



**City of Kingston
Report to Committee of Adjustment
Report Number COA-21-074**

To: Chair and Members of the Committee of Adjustment
From: Riccardo Peggi, Planner
Date of Meeting: October 18, 2021
Application for: Minor Variance
File Number: D13-053-2021
Address: 184 Bagot Street
Owner: Mark Dinelle
Applicant: Mark Dinelle and Boulevard Group

Council Strategic Plan Alignment:

Theme: 2. Increase housing affordability

Goal: 2.1 Pursue development of all types of housing city-wide through intensification and land use policies.

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for minor variances for the property located at 184 Bagot Street. The property is currently a parking lot used for the neighbouring properties at 180 and 182 Bagot Street. The applicant intends to construct a single unit residence on the property as is permitted under the zoning. However, the site is constrained by some of the requirements of the site-specific zone 'B.303' on the property, specifically around providing parking to the neighbouring properties. The applicant is therefore seeking minor variances to accommodate the single unit residence. The applicant is proposing to increase the exterior wall height of the new dwelling, reduce the length of parking stalls, and decrease the minimum landscaped open space.

The subject property at 184 Bagot Street, along with neighbouring properties at 180 and 182 Bagot Street, and 111 William Street were collectively rezoned in 2015 (File Number D14-077-2014) to enable a professional office and single residential unit at 180 and 182 Bagot Street, a

October 18, 2021

Page 2 of 13

single unit residence at 111 William Street, and a single unit residence at 184 Bagot Street. Under the site-specific zone ‘B.303’, four parking spaces are required to be located on 184 Bagot Street for the use of the professional office on the adjacent property. In 2020, the property at 180 and 182 Bagot Street was rezoned again (File Number D14-014-2020) to enable a three-unit residence in place of the professional office and single unit residence. The requirement to locate parking on 184 Bagot Street remained on ‘B.303’, although some of the specifications were written under 180 and 182 Bagot Street and were moved to the new ‘B.601’. Due to the requirement to continue to provide parking on 184 Bagot Street, the applicant is somewhat constrained to meet all of the zoning requirements to construct a single unit dwelling on subject property.

The requested minor variances are consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The requested minor variances are desirable for the appropriate development or use of the land, building or structure and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

Variance Number 1: Parking Space Dimensions

By-Law Number 8499: Section 5.3B(h)
 Requirement: Minimum 2.7 metres wide and 6.0 metres long
 Proposed: 2.7 metres wide and 5.2 metres long
 Variance Requested: 0.8 metres in length

Variance Number 2: Exterior Wall Height

By-Law Number 8499: Section 6.3(f)(ii)(2)
 Requirement: The maximum permitted height exclusive of end gable shall be 7.0 metres
 Proposed: 7.2 metres
 Variance Requested: 0.2 m additional height

Variance Number 3: Landscaped Open Space

By-Law Number 8499: Section 6.3(o)
 Requirement: Minimum 30%
 Proposed: 9.3%
 Variance Requested: 20.7%

Recommendation:

That minor variance application, File Number D13-053-2021, for the property located at 184 Bagot Street to increase exterior wall height of the new dwelling, reduce the length of parking stalls, and decrease the minimum landscaped open space for the development of a single unit residence on the property be approved; and

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-21-074.

October 18, 2021

Page 3 of 13

Authorizing Signatures:



Riccardo Peggi, Planner

In Consultation with the following Management of the Community Services Group:

Tim Park, Director, Planning Services
James Bar, Manager, Development Approvals

October 18, 2021

Page 4 of 13

Options/Discussion:

On August 25, 2021, a minor variance application was submitted by OTMark Dinelle and Boulevard Group, on behalf of the owner, Mark Dinelle, with respect to the property located at 184 Bagot Street. The variance is requested to increase the exterior wall height of the new dwelling, reduce the length of typical and accessible parking stalls, decrease the minimum landscaped open space, and amend driveway width regulations.

In support of the application, the applicant has submitted the following:

- Site Plan (Exhibit E)
- Zoning Table
- Floor Plan
- Elevations and Cross Sections (Exhibit F)
- Grading and Servicing

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located at 184 Bagot Street (Exhibit A – Key Map) and is located within the Old Sydenham Heritage Conservation District and situated 70 metres south of Johnson Street, a designated arterial road. The subject property has an area of 313.65 square metres. With a frontage of 10.9 metres along Bagot Street. The property is currently vacant and utilized as parking space for the adjacent properties located at 180 and 182 Bagot Street.

The subject property is designated Residential in the Official Plan (Exhibit B – Official Plan Map) and zoned Site Specific Three to Six Family Dwelling 'B.303' Zone in Zoning By-Law Number 8499 (Exhibit C – Zoning By-Law Map). The zoning for the property allows for a single unit residential dwelling.

Properties in the immediate area (within 60 metres) include (Exhibit D - Neighbourhood Context Map):

- North: various residential properties such as single detached, semi-detached, and row house dwellings.
- East: a residential building with approximately 50 senior citizen apartments at 205 Bagot Street and the Central Branch of the Kingston Frontenac Library.
- South: an existing mixed-use building with commercial at grade and two-unit apartment at 175 Bagot Street and two apartment complexes municipally known as 80 and 84 William Street. The predominate residential use is row dwellings.

October 18, 2021

Page 5 of 13

- West: various residential properties such as single-detached, semi-detached, and row dwellings. In addition, there is also a rooming house at 118 William Street.

Application History

The property is closely tied to the adjacent lots to the south at 180 Bagot Street, 182 Bagot Street, and 111 William Street. In 2015, these lots, along with 184 Bagot Street, were rezoned through File Number D14-077-2014 to site-specific zone 'B.303'. At the time of rezoning, 180 Bagot Street contained a professional office occupying the ground floor and basement, with a large upstairs apartment occupying the remainder of the building. The property at 111 William Street contained a single unit dwelling with three bedrooms. The property at 184 Bagot Street was left to provide parking for the professional office, as there was no space on 180 and 182 Bagot Street for parking. Zone 'B.303' also included the allowance for a single unit dwelling at 184 Bagot Street.

In 2021 through File Number D14-014-2020, 180 Bagot Street and 182 Bagot Street were rezoned to a new site specific 'B.601' Zone to allow for a three-unit multi-residential dwelling, replacing the professional office. The requirement to provide at least four parking spaces on 184 Bagot Street remained on 'B.303', but the design standards for the parking spaces were removed from 'B.303' and moved to 'B.601'.

Accessible Parking

Site specific zone 'B.303' states the following with regards to parking:

"A minimum of four (4) parking spaces will be located on this property. One (1) barrier free parking space and two (2) regular parking spaces shall be used exclusively for a professional office at 180 Bagot Street."

Through the rezoning of 180/182 Bagot to 'B.601', the professional office at 180/182 Bagot no longer exists and has been replaced by a triplex. According to section 5.3A(d)(i)(a) on Zoning By-Law Number 8499, "Accessible parking is not required for single detached and semi-detached houses, duplexes, triplexes, townhouses, and row houses that do not have shared parking arrangements" (emphasis added).

It is interpreted that the provision of a 'barrier free parking space' on 184 Bagot Street is tied to the use of a professional office at 180 Bagot Street. Given that the professional office no longer exists, and has been replaced by a triplex, an accessible parking spot is not required.

Application

The review of an application for minor variances is not a simple mathematical calculation, but rather a detailed assessment of whether the variances requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

October 18, 2021

Page 6 of 13

Provincial Policy Statement

In addition to the four tests of a minor variance detailed above, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

1) The general intent and purpose of the Official Plan are maintained

The subject property is designated 'Residential' in the City of Kingston Official Plan.

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan. The following provides these nine requirements and an assessment of how the proposal is consistent with each.

1. The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

The application meets the intent of Section 2 of the Official Plan, as the proposed variances are intended to enable a single unit dwelling on the subject property that is currently a vacant parking lot. The proposal would add a new residence within the existing urban and residential area. The proposal therefore meets strategic directions such as intensification and added density, as well as compatibility with the surrounding area.

2. The proposed development will be compatible with surrounding uses, buildings or structures and development standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

It is anticipated that the proposed development will be compatible with surrounding uses. The variance for exterior wall height is only 20 centimeters taller than the maximum requirement, which is negligible, and the overall height of the building is within the maximum height allowed in the area. The residence is proposed to be located near to the street frontage with parking located behind, which is consistent with surrounding development in the area.

Renderings of the proposed dwelling can be found in Exhibit F. Note that the site plans in Exhibit F were produced in 2014 and some aspects may be outdated.

