



**City of Kingston
Report to Committee of Adjustment
Report Number COA-21-067**

To: Chair and Members of the Committee of Adjustment
From: Sarah Oldenburger, Planner
Date of Meeting: September 20, 2021
Application for: Permission
File Number: D13-041-2021
Address: 11 Gardiner Street
Owner: Kristen Brooks and Wesley Brooks
Applicant: Wesley Brooks

Council Strategic Plan Alignment:

Theme: Business as usual

Goal: See above

Executive Summary:

A recent permission (File Number [D13-002-2021](#)) to expand the existing one storey dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom was approved by Committee of Adjustment on April 19, 2021 and was not appealed.

This report provides a recommendation to the Committee of Adjustment regarding an application for a subsequent permission for the property located at 11 Gardiner Street. The applicant is proposing to expand the existing residential use by adding a third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit. While the existing dwelling has non-complying status, the existing use requires permission to expand as the existing dwelling does not meet the current minimum side yard width, minimum front yard, and minimum lot width provisions in Zoning By-Law Number 8499.

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The proposed west facing Juliet-style balcony on the second floor would include a railing, would not include a floor area, and appears to be contained within the property line (Exhibit G). As such, the proposed Juliet-style balcony is considered an architectural feature and is not subject to the projections into yards provisions under Section 5.8 of Zoning By-Law Number 8499 and does not require *Planning Act* approval.

The requested application for permission under Section 45(2)(a)(i) of the *Planning Act* satisfies the applicable tests. The proposed third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit are in keeping with the intent of the zoning by-law and represent appropriate and desirable development of the lot. Therefore, it is recommended that this application for permission under Section 45(2)(a)(i) of the *Planning Act* be approved.

Recommendation:

That the application for permission, File Number D13-041-2021, for the property located at 11 Gardiner Street to add a third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit, be approved; and

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-21-067.

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Authorizing Signatures:



Sarah Oldenburger, Planner

Consultation with the following Management of the Community Services Group:

Tim Park, Director, Planning Services

James Bar, Manager, Development Approvals

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Options/Discussion:

On June 28, 2021, an application for permission was submitted by Wesley Brooks, on behalf of the owners, Kristen Brooks and Wesley Brooks, with respect to the property located at 11 Gardiner Street. The application for permission is requested to expand the existing non-complying residential use at 11 Gardiner Street to permit a third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit. The proposed third storey addition with south facing dormer would increase the total floor area of the existing dwelling by approximately 31 square metres. The existing dwelling ranges from 0.84 metres to 0.94 metres from the south interior side lot line which does not comply with the side yard width requirements of the zoning by-law. In addition, the existing dwelling has a front yard that ranges from 2.41 metres to 3.91 metres which does not comply with the minimum front yard requirements of the zoning by-law.

In support of the application, the applicant has submitted the following:

- Drawing Package (Exhibit G)
- Survey (Exhibit H)
- Owner's Authorization

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located within the urban boundary, at 11 Gardiner Street (Exhibit B). The subject property is located on the east side of Gardiner Street (a local road), north of King Street West (an arterial road), and south of Union Street (a collector road). The subject property is facing Aberdeen Park, where the Portsmouth Historic Townhall is located, to the west. The subject property is designated "Residential" in the Official Plan and zoned "A5" in Zoning By-Law Number 8499. The property abuts five residential uses also in the "A5" zone: 3 Gardiner Street; 15 Gardiner Street; 585 King Street West; 589 King Street West; and 597 King Street West.

Legal Non-conforming

Pursuant to Subsection 45(2)(a)(i) of the *Planning Act*, the Committee of Adjustment may permit the enlargement or extension of a legal non-conforming building or structure, but no permission may be given to enlarge or extend the building or structure beyond the original limits of the land where the legal non-conforming building or structure is situated. In considering whether to grant a permission pursuant to Subsection 45(2)(a)(i), the relevant test is:

- a. Whether the application is desirable for appropriate development of the subject property; and

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The proposed third storey addition with south facing dormer meets the height requirements of the zoning by-law and would be contained within the property line (Exhibit G). The proposed west facing bay window on the first floor would expand the dwelling westward by approximately 0.46 metres and would be set back approximately 3.45 metres from the front lot line (Exhibit G). The proposed bay window on the western elevation would project less than the previously approved west facing mudroom addition (which will project 1.5 metres from the existing dwelling and will be set back 2.41 metres from the front lot line). The proposed expansion of the existing dwelling would be similar to other residential uses on this section of Gardiner Street which also have front bay windows and/or are three storeys in height. There will be adequate parking space for the primary dwelling. The proposal will not significantly affect the private amenity areas or open space on the site. The proposed expansion of the existing dwelling will increase the functionality of the interior living space while not creating any further zoning deficiencies.

- b. Whether the application will result in undue adverse impacts on the surrounding properties and neighbourhood.

The proposed expansion of the existing dwelling is not anticipated to have any adverse impact on the future development or redevelopment of the property, on adjacent properties or the surrounding neighbourhood. The continued residential use on the property will not create any new noise, odour, traffic conflict or other nuisance. There are no identified cultural heritage resources adjacent to or on the subject property. Portsmouth Historic Town Hall is a protected heritage property across the road from 11 Gardiner Street. However, the proposed changes will not have an adverse impact on this heritage resource. The site is not located within a Heritage District. Based on the City of Kingston archaeological potential mapping the property is in an area of “composite archaeological potential”, however, an Archaeological Assessment will not be required given the changes proposed. The existing residential use will be maintained on the subject property and will not have any adverse impacts on the natural heritage system.

Official Plan

Schedule 3-A of the City of Kingston Official Plan indicates that the subject property is designated “Residential”. The predominant use of the “Residential” designation are residential dwellings, including detached, semi-detached or duplex dwellings, townhouses, and apartments of various types, tenure, and density that respond to a wide range of housing needs. Residential uses imply structures typical to such uses (i.e. balconies and bay windows) and may change over time to meet the needs of residents (i.e. additions with dormers).

Zoning By-Law

The subject property is zoned “A5” in the City of Kingston Zoning By-Law Number 8499, as amended (Exhibit E). The “A5” zone requires a side yard set back of 1.2 metres, a minimum front yard of 7.5 metres, and a lot width of 15.0 metres.

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The existing dwelling does not meet the current side yard width, minimum front yard, and lot width provisions in Zoning By-Law Number 8499. The current structure ranges from 0.84 metres to 0.94 metres from the south interior side lot line, has a front yard depth which ranges from 2.41 metres to 3.91 metres, and a lot width of 11.68 metres. The primary dwelling is considered non-complying as the original dwelling existed prior to the passing of Zoning By-Law Number 8499 in 1975.

The applicant is proposing to expand the existing dwelling to permit a third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit. The proposed expansion of the existing dwelling will be compatible with the abutting residential uses and the character of the neighbourhood. The proposed third storey addition with south facing dormer meets the height requirements of the zoning by-law and is similar to other properties on Gardiner Street which are three storeys tall and/or have dormers. The proposed bay window on the western elevation would not project further than the previously approved west facing mudroom addition (which will project 1.5 metres from the existing dwelling and will be set back 2.41 metres from the front lot line). In addition, a number of other residential uses on this section of Gardiner Street also have front bay windows. The proposed west facing Juliet-style balcony on the second floor would include a railing, would not include a floor area, and would be contained within the property line. Therefore, the proposed Juliet-style balcony is considered an architectural feature and is not subject to the projections into yards provisions under Section 5.8 of Zoning By-Law Number 8499 and does not require *Planning Act* approval. As such, the proposed expansion of the existing non-complying single-family dwelling at 11 Gardiner Street will increase the functionality of the interior living space while not creating any further zoning deficiencies.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input checked="" type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue | <input checked="" type="checkbox"/> Kingston Hydro | <input checked="" type="checkbox"/> City’s Environment Division |
| <input checked="" type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input checked="" type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input checked="" type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input checked="" type="checkbox"/> Kingston Airport | | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

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Public Comments

At the time this report was finalized, no public comments have been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

A recent permission (File Number [D13-002-2021](#)) to expand the existing dwelling to permit a second storey addition, replace the existing porch with a new enclosed mudroom, and add a covered porch and set of stairs on the north elevation of the proposed mudroom was approved by Committee of Adjustment on April 19, 2021 and was not appealed.

