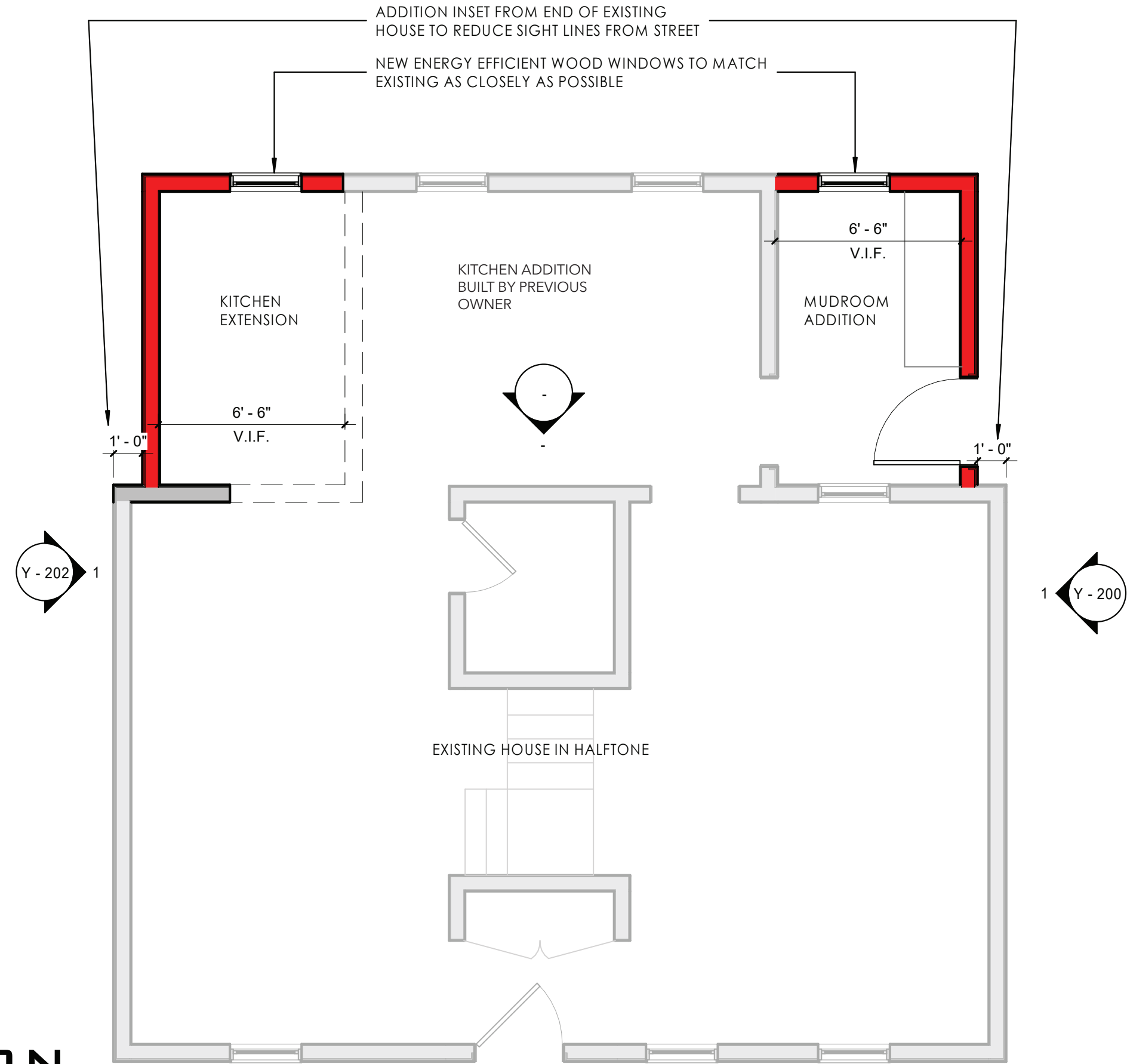
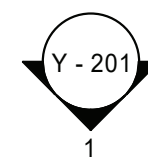
Dear Committee members,

Please find included our heritage permit application for 2 Sharman's Lane Barriefield Village, Kingston. The supporting documentation includes architectural drawings, site plans and photographs in application for 2 small, one story additions at the rear of the house. These additions are proposed to be added to a pre-existing addition of the kitchen that was completed previously by Scot King.