3. The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

October 18, 2021

Page 7 of 13

The single unit dwelling is an infill development which will maintain the function of the neighbourhood. Based on the interpretation of the zoning for the property, the property is not required to provide an accessible parking space. The four spaces that will be provided are accessed through a driveway alongside the proposed dwelling. With four parking spots, there will be one spot per unit including the dwelling being constructed on the property, and the three units at 180/182 Bagot Street.

The dwelling will be located along the frontage onto Bagot Street which will maintain a consistent setback from the street alongside neighbouring properties.

The shorter parking stall length is proposed to allow sufficient vehicle access and turning radius

4. The conformity of the proposal to any applicable urban design policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

The proposed development generally conforms to applicable urban design policies, as outlined in Section 8 of the Official Plan. The proposed dwelling is designed to be consistent with the character of the neighbourhood. The proposed development is within the Old Sydenham Heritage Conservation District and has received a Heritage Permit P18-073-2019 from Heritage Kingston.

5. If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the protected views shown on Schedule 9 of this Plan, then a Heritage Impact Statement may be required to assist staff to determine if the resulting development is desirable;

The proposed development is within the Old Sydenham Heritage Conservation District and has received Heritage Permit P18-073-2019 from Heritage Kingston.

6. The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

The subject property is located within the Urban Boundary with municipal water and sanitary services. The application was circulated to Utilities Kingston through technical review. It is noted that Utilities Kingston has a few considerations on-site, which may not be impacted by the proposed variances, and can be addressed through the Site Plan Control process.

7. Whether the application and the cumulative impact of the proposed variances would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The proposal meets the four tests of a Minor Variance as outlined in the *Planning Act*, and described herein.

October 18, 2021

Page 8 of 13

- 8. The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

Recommended conditions are included in Exhibit A to this report.

- 9. The degree to which such approval may set an undesirable precedent for the immediate area.

The proposal is in keeping and compatible with the existing development in the surrounding area and will not set an undesirable precedent.

The proposal meets the intent of the Official Plan, as the proposed variances to parking, exterior wall height, driveway width, and landscaped space will not result in any negative impacts to adjacent properties or to the neighbourhood.

2) The general intent and purpose of the zoning by-law are maintained

The subject property is zoned Site Specific Three to Six Family Dwelling ‘B.303’ Zone in the City of Kingston Zoning By-Law Number 8499, entitled "Restricted Area (Zoning) By-Law of the Corporation of the City of Kingston", as amended. The site specific ‘B.303’ zone permits one single unit dwelling.

The proposal requires several variances, including variances to regulations on parking, exterior wall height, and landscaped open space.

Variance Number 1: Parking Space Dimensions

By-Law Number 8499:	Section 5.3B(h)
Requirement:	Minimum 2.7 metres wide and 6.0 metres long
Proposed:	2.7 metres wide and 5.2 metres long
Variance Requested:	0.8 metres in length

The applicant is proposing to shorten the length of the parking stalls from the required 6.0 metres to 5.2 metres. The decrease in length was previously approved within Zone B.303 but was written under the section pertaining to 180/182 Bagot Street. This section was later removed from B.303 when those properties were rezoned to allow the three-unit residential building. The section is now written under Zone B.601 which pertains to 180/182 Bagot Street.

The reduction in length was justified in a 2014 Parking Report submitted to support the previous rezoning application (Exhibit G). The justification for the 5.2 metre length was “the result of property restrictions at the rear of the buildings, and to ensure that an adequate aisle width is available for access & egress” (Parking Report – 182 Bagot Street, 2014, p. 6).

October 18, 2021

Page 9 of 13

The proposed variance is generally consistent with the zoning on the property given the spatial constraints of providing four parking spaces on the property, and that the dimensions of the parking spaces had been deemed acceptable in the previous rezoning of the property.

Variance Number 2: Exterior Wall Height

By-Law Number 8499:	Section 6.3(f)(ii)(2)
Requirement:	The maximum permitted height exclusive of end gable shall be 7.0 metres.
Proposed:	7.2 metres
Variance Requested:	0.2 metres additional height

Exterior wall height is calculated exclusive of the end gable. The requirement in Bylaw 8499 Section 6.3(f)(ii)(2) requires an exterior wall height of 7.0 metres. The proposed height is 7.2 metres. The applicant makes the case that the additional 0.2 metres are “requested to provide adequate natural light to the basement windows”, and that “It should be noted that the overall building height of the proposed dwelling complies with the maximum permitted height requirement”. The overall building height is 10.54 metres at the ridge line and the requirement in the Zoning is 10.62 metres.

The requirement for exterior wall height is to maintain the character of the existing built form in the area. In this case, an increase of 20 centimetres is negligible, and the overall height of the building is consistent with the zoning requirements. Further, the design of the building is generally consistent with the surrounding built form.

Variance Number 3: Landscaped Open Space

By-Law Number 8499:	Section 6.3(o)
Requirement:	Minimum 30%
Proposed:	9.3%
Variance Requested:	20.7%

The zoning for the property requires that at least 30 percent of the property be landscaped open space. The lot area is 313 square metres so would require 93.9 square metres of landscaped open space. The applicant is proposing 29.3 square metres of open space, or 9.3% of the lot.

The applicant makes the case that “Based on the recent zoning approval (File Number D14-014-2020) which required off-site parking for 180 &182 Bagot Street to be located on the subject property, it has restricted the ability to meet the on-site landscaping requirements.” Through this application and proposed development, the owner has incorporated on-site vegetation and landscaping where possible, given the physical constraints.”

The property currently has very little landscape open space and is currently developed as a parking lot. Although the proposed area is smaller than what the zoning requires, it is a net gain of landscaped space on the property. Given the size constraints of the property, and

October 18, 2021

Page 10 of 13

the fact that there will be a net gain of landscaped open space, this variance is consistent with the intent of the zoning bylaw.

3) The variances are minor in nature

The variances are considered minor as the proposed development will be consistent with the built form in the area, and the property will still be able to provide parking for the adjacent lots as required by zoning. No adverse impacts on neighbouring properties are anticipated to result from the proposed variances.

4) The variances are desirable for the appropriate development or use of the land, building or structure

The proposed single unit residence is within a designated residential area and will maintain the character of the existing neighbourhood. The proposed development has received a Heritage Permit from Heritage Kingston. The property is currently developed as a parking lot and the proposed residence is to be located at the street frontage of the property with the parking stalls located behind. The residence therefore will improve the visual aesthetic of the streetscape.

The variance is therefore a desirable and appropriate use of the land.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input type="checkbox"/> Fire & Rescue | <input checked="" type="checkbox"/> Kingston Hydro | <input type="checkbox"/> City's Environment Division |
| <input type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input type="checkbox"/> Kingston Airport | | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

October 18, 2021

Page 11 of 13

Public Comments

At the time this report was finalized, no public comments were received by the City of Kingston regarding this application. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

Zoning Amendment Application File Number D14-077-2014:

Zone ‘B.303’, which includes the subject property at 184 Bagot Street, and the neighbouring properties at 180 Bagot Street, 182 Bagot Street and 111 William Street was amended to permit the following on the respective properties:

Property	Allowances
180/182 Bagot Street	To remain as a doctor’s office on the ground floor, with a single residential unit spanning the second and third floors
184 Bagot Street	To construct a single unit dwelling and to provide four parking stalls, including three stalls for the adjacent doctor’s office at 180/182 Bagot Street.
111 William Street	To renovate the building known as 111 William Street as a single unit dwelling.

By-Law Number 2015-36 to approve the amendment to the ‘B.303’ zone was approved on February 17, 2015.

Heritage Permit File Number P18-073-2019:

A heritage permit was issued on November 25, 2019 to allow the construction of a two-and-a-half storey, single detached dwelling at 184 Bagot Street.

Zoning Amendment Application File Number D14-014-2020:

The neighbouring property at 180/182 Bagot Street was removed from Zone ‘B.303’ and was rezoned to site specific zone ‘B.601’. The amendment was requested to convert the use of the existing building from a doctor’s office and single residential unit to three residential units.

Bylaw 2021-47 to approve the amendment was approved on March 23, 2021.

Site Plan Control Application File Number D11-007-2020:

The applicant submitted a site control application in March 2020 to construct the single unit dwelling at 184 Bagot Street. Site Plan Control was required as the site is located within a heritage district. Aspects of the Site Plan submitted by the applicant were not consistent with

October 18, 2021

Page 12 of 13

zoning requirements, hence the need to submit the minor variance application in question. The Site Plan Control Application is paused for the completion of the minor variance application.