Conclusion

The requested application for permission under Section 45(2)(a)(i) of the *Planning Act* satisfies the applicable tests as the requested application is desirable for appropriate development of the subject property and will not result in undue adverse impacts on the surrounding properties and neighbourhood.

Approval of this application will allow for a third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 8499

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on September 20, 2021. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 25 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

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Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

James Bar, Manager of Development Approvals, 613-546-4291 extension 3213

Sarah Oldenburger, Planner, 613-546-4291 extension 3288

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Public Notification Map
- Exhibit D Official Plan Map
- Exhibit E Zoning By-Law Number 8499, Map 29
- Exhibit F Neighbourhood Context Map (2021)
- Exhibit G Drawing Package
- Exhibit H Survey

Recommended Conditions for Approval

Application for Permission, File Number: D13-041-2021

Approval of the foregoing permission shall be subject to the following conditions:

1. Limitation

That the approved permission applies only to the proposed third storey addition with a south facing dormer and a west facing bay window on the first floor of the existing dwelling unit at 11 Gardiner Street as shown on the approved plans attached to the Notice of Decision.

2. No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. Encroachments

The owner/applicant shall demonstrate to the satisfaction of the City that there will be no encroachments onto the neighbouring property as a result of the proposed addition or any modifications to the existing building.

4. Tree Permit Requirements

The established Tree Preservation Plan is to remain in place for the remainder of the project undisturbed. The fencing is to remain in place with no encroachment or placement of materials inside the fenced area.

5. Building Permit Application Requirements

The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings.

The drawings submitted with the building permit application must, in the opinion of the City, conform to the general intent and description of the approved drawings, including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. Additional planning applications may be required should further zoning deficiencies be identified through the Building Permit application process.

6. Standard Archaeological Condition

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132) and City of

Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries at the Ministry of Government and Consumer Services (416-212-7499), the Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132), and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.




Planning Services

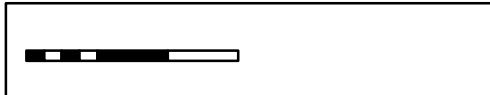
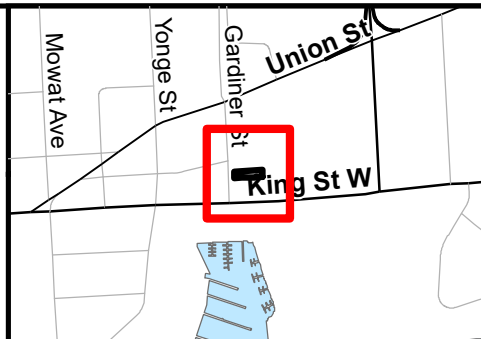
Committee of Adjustment

Key Map

Address: 11 Gardiner Street

File Number: D13-041-2021

 Lands Subject to Minor Variance







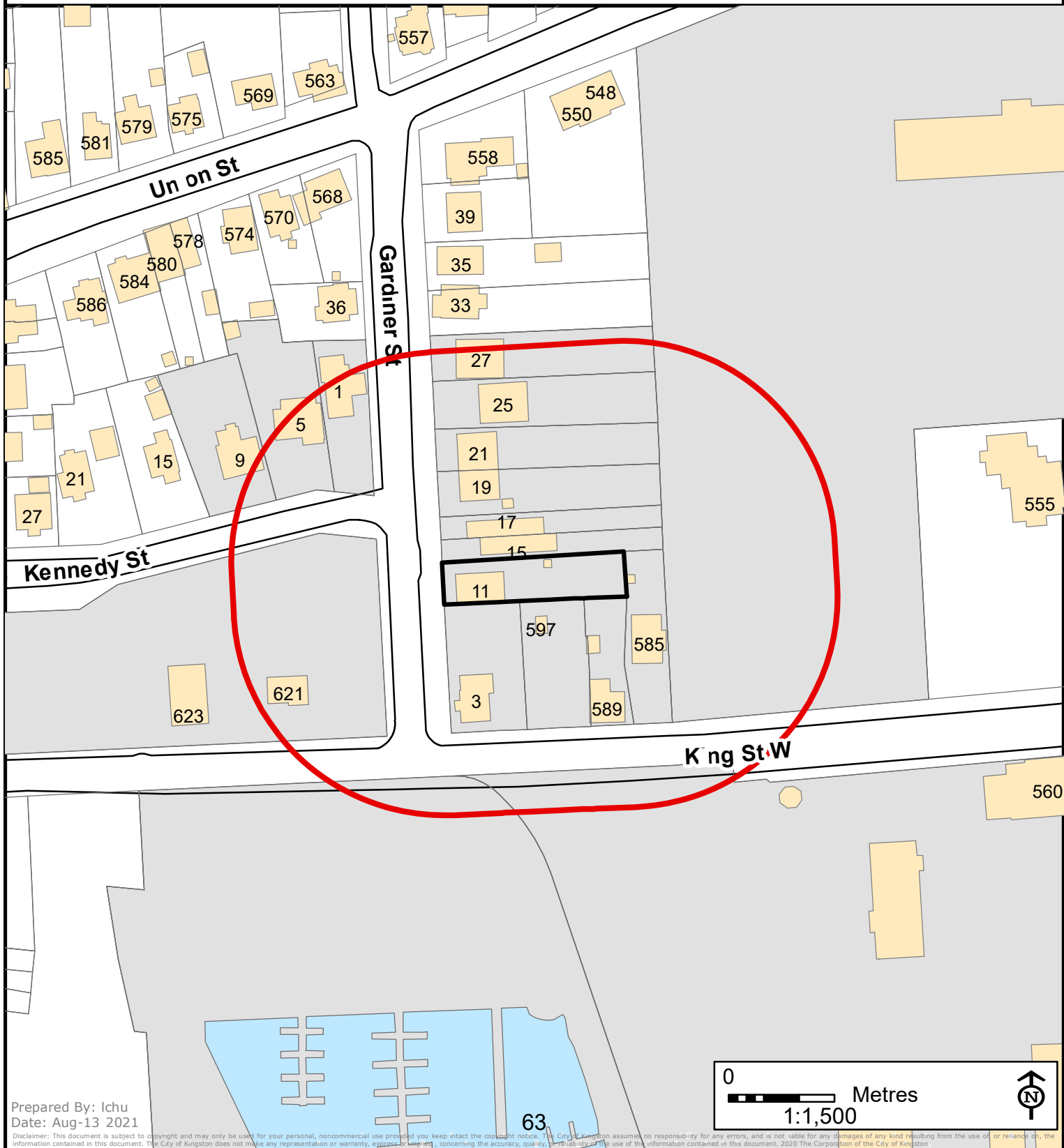


Planning Services

Committee of Adjustment Public Notice Notification Map

Address: 11 Gardiner Street
File Number: D13-041-2021





-  60m Public Notification Boundary
-  Subject Lands
-  Property Boundaries
-  17 Properties in Receipt of Notice (MPAC)