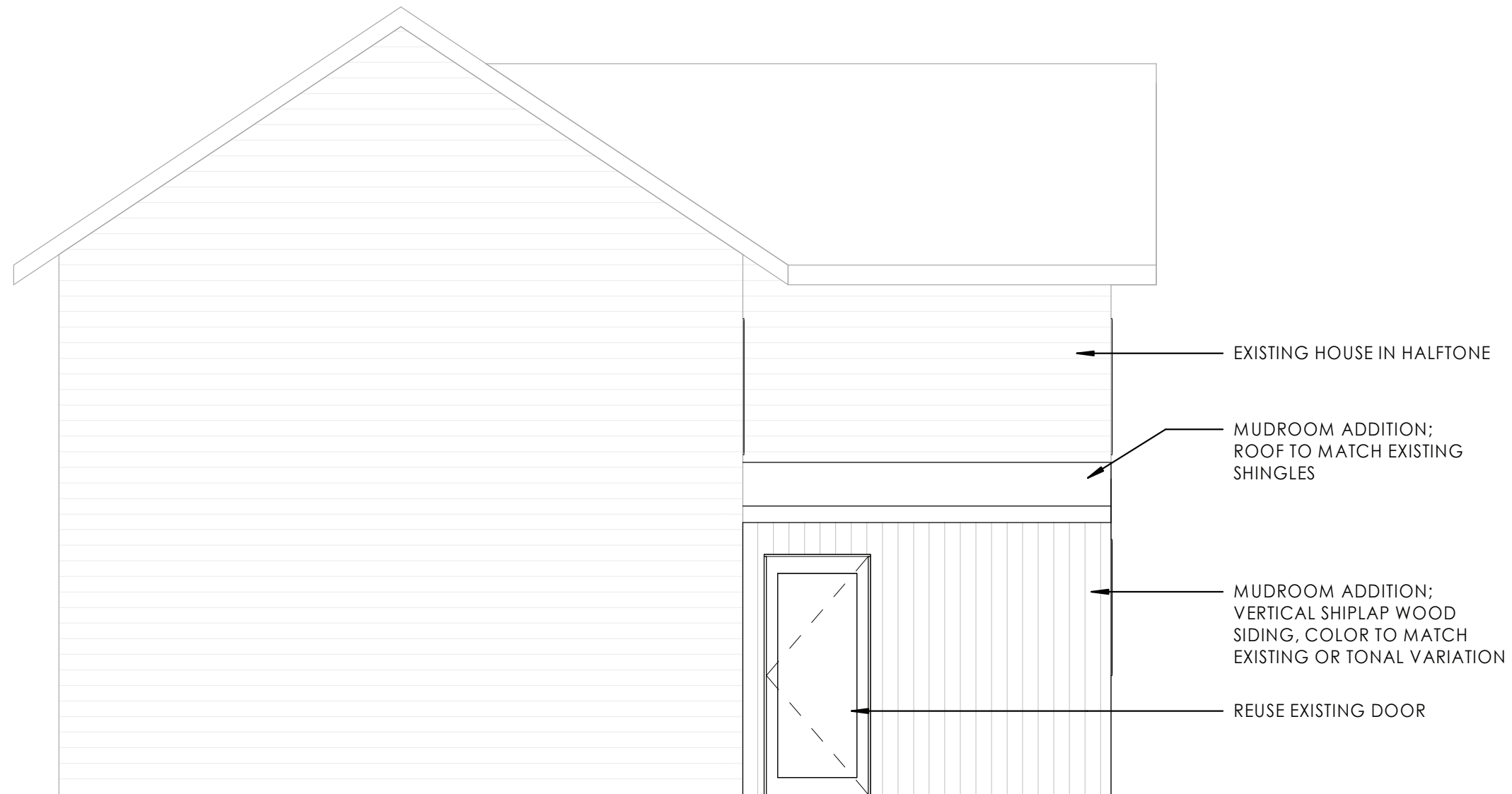
Last year we received a heritage grant and are currently awaiting completion of the window repairs by Mark Peabody.

Sincerely yours,

Raelene Young and James Price



# YOUNG - PRICE ADDITION



## 2 SHARMANS LN EAST ELEVATION

SCALE: 1/4" = 1'-0"