Conclusion

The requested variances maintain the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposal is desirable for the appropriate development or use of the land, building or structure and the requested variances are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will enable the applicant to construct a single unit dwelling on an existing parking lot and also provide four parking spaces as required in the existing zoning for the property.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 8499

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on October 18, 2021. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 38 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

October 18, 2021

Page 13 of 13

Financial Considerations:

None

Contacts:

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Riccardo Peggi, Planner, 613-546-4291 extension 3237

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Official Plan Map
- Exhibit D Zoning By-Law Number 8499, Map 31
- Exhibit E Neighbourhood Context Map (2021)
- Exhibit F Site Plan
- Exhibit G Site plan, Floor plans and Elevations - 2014
- Exhibit H Elevations & Cross Sections

Recommended Conditions

Application for minor variance, File Number D13-053-2021

Approval of the foregoing application shall be subject to the following recommended conditions:

Limitation

That the approved variances apply only to the length of the parking stalls, exterior wall height, and landscaped area as per the approved plans attached to the notice of decision.

No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

Building Permit Application Requirements

The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings, when they make an application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

Standard Archaeological Condition


In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132) and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.

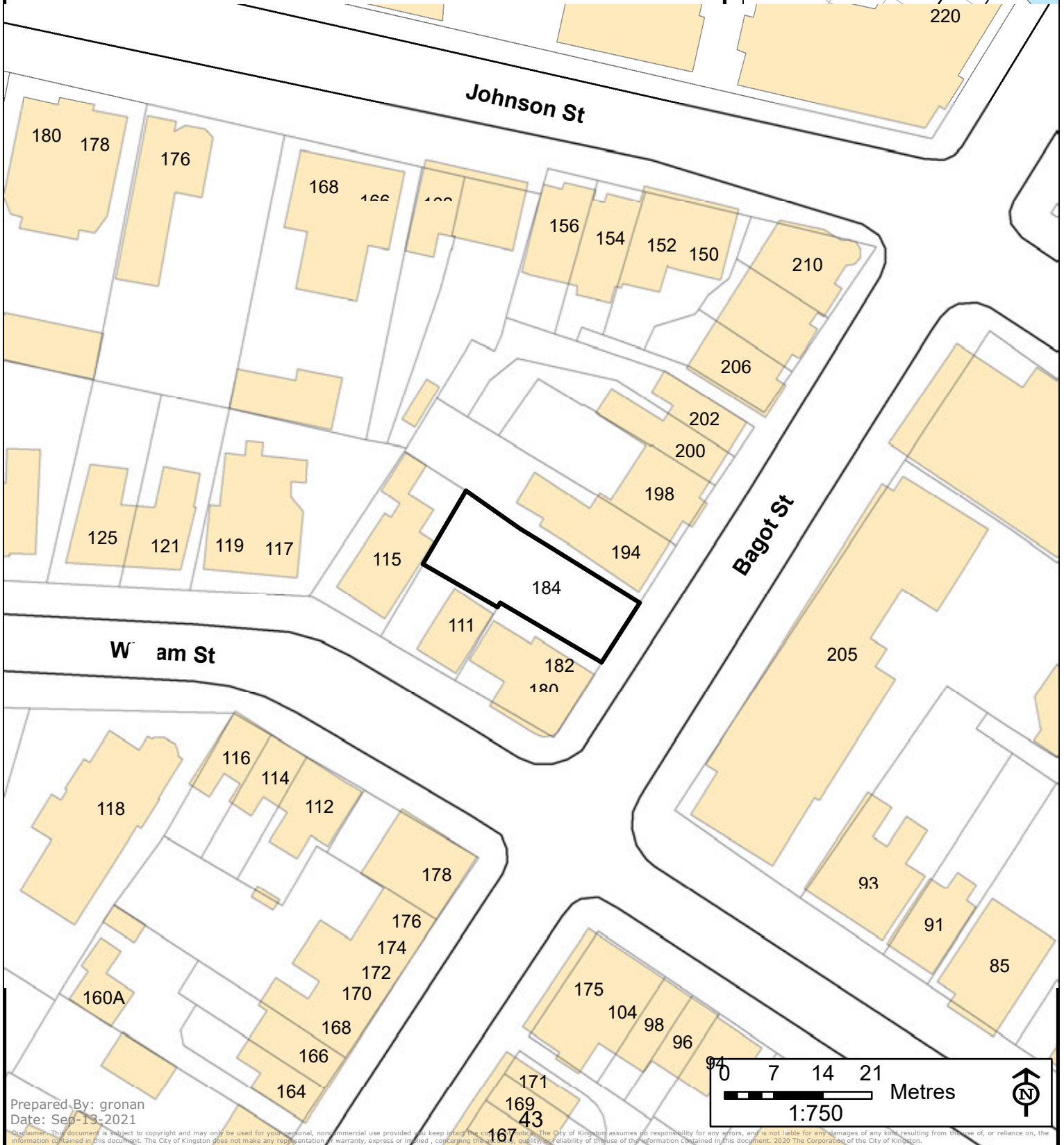
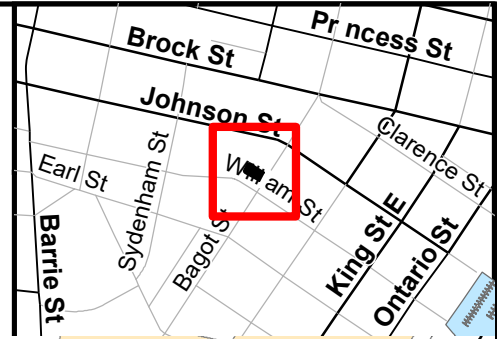
In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries Regulation Section of the Ontario Ministry of Consumer Business Services (416-326-8404), the Cultural Program Branch of the Ministry of Tourism, Culture and Sport (416-314-7132), and the City of Kingston's Planning Division (613-546-4291, extension 3180) must be immediately contacted.



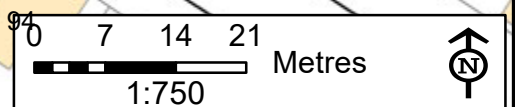
Committee of Adjustment Key Map

Address: 184 Bagot St
File Number: D13-053-2021

 Lands Subject to Minor Variance



Prepared By: gronan
Date: Sep-13-2021







Disclaimer: This document is subject to copyright and may only be used for your personal, non-commercial use provided you keep intact the copyright notice. The City of Kingston assumes no responsibility for any errors, and is not liable for any damages of any kind resulting from the use of, or reliance on, the information contained in this document. The City of Kingston does not make any representation, warranty, express or implied, concerning the accuracy, quality or reliability of the use of the information contained in this document. ©2020 The Corporation of the City of Kingston.