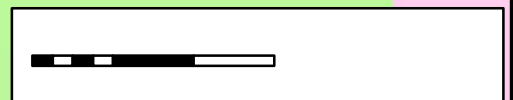
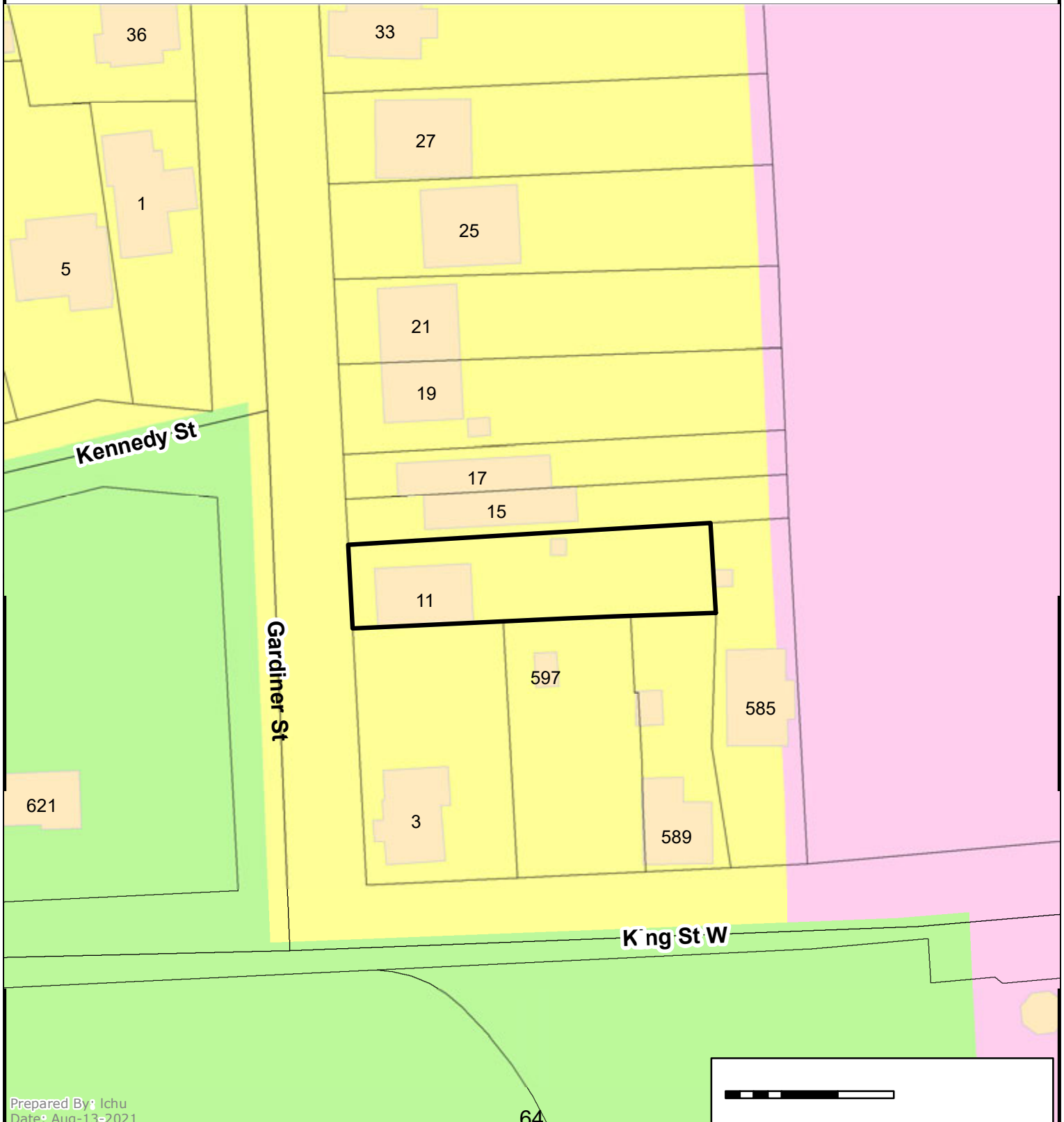




Committee of Adjustment Official Plan, Existing Land Use

Address: 11 Gardiner Street
File Number: D13-041-2021

-  Subject Lands
-  INSTITUTIONAL
-  OPEN SPACE
-  RESIDENTIAL



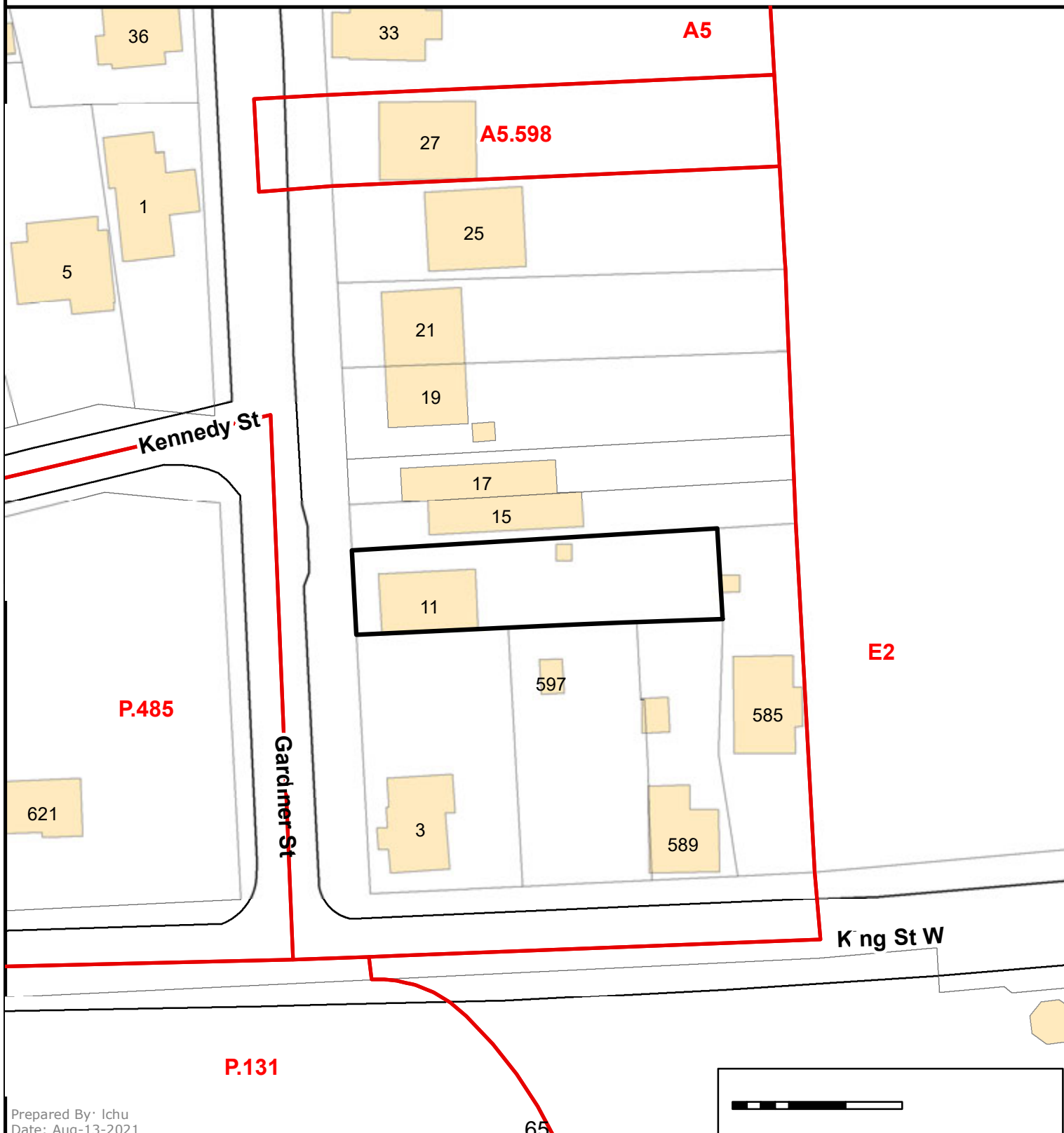


Planning Services

Committee of Adjustment Existing Zoning - By-law 8499, Map 29

Address: 11 Gardiner Street
File Number: D13-041-2021

- Subject Lands
- Consolidated Zoning



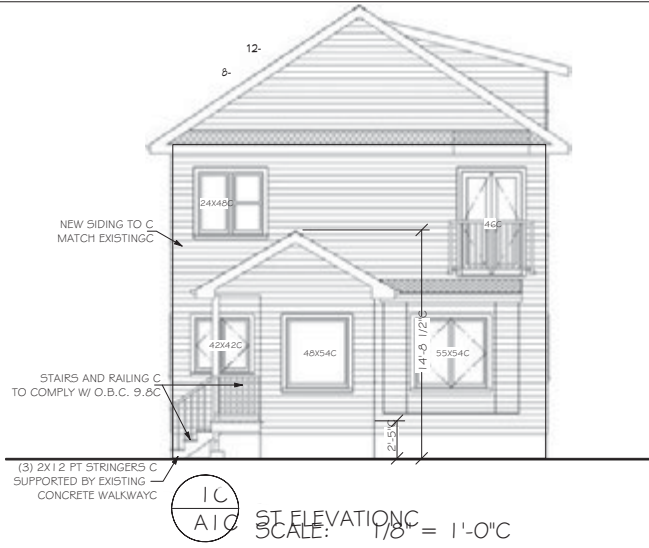


Committee of Adjustment
Neighbourhood Context (2021)