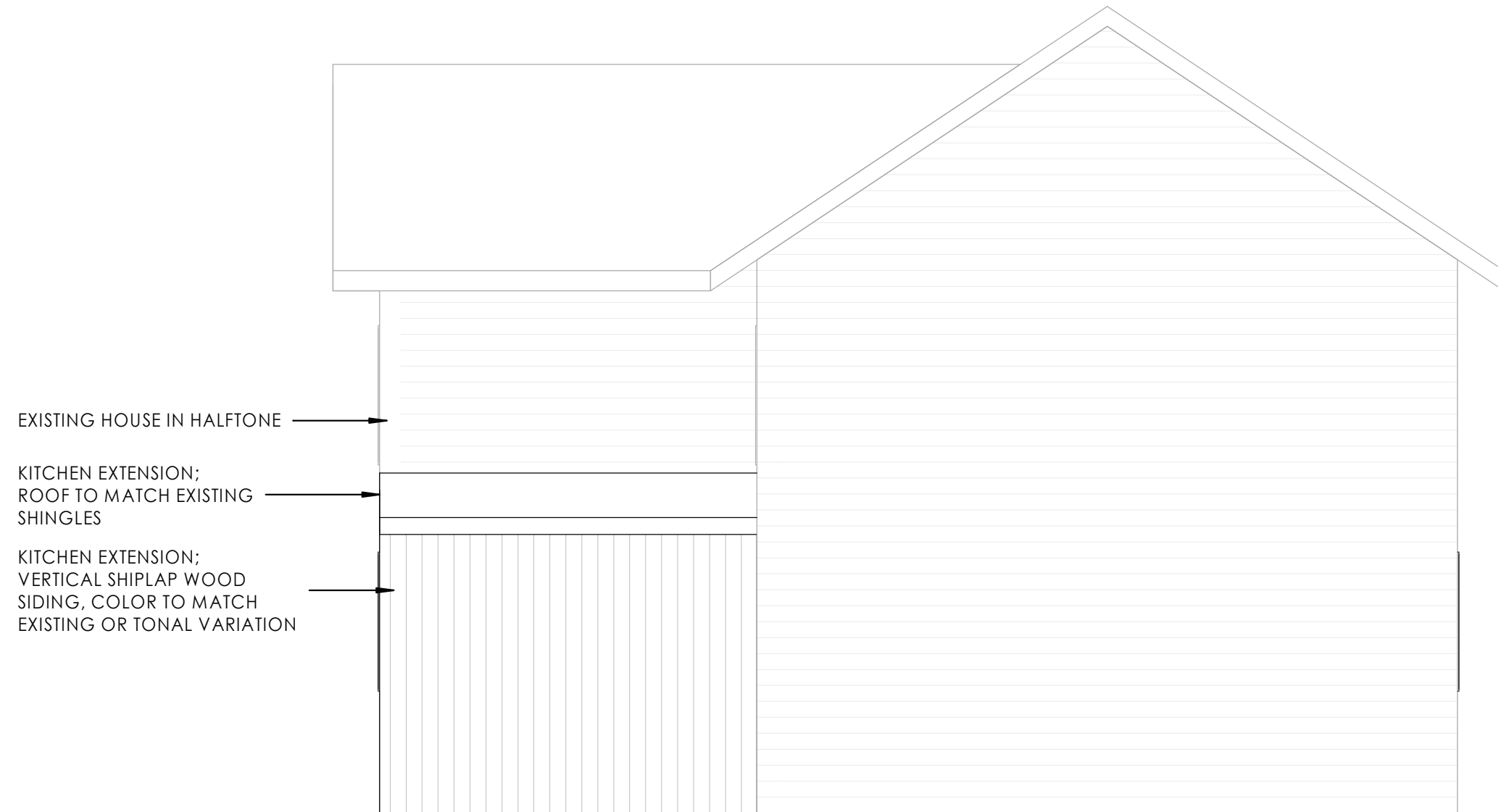
\*NEW WINDOWS WILL NOT BE VISIBLE FROM STREET. EAST AND WEST ELEVATIONS OF HOUSE WILL REMAIN WINDOWLESS PER ORIGINAL STRUCTURE



## 2 SHARMANS LN NORTH ELEVATION

SCALE: 1/4" = 1'-0"

\*NEW WINDOWS WILL NOT BE  
VISIBLE FROM STREET. EAST AND  
WEST ELEVATIONS OF HOUSE  
WILL REMAIN WINDOWLESS  
PER ORIGINAL STRUCTURE



## 2 SHARMANS LN WEST ELEVATION

SCALE: 1/4" = 1'-0"

\*NEW WINDOWS WILL NOT BE  
VISIBLE FROM STREET. EAST AND  
WEST ELEVATIONS OF HOUSE  
WILL REMAIN WINDOWLESS  
PER ORIGINAL STRUCTURE

# Heritage Kingston

## Summary of Input from Technical Review Process

**P18-034-2021**

| Heritage Kingston Members | Comments Enclosed                   | No Comments Provided     | No Response Received                |
|---------------------------|-------------------------------------|--------------------------|-------------------------------------|
| Chair, Peter Gower        | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| Councilor Bridget Doherty | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Councilor Gary Oosterhof  | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Jane McFarlane            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| Donald Taylor             | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| Jennifer Demitor          | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Paul Banfield             | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Donald Mitchell           | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| Moya Dumville             | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |



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TTY: Dial 613-546-4889

---

|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 1, 2021                     |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Peter Gower                     |
| Application Type: | Alteration and/or repair        |
| File Number:      | <a href="#">P18-034-2021</a>    |
| Property Address: | 2 SHARMAN'S LANE                |

---

#### Description of Proposal:

The subject property is located on the east side of Sharman's Lane in the Village of Barriefield, and contains a late 19th century two storey frame dwelling. The property is designated under Part V of the Ontario Heritage Act as part of the Barriefield Heritage Conservation District. The applicants are seeking Heritage Act approval to add two single-storey additions to the rear (east side) of their dwelling. The additions will be clad in vertical wood siding with an asphalt roof, in colours that match the existing dwelling. Each addition will include one wooden sash window facing east. The southern addition will include a door. Detailed plans are attached to the submission.

#### Comments for Consideration on the Application:

I have no concerns with this application as long as everything really does match what is existing.



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|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 3, 2021                     |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Don Taylor                      |
| Application Type: | Alterations and/or repair       |
| File Number:      | <a href="#">P18-034-2021</a>    |
| Property Address: | 2 SHARMAN'S LANE                |

---

#### Description of Proposal:

The subject property is located on the east side of Sharman's Lane in the Village of Barriefield, and contains a late 19th century two storey frame dwelling. The property is designated under Part V of the Ontario Heritage Act as part of the Barriefield Heritage Conservation District. The applicants are seeking Heritage Act approval to add two single-storey additions to the rear (east side) of their dwelling. The additions will be clad in vertical wood siding with an asphalt roof, in colours that match the existing dwelling. Each addition will include one wooden sash window facing east. The southern addition will include a door. Detailed plans are attached to the submission.

#### Comments for Consideration on the Application:

No significant concerns. As the additions are only single-storey and are set back from the main house they will not be very visible. A photo of the existing rear addition and more detailed drawings would be helpful. Presumably there are corner boards at the corners of the existing extension, and the east half board will remain at the first storey level to separate the proposed and existing additions. It would seem preferable to use horizontal rather than vertical siding on the new additions so they would integrate better with the earlier addition. Both additions would be readily distinguished from the original house by the difference in the foundations.





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|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 7, 2021                     |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Donald Mitchell                 |
| Application Type: | Alteration and/or repair        |
| File Number:      | <a href="#">P18-034-2021</a>    |
| Property Address: | 2 SHARMAN'S LANE                |

---

#### Description of Proposal:

The subject property is located on the east side of Sharman's Lane in the Village of Barriefield, and contains a late 19th century two storey frame dwelling. The property is designated under Part V of the Ontario Heritage Act as part of the Barriefield Heritage Conservation District. The applicants are seeking Heritage Act approval to add two single-storey additions to the rear (east side) of their dwelling. The additions will be clad in vertical wood siding with an asphalt roof, in colours that match the existing dwelling. Each addition will include one wooden sash window facing east. The southern addition will include a door. Detailed plans are attached to the submission.

#### Comments for Consideration on the Application:

No Concerns. On sides the vertical siding choice adds differentiation and visual interest/dimension. Wonder if on the back whether it becomes busy and whether one continuous choice would be more aesthetic with the whole back having matching siding choice.

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|                   |                                 |
|-------------------|---------------------------------|
| Date:             | May 7, 2021                     |
| Form:             | Heritage Kingston Reviewer Form |
| Reviewer Name:    | Jane McFarlane                  |
| Application Type: | Alteration and/or repair        |
| File Number:      | <a href="#">P18-034-2021</a>    |
| Property Address: | 2 SHARMAN'S LANE                |

---

Description of Proposal:

The subject property is located on the east side of Sharman's Lane in the Village of Barriefield, and contains a late 19th century two storey frame dwelling. The property is designated under Part V of the Ontario Heritage Act as part of the Barriefield Heritage Conservation District. The applicants are seeking Heritage Act approval to add two single-storey additions to the rear (east side) of their dwelling. The additions will be clad in vertical wood siding with an asphalt roof, in colours that match the existing dwelling. Each addition will include one wooden sash window facing east. The southern addition will include a door. Detailed plans are attached to the submission.

Comments for Consideration on the Application:

In general this application seems reasonable and appropriate for the Barriefield HCD. A photo of the back of the house would be helpful rather than having to guess that an original window on the main house will be removed for the kitchen addition and that an existing window on the other side will be incorporated into the mudroom. In addition, a simple plot plan would be helpful as a reference for how much of the back yard the additions will take up and, although not under the purview of HK, whether a minor variance is required.

Given that the horizontal siding on the back wing is more contemporary than the original building, horizontal siding would be appropriate on the two single storey additions if desired.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

**Summary of Final Comments at June 16, 2021 Heritage Kingston Meeting**

The Committee provided no further comment.