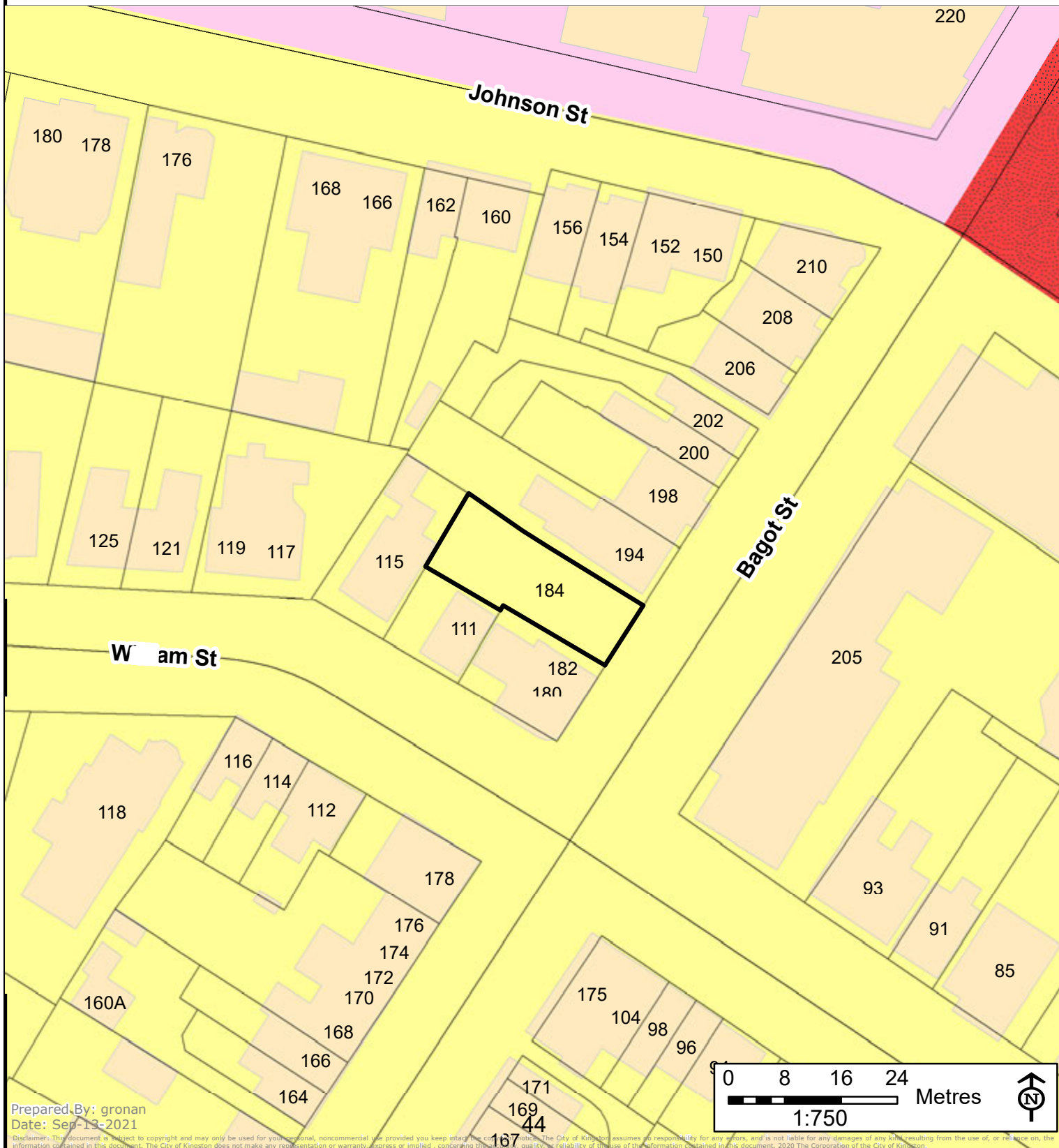


Planning Services

Committee of Adjustment Official Plan, Existing Land Use

Address: 184 Bagot St
File Number: D13-053-2021

-  Subject Lands
-  CENTRAL BUSINESS DISTRICT
-  INSTITUTIONAL
-  RESIDENTIAL



Prepared By: gronan
Date: Sep-13-2021

Disclaimer: This document is subject to copyright and may only be used for your personal, noncommercial use provided you keep intact the copyright notice. The City of Kingston assumes no responsibility for any errors, and is not liable for any damages of any kind resulting from the use of, or reliance on, the information contained in this document. The City of Kingston does not make any representation or warranty, express or implied, concerning the accuracy, quality, or reliability of the use of the information contained in this document. ©2020 The Corporation of the City of Kingston.



Committee of Adjustment
Neighbourhood Context (2021)

Address: 184 Bagot St
File Number: D13-053-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels



184 BAGOT STREET
KINGSTON ONTARIO

CLIENT:
MARK DINELLE

ASTERISK
ENGINEERING CORPORATION
2263 Princess Street,
Kingston, ON,
K7M 3J1
(613) 542-2040 fax 1 613 280-1335
www.asteriskengineering.com

REVISION FOR PERMIT REV DATE
0 28 Mar 2021

Do not scale drawings. Refer to Architectural drawings for dimensions. All elevations/dimensions shall be verified with Architectural drawings and any discrepancy shall be reported immediately to consultant. Read this drawing in conjunction with ALL applicable Architectural, Mechanical, electrical and other disciplines involved. This drawings are "design drawings" only and are not intended to be used as shop drawings.

LEGEND:
ASPHALT
LANDSCAPING



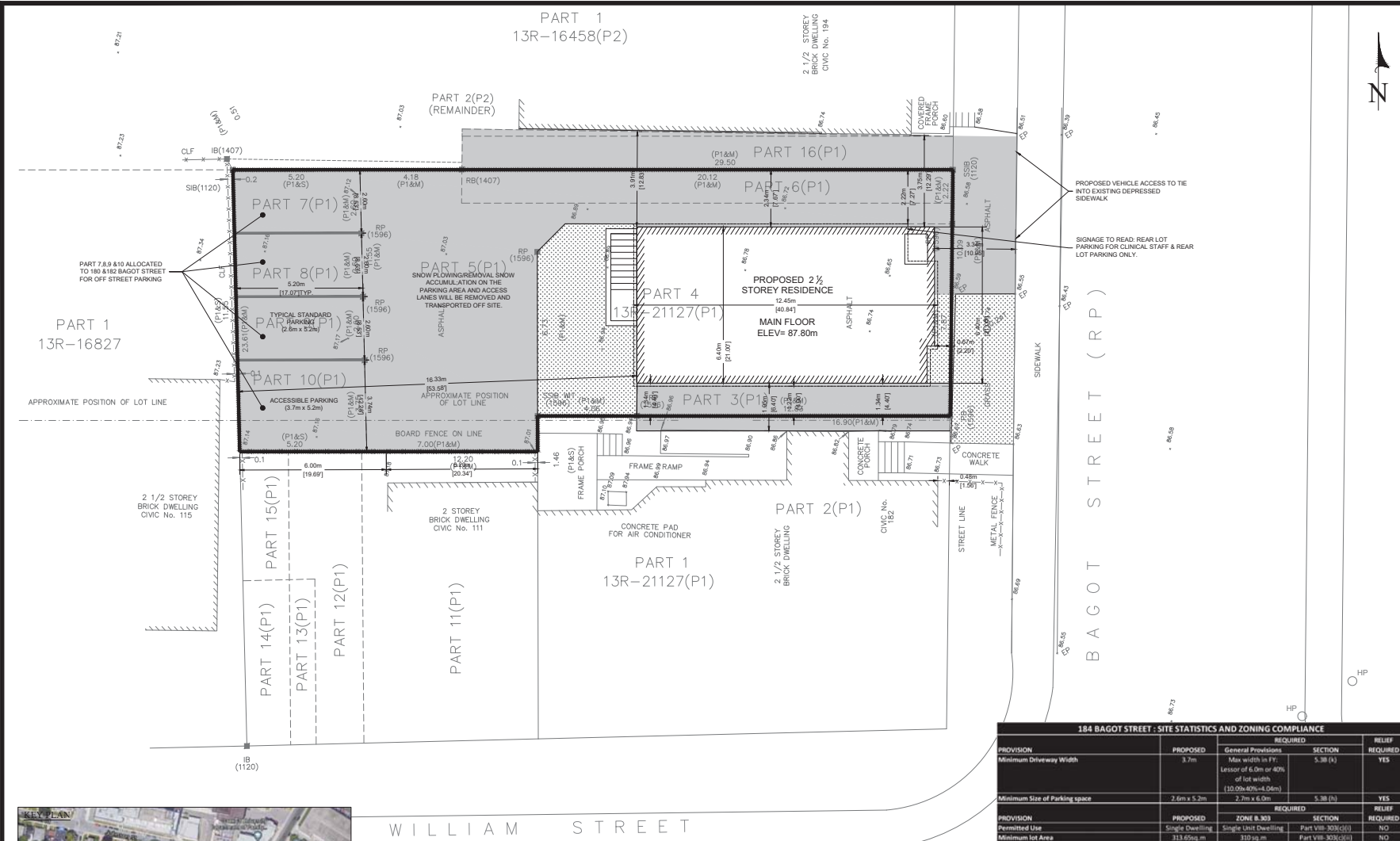
SCALE: 1:75 UNITS: mm, UNO
DESIGNED: TC CHECKED: TC DRAWN: CR

DRAWING TITLE:

SITE PLAN

DRAWING NO.: SP-01

PROJECT NO.: ###-###
DATE: OCT 2015

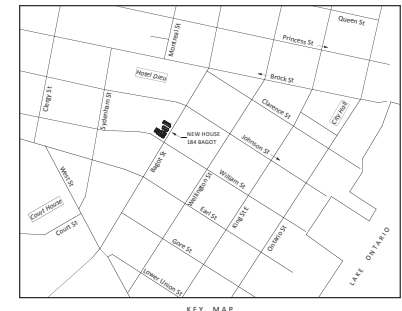
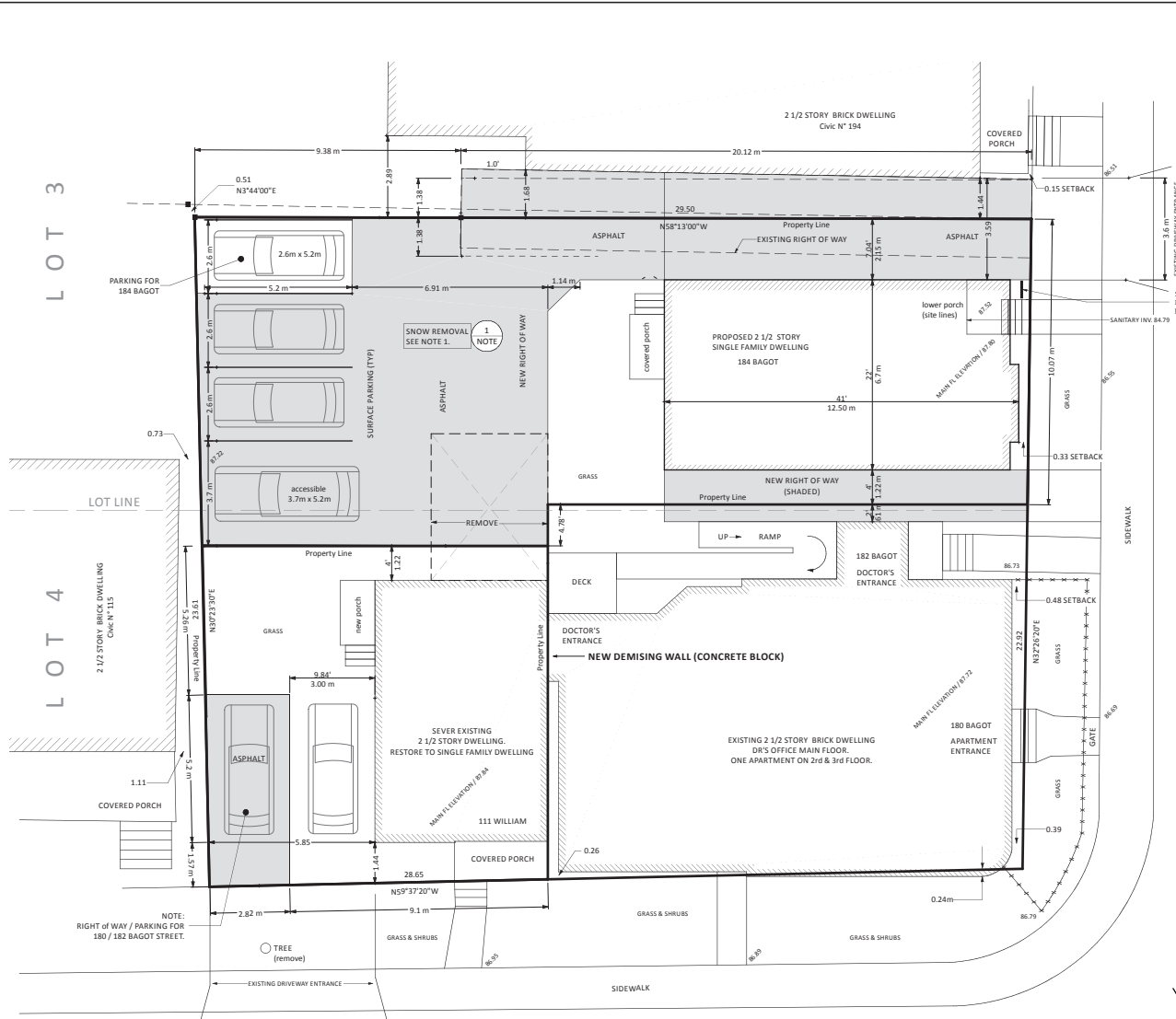


Site Statistics Continued

Gross Floor Area	384.04 sq.m	
Occupancy	Residential	
Ground Floor Area	70.14 sq.m	
Gross Building Floor Area	77.59 sq.m	
Number of Units	Single Family	
Number of Storeys	2 1/2 Storey	
Number of Bedrooms	4	
Amenity Area	31.4 sq.m	10.01%
Building Area Coverage (Footprint)	82.63 sq.m	26.34%
Paved/Gravelled Area	201.7 sq.m	64.12%
Landscaped Area	29.3 sq.m	9.34%
Total Lot Area	312.65 sq.m	100.00%

184 BAGOT STREET - SITE STATISTICS AND ZONING COMPLIANCE

PROVISION	PROPOSED	REQUIRED		RELIEF REQUIRED
		GENERAL PROVISIONS	SECTION	
Minimum Driveway Width	3.7m	Max width in Ft. Lessor of 6.0m or 40% of lot width (10.0m, 40% x 0.06m)	5.38 (A)	YES
Minimum Size of Parking space	2.6m x 5.2m	2.7m x 6.0m	5.38 (H)	YES
PROVISION	PROPOSED	ZONE B.303	SECTION	REQUIRED
Permitted Use	Single Dwelling	Single Unit Dwelling	Part VIII-303(c)(i)	NO
Minimum Lot Area	312.65sq.m	310sq.m	Part VIII-303(c)(ii)	NO
Maximum Height	10.54m	10.52m	Part VIII-303(c)(iii)	NO
Minimum Aggregate Side Yard Setback	3.43m	3.3m	Part VIII-303(c)(iv)	NO
Minimum amenity Area	31.4 sq.m	31 sq.m	Part VIII-303(c)(v)	NO
Parking (1 bonus free parking space and 2 regular parking spaces shall be used exclusively for a professional office or 180 sq.m) kiosk			Part VIII-303(c)(vi)(A)	NO
Minimum Regular	3	3	Part VIII-303(c)(vii)(a)	NO
Minimum Barrier Free	1	1	Part VIII-303(c)(vii)(a)	NO
Total Parking Spaces	4	4	Part VIII-303(c)(vii)(a)	NO
Minimum Width for vehicle access aisle	3.62	3.6m	Part VIII-303(c)(vii)(b)	NO
PROVISION	PROPOSED	ZONE A	SECTION	REQUIRED
Minimum Front Yard	0.67m = Avg 0.39m (180 Bagot St Cor) 0.55m (184 Bagot St Cor)	0.67m = Avg 0.39m (180 Bagot St Cor) 0.55m (184 Bagot St Cor)	6.3(b)(i)	NO
Minimum Side Yard Setback	1.34m W/F 2.84m P/L	0.6m	6.3(c)(i)	NO
Minimum Rear Yard Setback	16.33m	7.5m	6.3(d)(i)	NO
Maximum Percentage for Lot Coverage	26.07%	33%	6.3(e)	NO
Maximum Building Depth	12.45m	Average = 22.5 23.4m (180 Bagot & 111) 21.6m (11 Birch)	6.3(j)(i)(1)	
Minimum Percentage of Landscaped Area	9.65% (ON EXISTING)	30%	6.3(o)	YES



184 BAGOT STREET (New)
SITE STATISTIC TABLE

LOT AREA	314.02 m ²
PAVED AREA	183.29 m ²
LANDSCAPED AREA	44.52 m ²
BUILDING AREA COVERAGE	82.58 m ²
GROUND FLOOR AREA	82.58 m ²
GROSS BUILDING FLOOR AREA	215.16 m ²
NUMBER OF UNITS	Single Family Dwelling
HEIGHT OF BUILDING	10.2 m
NUMBER OF STORIES	2 / 2
REQUIRED PARKING SPACES	1
PROVIDED PARKING SPACES	1
% OF BUILDING AREA	26.30%
% OF ACCESSORY BUILDINGS	0%
% OF PAVED AREA	62.20%
% OF LANDSCAPED AREA	9.94%
# OF BEDROOMS	3
AMENITY AREA	31.20 m ² / 9.94%
DENSITY	31.8

180 / 182 BAGOT STREET
SITE STATISTIC TABLE

LOT AREA	219.24 m ²
PAVED AREA	163.16 m ²
LANDSCAPED AREA	6.05 m ²
BUILDING AREA COVERAGE	166.68 m ²
GROUND FLOOR AREA	166.68 m ²
GROSS BUILDING FLOOR AREA	431.36 m ²
NUMBER OF UNITS	Dr's Office + Apartment
HEIGHT OF BUILDING	13.25 m
NUMBER OF STORIES	2 / 2
REQUIRED PARKING SPACES	3 + 1 ACCESSIBLE
PROVIDED PARKING SPACES	3 + 1 ACCESSIBLE
% OF BUILDING AREA	76.02%
% OF ACCESSORY BUILDINGS	0%
% OF PAVED AREA	73.7%
% OF LANDSCAPED AREA	2.75%
# OF BEDROOMS	3
AMENITY AREA	28.53 m ² / 13.01% (Deck)
DENSITY	45.6