Address: 11 Gardiner Street
File Number: D13-041-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels





1C
A10 EAST ELEVATION C
SCALE: 1/8" = 1'-0" C



3C
A10 WEST ELEVATION C
SCALE: 1/8" = 1'-0" C



2C
A10 SOUTH ELEVATION C
SCALE: 1/8" = 1'-0" C



4C
A10 NORTH ELEVATION C
SCALE: 1/8" = 1'-0" C



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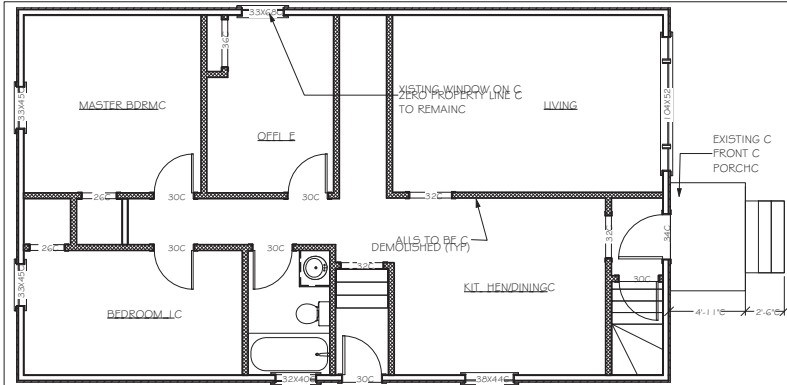
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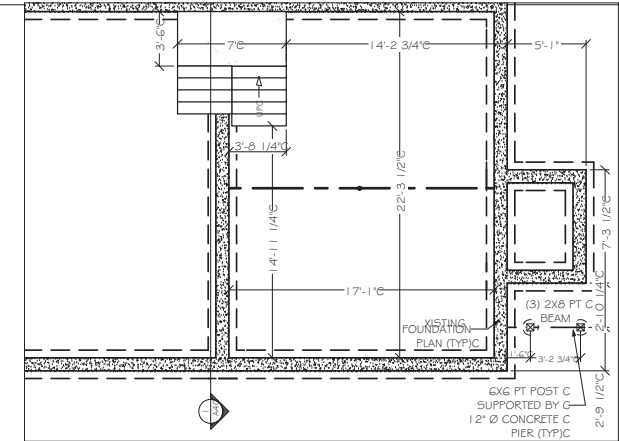
31 HILLENDALE VE. KINGSTON, ONTARIO K7M 1S2
TEL 613 531-7873
CELL 613 561-3428
FAX 613 531-0602

PROPOSED ADDITION TO RESIDENCE	
CLIENT:- WESLEY BROOKS-	
LOCATION:- 11 GARDINER ST., KINGSTON, ON-	
PROPOSED ELEVATIONS-	
SCALE:- 1/8" = 1'-0"	Sheet THURSDAY, AUGUST 12, 2021

DWG NO.
A1
20209

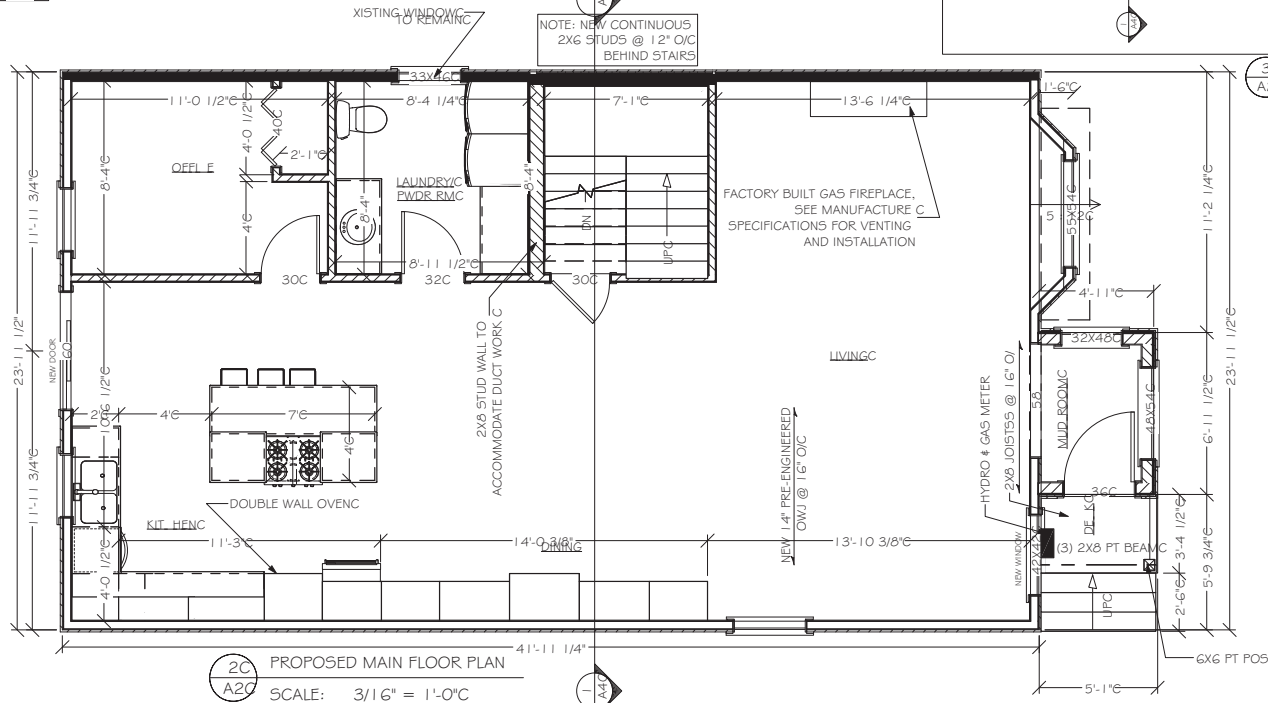


NOTE: C
1. ALL EXTERIOR WALLS ON MAIN FLOOR ARE TO REMAIN UNLESS NOTED OTHERWISE.
2. C
3. C



1C A20 EXISTING MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

	EXISTING MAIN FLOOR EXTERIOR WALLS (TYPIC) -EXISTING SIDING -EXISTING AIR BARRIER -EXISTING WALL SHEATHING -EXISTING FULL 2X4 STUD WALL @ 16" O/C -NEW R14 BATT INSULATION -NEW 6 MIL POLY VAPOR BARRIER -NEW 1/2" GYPSUM BOARD
	EXISTING SOUTH MAIN FLOOR EXTERIOR WALLS (TYPIC) -EXISTING SIDING -EXISTING AIR BARRIER -EXISTING WALL SHEATHING -EXISTING FULL 2X4 STUD WALL @ 16" O/C -NEW R14 ROXUL SAFE + SOUND BATT INSULATION -NEW 6 MIL POLY VAPOR BARRIER -NEW 5/8" TYPE -X GYPSUM BOARD
	EXISTING MAIN FLOOR INTERIOR STUD WALLS -NEW 1/2" GYPSUM BOARD -EXISTING FULL 2X4 STUD WALL @ 16" O/C -NEW 1/2" GYPSUM BOARD
	NEW INTERIOR STUD WALLS -NEW 1/2" GYPSUM BOARD -NEW 2X4 STUD WALL @ 16" O/C -NEW 1/2" GYPSUM BOARD
	NEW EXTERIOR WALLS (TYPIC) -NEW SIDING -NEW 1" R5 RIGID INSULATION, TUCT TAPE SEAMSC -NEW 1/2" OSBC -NEW 2X6 STUD WALL @ 16" O/C -NEW R20 BATT INSULATION -NEW 6 MIL POLY VAPOR BARRIER -NEW 1/2" GYPSUM BOARD
	EXISTING SOUTH MAIN FLOOR EXTERIOR WALLS (TYPIC) -NEW SIDING -NEW 1" R5 RIGID INSULATION, TUCT TAPE SEAMSC -NEW 1/2" OSBC -NEW 2X6 STUD WALL @ 16" O/C -NEW R20 ROXUL SAFE + SOUND BATT INSULATION -NEW 6 MIL POLY VAPOR BARRIER -NEW 5/8" TYPE -X GYPSUM BOARD