111 WILLIAM STREET
SITE STATISTIC TABLE

LOT AREA	143.39 m ²
PAVED AREA	41.15 m ²
LANDSCAPED AREA	38.05 m ²
BUILDING AREA COVERAGE	63.35 m ²
GROUND FLOOR AREA	56.29 m ²
GROSS BUILDING FLOOR AREA	141.5 m ²
NUMBER OF UNITS	Single Family Dwelling
HEIGHT OF BUILDING	10.3 m
NUMBER OF STORIES	2 / 2
REQUIRED PARKING SPACES	1
PROVIDED PARKING SPACES	1
BARRIER FREE PARKING SPACES	N/A
% OF BUILDING AREA	44.20%
% OF ACCESSORY BUILDINGS	0%
% OF PAVED AREA	27.12%
% OF LANDSCAPED AREA	26.69%
# OF BEDROOMS	3
AMENITY AREA	46.24 m ² / 32.24%
DENSITY	69.7

- CONTENTS:**
- A1 Site Plan
 - A2 Landscaping Plan
 - A3 Lighting Plan
 - A4 Perspectives
 - A5 Amenity Spaces
 - A6 Elevations
 - A7 Floor Plans

REVISIONS:

Oct 24 2014	A1 Snow Removal Signage
May 14 2014	New Property Lines A1, A2, & A3

MAC GERVAN & ASSOCIATES Ltd.

Residential and Commercial Design Services

Consulting and Project Management

Phone 546-5007
 Fax 546-6240
 E-mail mac@gervan.ca
 Website www.gervan.ca
 Company BCIN # 33630
 Mac Gervan BCIN# 21054

PROJECT:

PROPOSED RESIDENTIAL DEVELOPMENT

180 / 182 BAGOT STREET
184 BAGOT STREET (NEW)
111 WILLIAM STREET

DRAWING:

SITE PLAN

DATE: MARCH 27, 2014

SCALE: 1 : 75

DRAWN BY: M/G/F

FILE: 180/182 BAGOT ST
184 BAGOT ST
111 WILLIAM ST
DATE: 26/03/2014

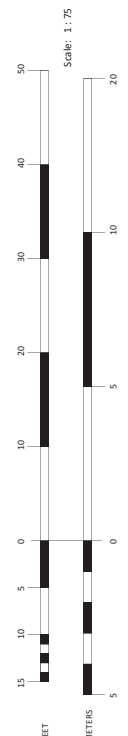
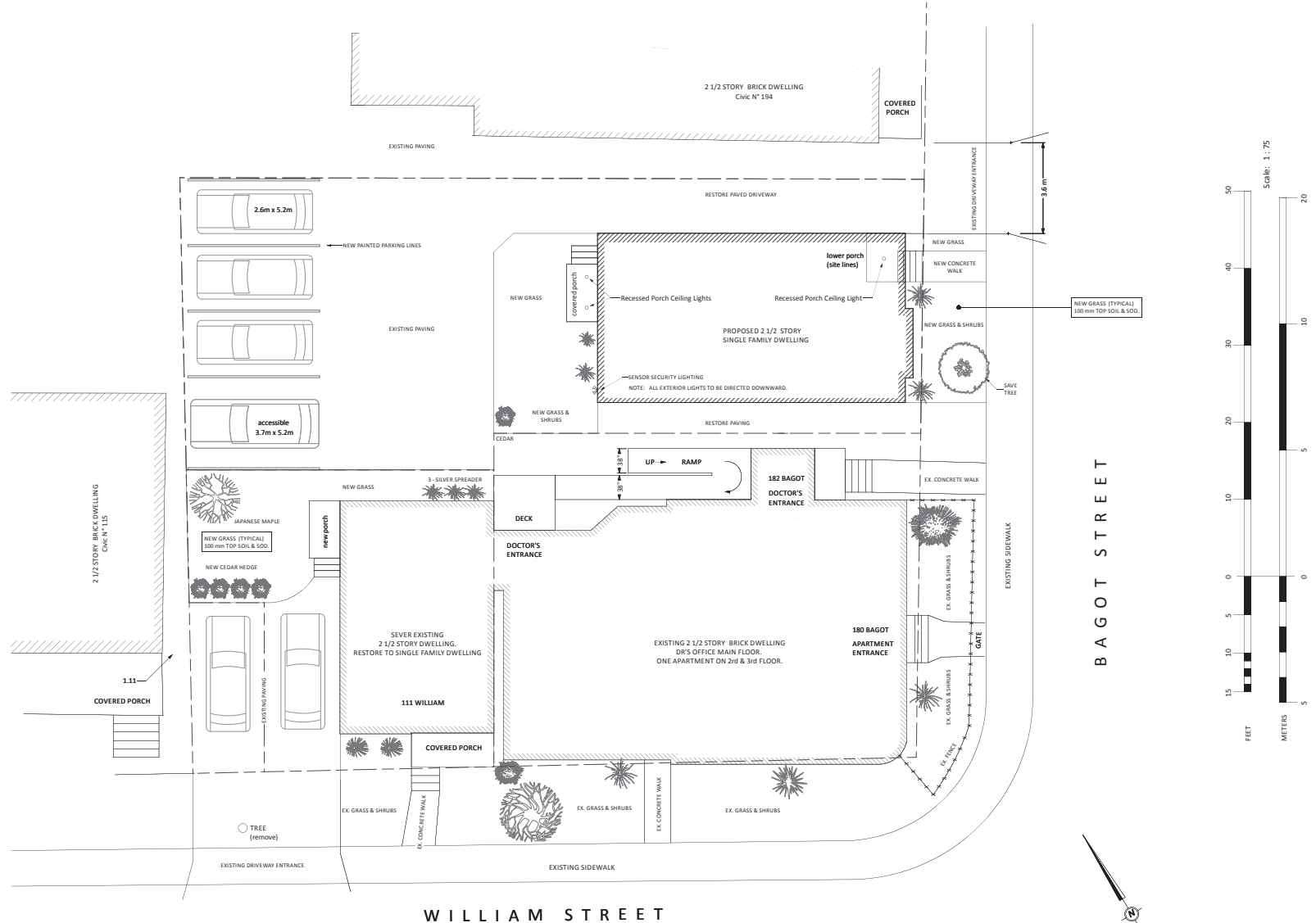
DRAWING #: A 1

EXCERPT FROM PARKING STUDY BY JOSSELYN ENGINEERING INC.

5.3 Snow Plowing/Removal
Snow accumulation on the parking area and access lanes will be removed and transported to an offsite location.



PART OF LOTS 3 & 4
REGISTERD PLAN N° B - 27
CITY OF KINGSTON
EXISTING LOT AREA 677.09 m²



LANDSCAPING LEGEND

Item	Type	Common Name	Latin Name	Quantity	Height @ Maturity	Spread @ Maturity
S1	Shrub	Silver Spreader	Juniperus Virginiana	7	0.5 m	1.2 m
S2	Shrub	Pyramidal Cedar	Thuja occidentalis	5	1.5 m	0.8 m
T1	Tree	Japanese Maple	Acer palmatum	1	6 - 8 m	3.0 m



PART OF LOTS 3 & 4
REGISTERED PLAN N° B - 27
CITY OF KINGSTON
EXISTING LOT 7285 M² / 676.79 m²

CONTENTS:	
A1	Site Plan
A2	Landscaping Plan
A3	Lighting Plan
A4	Perspectives
A5	Amenity Spaces
A4	Elevations
A5	Floor Plans
REVISIONS:	
Oct 24 2014	A1 Snow Removal Signage
May 14 2014	New Property Lines A1, A2, & A3
MAC GERVAN & ASSOCIATES Ltd.	
Residential and Commercial Design Services	
Consulting and Project Management	
Phone	546-5007
Fax	546-6249
E-mail	mac@gervan.ca
Website	www.gervan.ca
Company	BCIN # 33630
Mac Gervan	BCIN# 21054
PROJECT:	
PROPOSED RESIDENTIAL DEVELOPMENT	
180 / 182 BAGOT STREET	
184 BAGOT STREET (NEW)	
111 WILLIAM STREET	
DRAWING:	
LANDSCAPING & LIGHTING PLAN	
DATE: MARCH 27, 2014	
SCALE: 1:75	
DRAWN BY: M/G/GF	
FILE: 180277-2-14-16 (REVISED 26/03/2014)	DRAWING #: A 2