2C A20 PROPOSED MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



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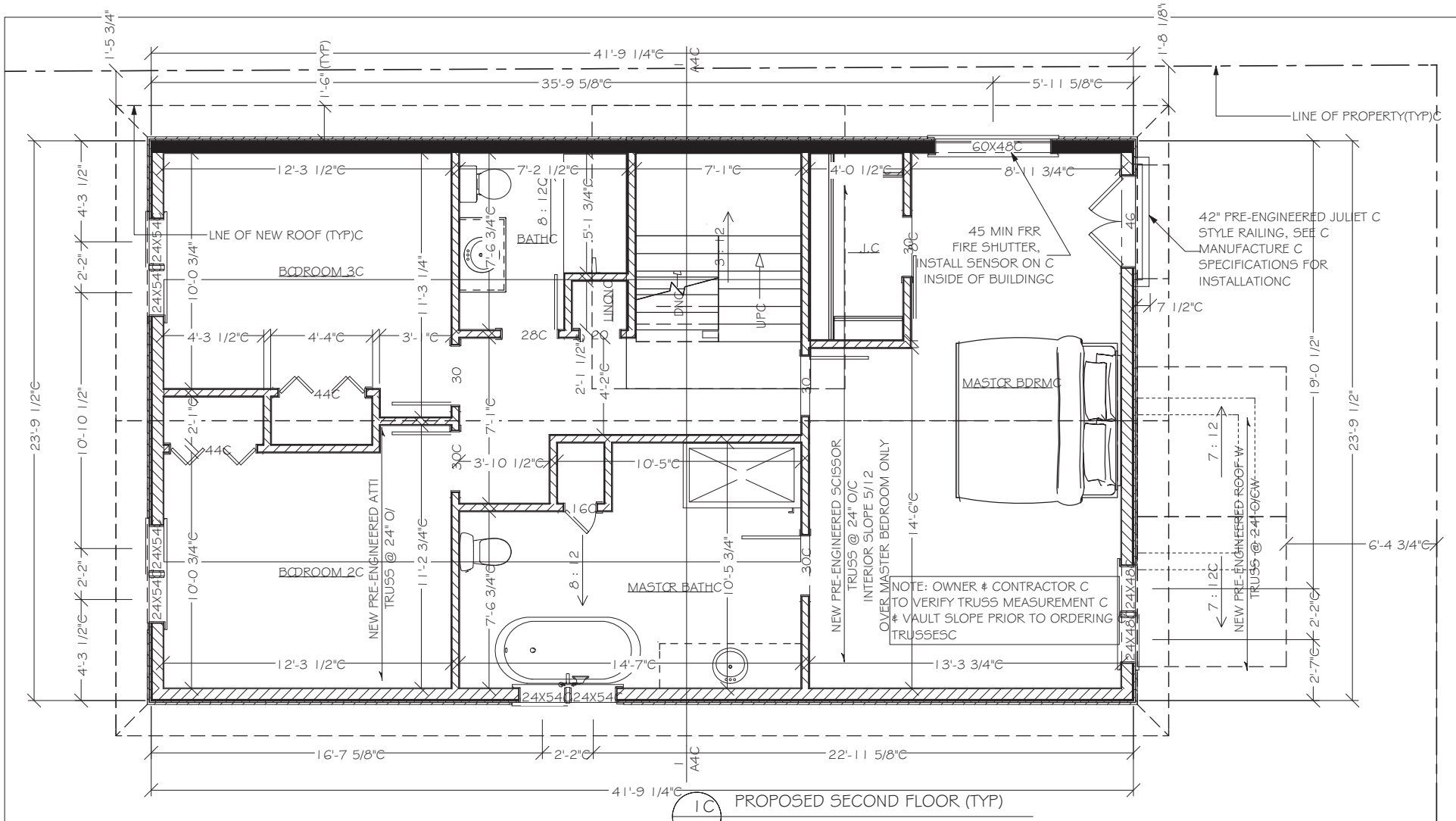
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PROPOSED ADDITION O RESIDENCE	
CLIENT:- WESLEY BROOKS	
LOCATION:- 11 GARDINER ST., KINGSTON, ON.	
EXISTING & PROPOSED MAIN FLOOR PLAN-	
SCALE: AS SHOWN	Sheet THURSDAY, AUGUST 12, 2021

DWG NO.
A2
20209



1C PROPOSED SECOND FLOOR (TYP)
A3C SCALE: 1/4" = 1'-0"



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31 HILLENDALE VE.
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K7M 1S2

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PROPOSED ADDITION
O RESIDENCE

CLIENT:- WESLEY BROOKS

LOCATION:- 11 GARDINER ST., KINGSTON, ON.

PROPOSED SECOND FLOOR & BASEMENT PLAN

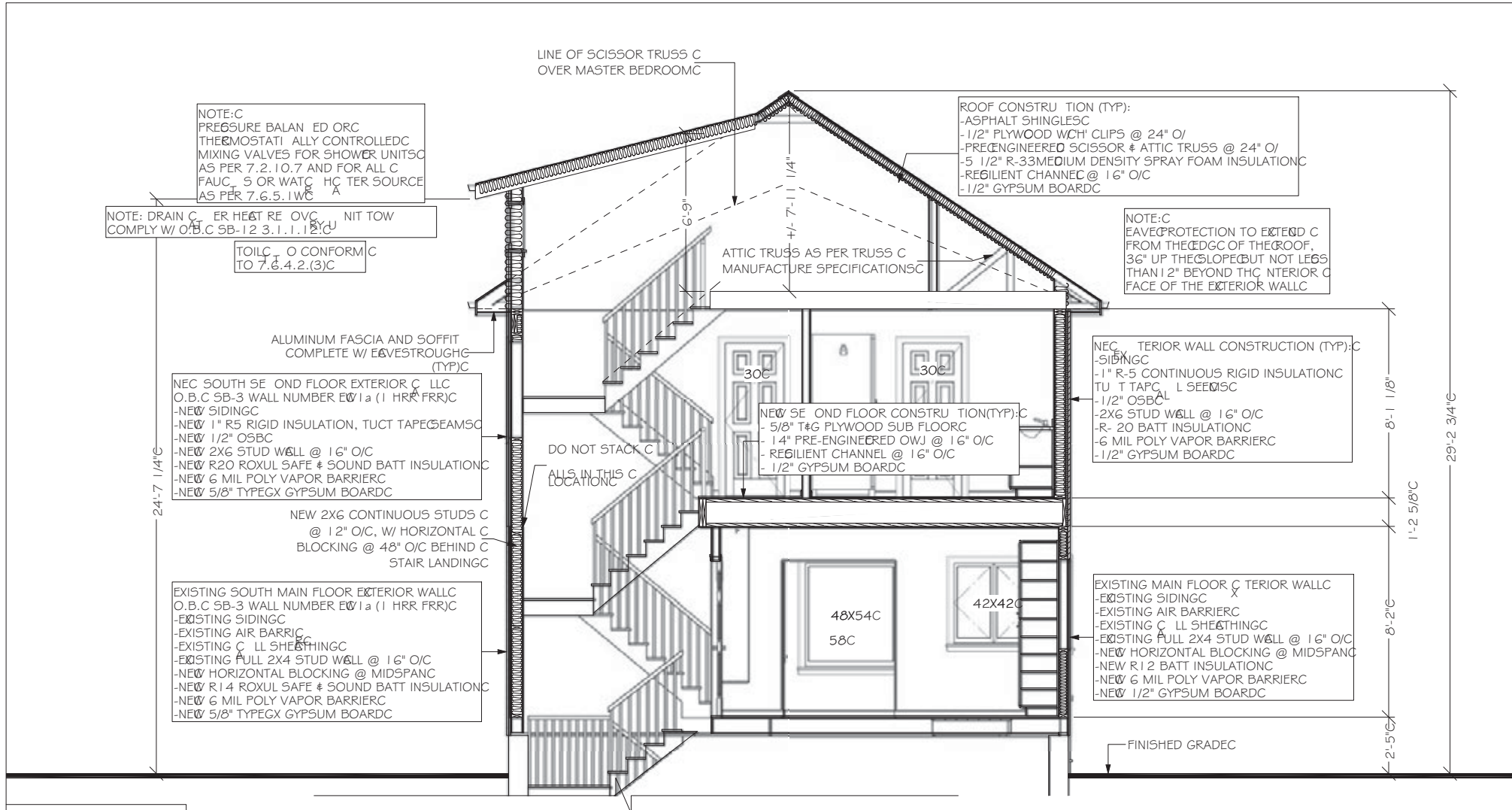
SCALE: 3/16" = 1'-0" THURSDAY, AUGUST 12, 2021

Sheet

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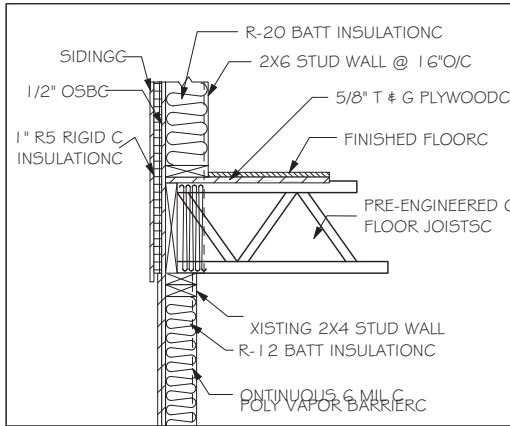
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PROPOSED ADDITION	
O RESIDENCE	
CLIENT:- WESLEY BROOKS	
LOCATION:- 11 GARDINER ST., KINGSTON, ON.	
BUILDING SECTION-	
SCALE: 1/4" = 1'-0"	Sheet THURSDAY, AUGUST 12, 2021

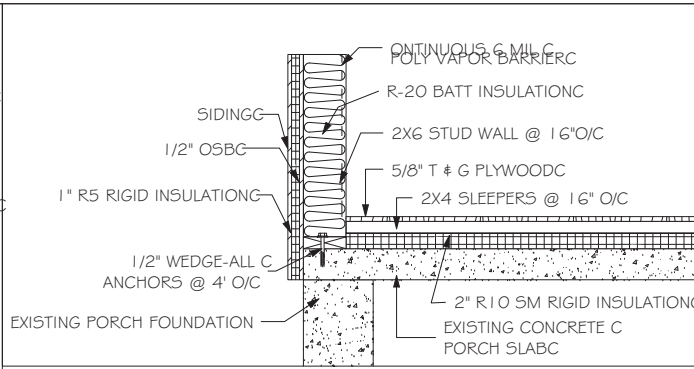
DWG NO.

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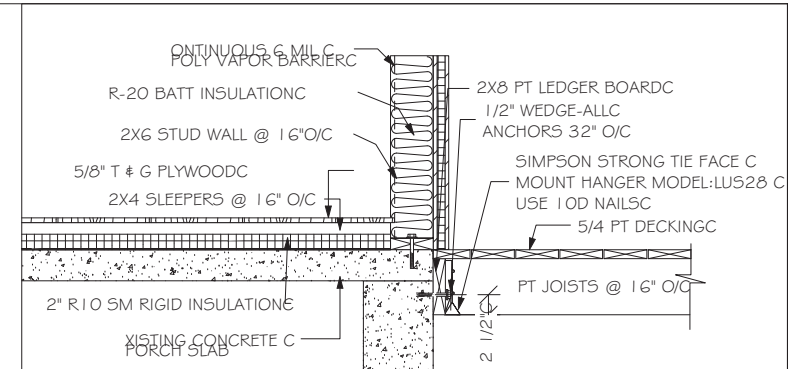
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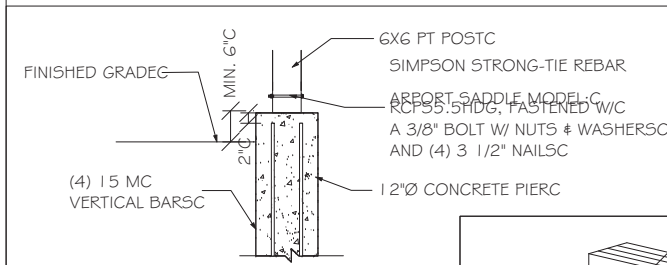
1C
A5C FLOOR @ SECOND FLOOR (TYP)
SCALE: 3/4" = 1'-0"



2C
A5C MUDROOM @ EXISTING FRONT PORCH
SCALE: 3/4" = 1'-0"

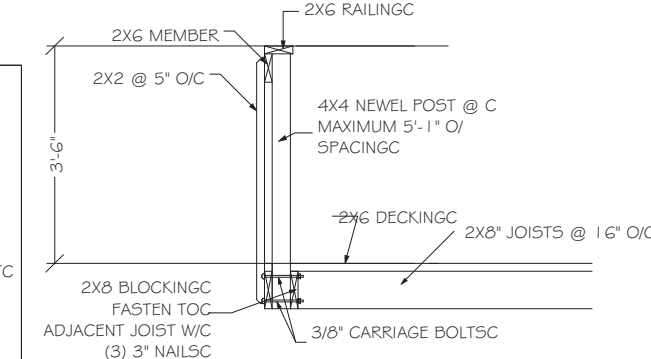


3C
A5C LEDGER BOARD DETAIL (TYP)
SCALE: 3/4" = 1'-0"

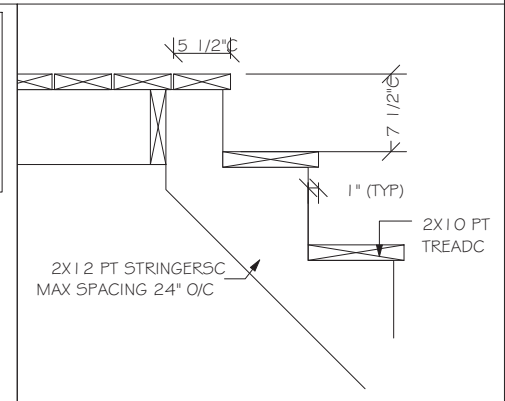


4C
A5 CONCRETE PIER DETAIL (TYP)
SCALE: 1/2" = 1'-0"

NOTE:
1) IF DIFFERENCE IN ELEVATION BETWEEN GRADE AND TOP OF DECK EXCEEDS 5'-1 1/2", THE RAILING MUST BE 3'-6" HIGH
2) MAXIMUM 4x4 NEWEL POST SPACING IS 5'-1 1/2"
3) IF DIFFERENCE IN ELEVATION BETWEEN GRADE AND TOP OF DECK IS LESS THAN 23 1/2", NO RAILING REQUIRED
4) RAILING HEIGHT ALONG STAIRS IS 36"



5
A5 RAILING DETAIL (TYP)
SCALE: 3/4" = 1'-0"



2
A5 STAIR CONNECTION DETAIL (TYP)
SCALE: 1" = 1'-0"

4C
A5C POST TO BEAM DETAIL (TYP)
SCALE: 1" = 1'-0"



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E.R. TROUGHT DESIGN INC.

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K7M 1S2

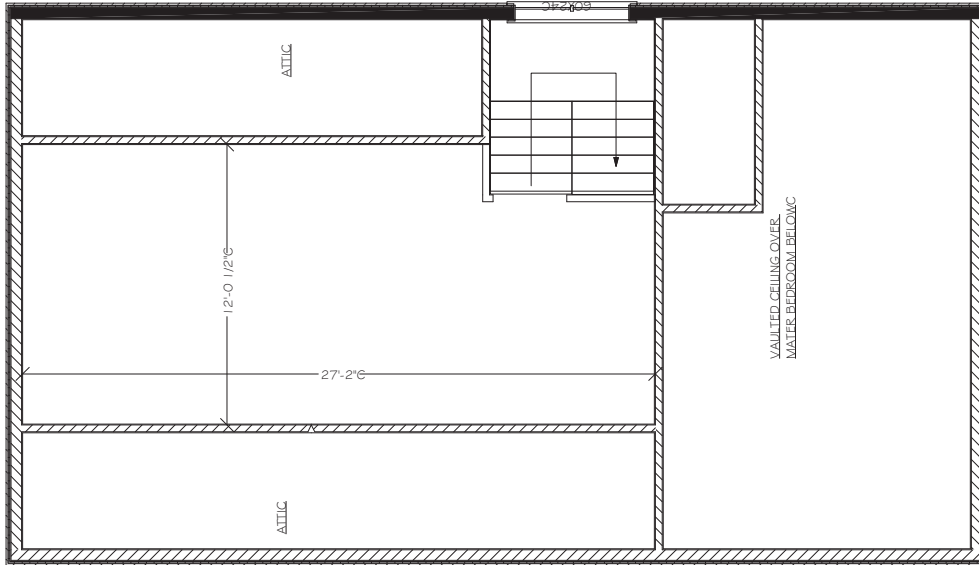
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PROPOSED ADDITION	
0 RESIDENCE	
CLIENT:- WESLEY BROOKS	
LOCATION:- 11 GARDINER ST., KINGSTON, ON.	
DETAILS-	
SCALE: AS SHOWN	Sheet THURSDAY, AUGUST 12, 2021

DWG NO.