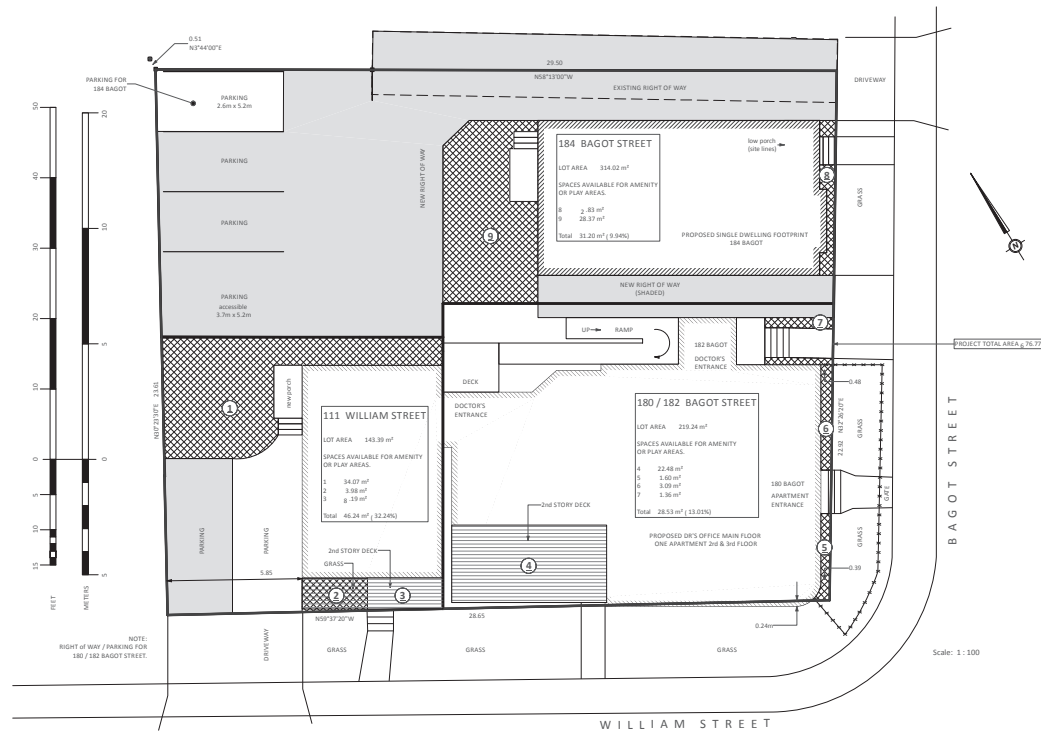
CONTENTS:	
A1	Site Plan
A2	Landscaping Plan
A3	Lighting Plan
A3	Perspectives
A4	Amenity Spaces
A4	Elevations
A5	Floor Plans
REVISIONS:	
Oct 24 2014	A1 Snow Removal Signage
May 14 2014	New Property Lines A1, A2, & A3
<p align="center">MAC GERVAN & ASSOCIATES Ltd.</p> <p align="center">Residential and Commercial Design Services</p> <p align="center">Consulting and Project Management</p> <p>Phone 546-5007 Fax 546-6249 E-mail mac@gervan.ca Website www.gervan.ca Company BCIN # 33630 Mac Gervan BCIN# 21054</p>	
PROJECT:	
<p align="center">PROPOSED RESIDENTIAL DEVELOPMENT</p> <p align="center">180 / 182 BAGOT STREET 184 BAGOT STREET (NEW) 111 WILLIAM STREET</p>	
DRAWING:	
<p align="center">AMENITY SPACES</p> <p align="center">PERSPECTIVES</p>	
DATE: MARCH 27, 2014	
SCALE: 1 : 100	
DRAWN BY: MG/GF	
FILE: 18027181.16 <small>18027181.16.dwg 26/03/2014</small>	DRAWING #: A 3



NEW HOME



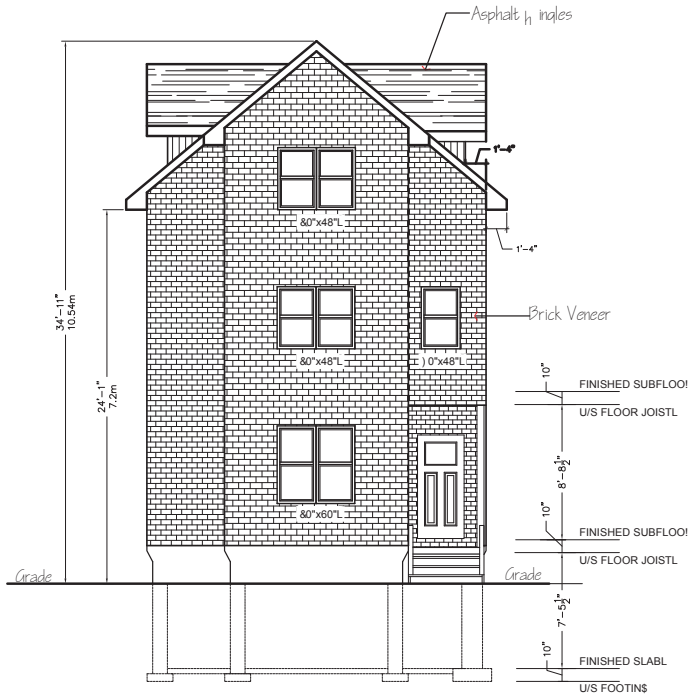
NEW HOME





CONTENTS:	
A1	Site Plan
A2	Landscaping Plan
A3	Perspectives
A4	Elevations
A5	Floor Plans
REVISIONS:	
Oct 24 2014	A1 Snow Removal Signage
May 14 2014	New Property Lines A1, A2, & A3
<p align="center">MAC GERVAN & ASSOCIATES Ltd.</p> <p align="center">Residential and Commercial Design Services</p> <p align="center">Consulting and Project Management</p>	
Phone	546-5097
Fax	546-6249
E-mail	mac@gervan.ca
Website	www.gervan.ca
Company	BCIN # 33630
Mac Gervan	BCIN# 21054
PROJECT:	
<p align="center">PROPOSED RESIDENTIAL DEVELOPMENT</p> <p align="center">180 / 182 BAGOT STREET 184 BAGOT STREET (NEW) 111 WILLIAM STREET</p>	
DRAWING:	
<p align="center">ELEVATIONS</p>	
DATE: MARCH 27, 2014	
SCALE: 1:75	
DRAWN BY: M/G/F	
FILE: 18027174.1.16 PRINTED 26/03/2014	DRAWING #: A 4

Standard Note:
These drawings are designed in accordance with the 2012 Ontario Building Code.

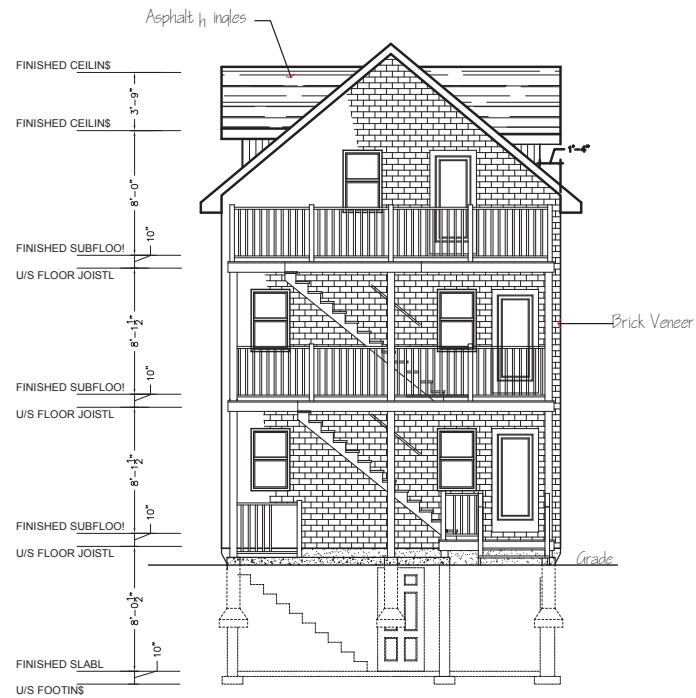


1 EAST ELEVATION
1/8"=1'-0"

NOTE:
All windows, doors, etc. sizes, type etc. shall be verified by the owner prior to construction. All ASD to be as per selected manufacturers specification.
All wood members exposed to exterior conditions to be pressure treated lumber or equivalent means of protection from exterior conditions.
Finished grade to slope away from structure and shall not adversely affect adjacent properties as per OBC 5.14.6.
All exterior guards, stairs and decks to comply with OBC SB-7.