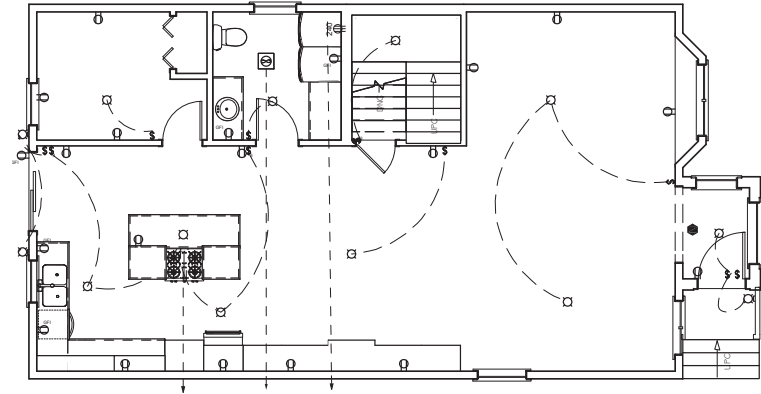
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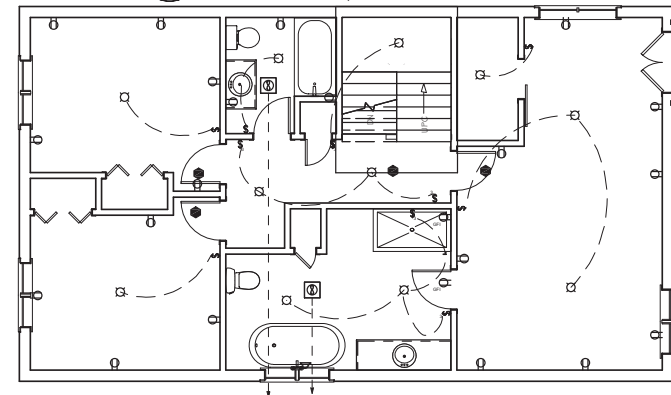


2C THIRD FLOOR PLAN
A6C SCALE: 3/16" = 1'-0" C

SYMBOL	DESCRIPTION
	BROAN 110 CFM CEILING MOUNTED EXHAUST FAN MODEL: QTXC10C
	Ceiling Mounted Light Fixtures: Surface/Pendant
	Wall Mounted Light Fixtures: Flush Mounted
	240V Receptacle
	110V Receptacles: Duplex
	GFI: Ground Fault Receptacles
	Single Pole Switch
	3-Way Switch
	Smoke Alarms w/ visual signaling component as per O.B.C 9.10.19.1.(2) C and CO2 detector



2C MAIN FLOOR ELECTRICAL PLAN
A6C SCALE: 1/8" = 1'-0" C



3C SECOND FLOOR ELECTRICAL PLAN
A6C SCALE: 1/8" = 1'-0" C



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PROPOSED ADDITION
TO RESIDENCE

CLIENT:- WESLEY BROOKS

LOCATION:- 11 GARDINER ST., KINGSTON, ON-

ELECTRICAL PLANS-

SCALE:

1/8" = 1'-0"

THURSDAY, AUGUST 12, 2021

Sheet

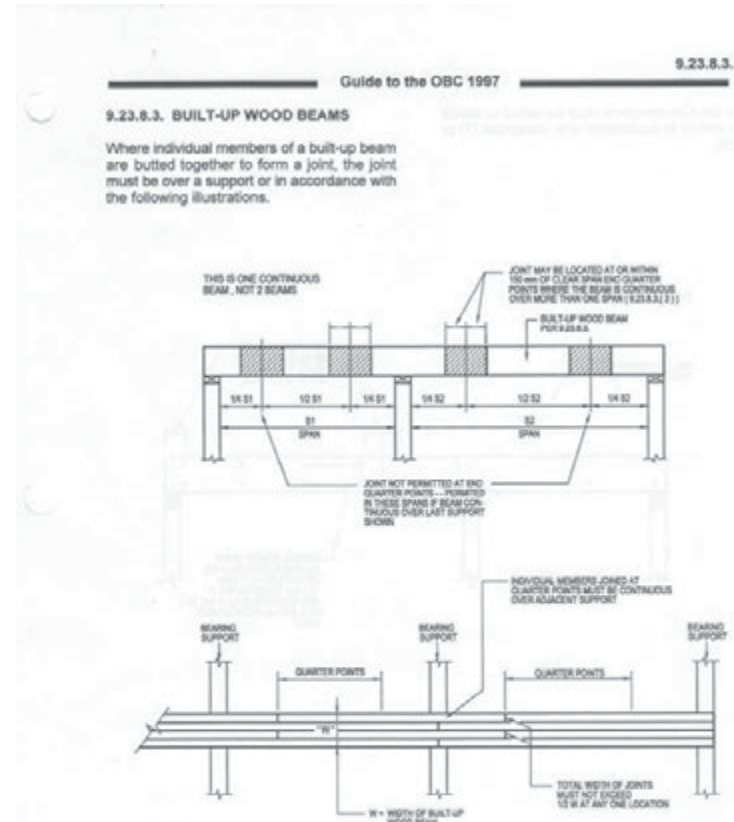
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GENERAL NOTES:

1. CONNECT ALL SMOKE AND CARBON MONOXIDE DETECTORS TO ALARM, ANY DETECTION WILL SOUND ALL ALARMS.
2. STAIRS AND HANDRAILS TO CONFORM WITH SECTION 9.8. O.B.C.C
3. EAVE PROTECTION TO CONFORM WITH SECTION 9.26.5.1 O.B.C. C
4. ALL LINTELS ARE (2)X10, UNLESS NOTED OTHERWISE
5. INSTALL ATTIC VENTILATION TO CONFORM WITH SECTION 9.19.1. O.B.C.C
6. ENSURE THAT THERE IS A MINIMUM CLEARANCE OF 17 3/4" TO ANY COMBUSTIBLE MATERIAL AT EITHER SIDE OF THE KITCHEN STOVE RANGE, AS WELL AS 30" CLEAR HEIGHT ABOVE THE RANGE UNLESS OTHERWISE PROTECTED
7. ALL WOOD USED FOR DECKS, EXTERIOR STAIRS AND EXTERIOR RAILINGS TO BE PRESSURE TREATED.
8. ALL GIRDER TRUSSES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUDS FORMING A COLUMN INSIDE THE STUD WALL AS INDICATED ON TABLE A-35 O.B.C. P287. ALL GIRDER TRUSSES REQUIRE A MINIMUM BEARING LENGTH OF 140mm UNLESS SPECIFIED OTHERWISE BY THE TRUSS MANUFACTURER.
9. IF ANY GIRDER TRUSSES BEAR ON A LINTEL OR TRANSFER THE APPLIED LOAD FROM THE GIRDER TRUSS DOWN TO A LINTEL, THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY LINTEL SIZING.
10. IF TILE IS TO BE PLACED AROUND TUB/SHOWER UNITS, ENSURE MOISTURE RESISTANT BACKING IS PROVIDED AS PER THE REQUIREMENTS OF THE O.B.C.C
11. BLOCKING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C.C
12. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS
13. ALL ELECTRICAL TO BE CONFIRMED BY OWNER PRIOR TO ORDERING ELC
14. SMOKE ALARMS ARE TO CONFORM TO THE REQUIREMENTS 18.5.3. OF THE O.B.C.C



BUILT-UP WOOD COLUMNS AND BEAMS	
MEMBER	MIN. 3 1/2" NAIL SPACING
2X4C	2 NAILS @ 16" O/C
2X6C	3 NAILS @ 16" O/C
2X8C	3 NAILS @ 16" O/C
2X10C	4 NAILS @ 16" O/C
2X12C	4 NAILS @ 16" O/C

VERY SET OF NAILS ARE STAGGERED



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K7M 1S2

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PROPOSED ADDITION T
O RESIDENCE

CLIENT:- WESLEY BROOKS-

LOCATION:- 11 GARDINER ST., KINGSTON, ON-

GENERAL NOTES-

SCALE: -

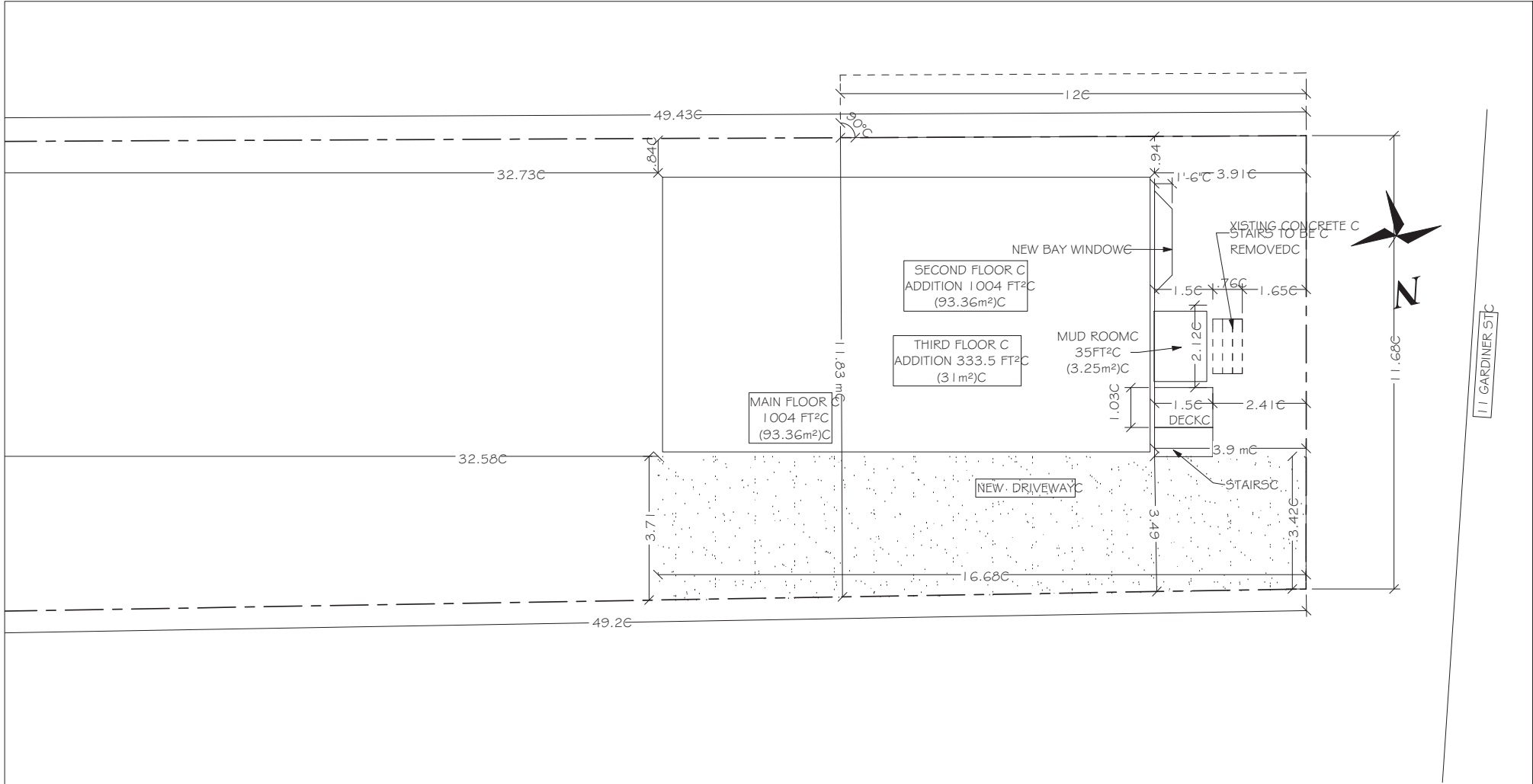
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**PROPOSED ADDITION
O RESIDENCE**

CLIENT:- WESLEY BROOKS-

LOCATION:- 11 GARDINER ST., KINGSTON, ON-

PLOT PLAN-

SCALE:-
1/8" = 1'-0"

THURSDAY, AUGUST 12, 2021

Sheet-

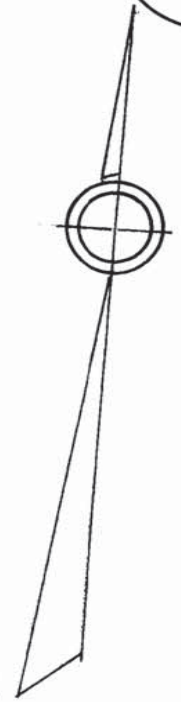
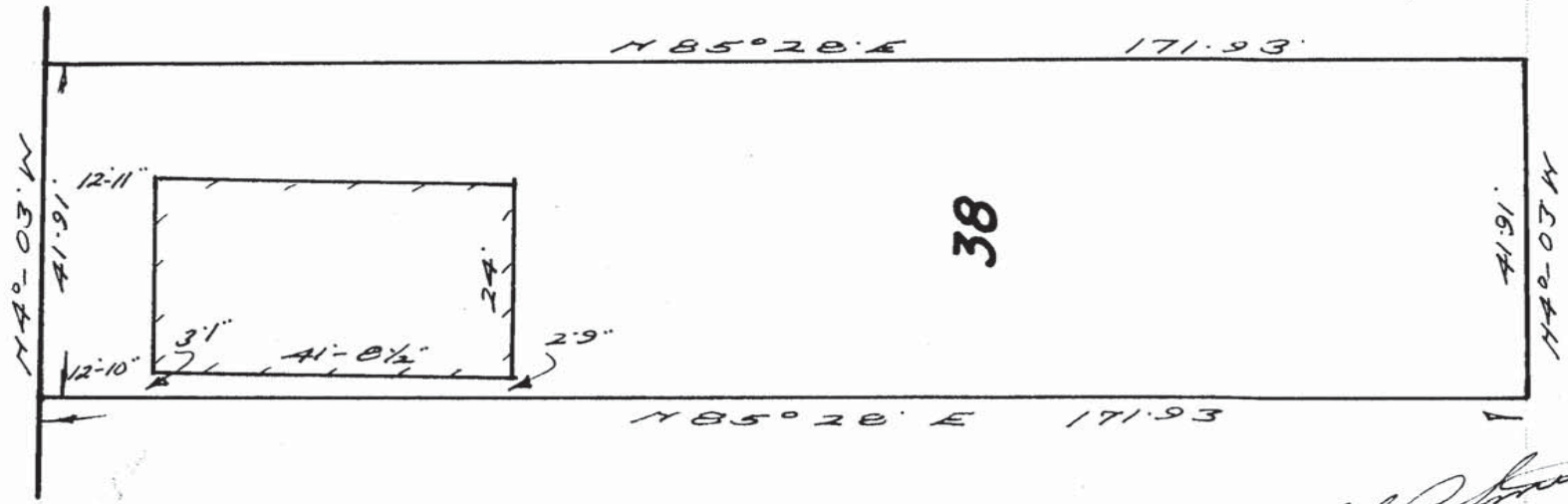
DWG NO.

PP1

20209

PLAN SHOWING
LOCATION OF HOUSE SITUATE ON
LOT 38, PLAN 54,
CITY OF KINGSTON
SCALE 1" = 20'

GARDINER STREET



Donald C. Smith
Feb 19/58

SMITH & SMITH
ONTARIO LAND SURVEYORS
83 CLARENCE STREET
KINGSTON, ONT. LI. 8-3444