.- +8-1. Required handrails.
(2) Handrails are not required for
(5) Exterior stairs having not more than 3 risers and serving a single dwelling unit.

.- +4-1. Required Guards
(10B) There shall be a difference in elevation of 3 or more than 2 1/2" between the walking surface and the adjacent surface.

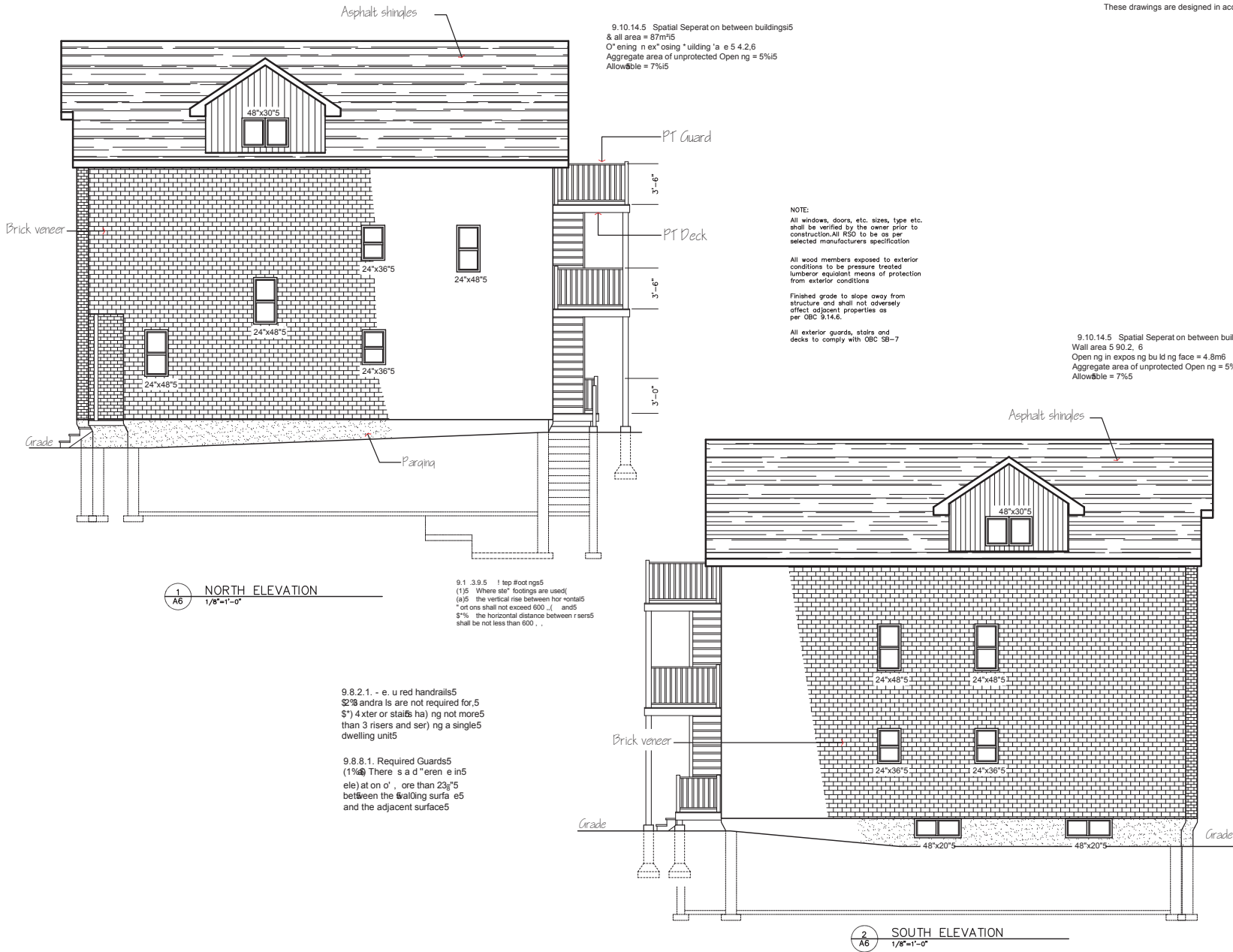


2 WEST ELEVATION
1/8"=1'-0"

Attention: Building Official
I reviewed and take responsibility for the design activities, which bear this design and meet the requirements set out in the OBC as a registered designer. This drawing is considered preliminary and not for construction unless authorized by the designer for the building permit and dated within 30 days of this permit application.
Craig Leeman: BCIN# 26206

DRAWING FOR PERMIT	
LOT INFORMATION	
Plan	Con
Lot	
Organization	
CRAIG LEEMAN	
Complete Home Design 3387 Scanlon Rd. Harrowsmith (343) 363-7623 arc_tek@hotmail.com BCIN 31273	
PROJECT NAME	
Mark Dinelle PROPOSED RESIDENCE 184 Bagot Street Kingston	
DRAWING NAME	
ELEVATIONS EAST/WEST	
SCALE	1/8" = 1'-0"
PLOT DATE	06/29/2021
DRAWN BY	CRAIG LEEMAN
BCIN	26206
DRAWING No.	A5

Standard Note:
These drawings are designed in accordance with the 2012 Ontario Building Code



Attention: Building Official
I reviewed and take responsibility for the design activities, which bear this decision and meet the requirements set out in the OBC as a registered designer. This drawing is considered preliminary and not for construction unless authorized by the designer for the building permit and dated within 30 days of the permit application.
Craig Leeman: BCIN# 26206

DRAWING FOR PERMIT	
LOT INFORMATION	
Plan	Lot
Organization	
CRAIG LEEMAN	
Complete Home Design	
3387 Scanlon Rd. Harrowsmith	
(343) 363-7623	
arc_tek@hotmail.com	
BCIN 31273	
PROJECT NAME	
Mark Dinelle	
PROPOSED RESIDENCE	
184 Bagot Street	
Kingston	
DRAWING NAME	
ELEVATIONS	
NORTH/SOUTH	
SCALE	1/8" = 1'-0"
PLOT DATE	06/29/2021
DRAWN BY	CRAIG LEEMAN
BCIN	26206
DRAWING No.	A6

Standard Note:
These drawings are designed in accordance with the 2012 Ontario Building Code

1. ROOF SECTION

Asphalt shingles
Roof sheathing as per OBC 9.23.15.
Pre-engineered roof trusses @ 24" o.c. max.
Venting requirements as per OBC 9.19.1.2.
R60 Insulation as per OBC S8-12 Table 3.1.1.2.A (FP)
Required vapour barrier as per OBC 9.25.4.
½" drywall
Eave protection from edge of roof a min. 900mm up the slope and not less than 300mm inside the inner face of the exterior wall. Eave protection shall consist of No.15 asphalt-saturated felt or similar as OBC 9.26.5.2.

2. CORNICE SECTION

Aluminum vented soffit as per OBC 9.25.2.4.(6)(a)(b)
Where soffit venting is used measures shall be taken to prevent loose fill insulation from blocking the soffit
2"x6" Fascia backing
Aluminum fascia

3. VINYL SIDING WALL SECTION

Vinyl siding
Air barrier shall be of type, tyvek or other similar approved material as per OBC 9.25.3.
Wall sheathing as per OBC 9.23.16.
2"x8" studs @ 16" o.c. as per OBC 9.23.10.
R22 Insulation as per OBC S8-12 Table 3.1.1.2.A (FP)
Required vapour barrier as per OBC 9.25.4.
½" Drywall

4. BRICK VENEER WALL SECTION

¾" Brick veneer
Air barrier shall be of type, tyvek or other similar approved material as per OBC 9.25.3.
Brick ties @ 16" o.c.
1" air space as per OBC 9.20.6.4.(2)
Wall sheathing as per OBC 9.23.16.
2"x8" studs @ 16" o.c. as per OBC 9.23.10.
R22 Insulation as per OBC S8-12 Table 3.1.1.2.A (FP)
Required vapour barrier as per OBC 9.25.4.
½" Drywall

5. FOUNDATION WALL SECTION

Water-based damp proofing with ICF
Parging to exterior of wall
Damp proofing as per OBC 9.13.2.
Drain clad or equivalent as per OBC 9.14.2.
ICF 6" Core foundation wall
R20ci as per OBC S8-12 TABLE 2.11.2.A(FP)
½" Gypsum wall board
Foundation walls enclosing heated spaces shall be insulated from the underside of the subfloor to not more than 7" above the finished floor of the basement
Depth of foundation as per OBC T9.12.2.2.

6. SUB-FLOOR SECTION

Subflooring as per OBC 9.23.14.
Subfloor as per OBC T9.23.14.5.A.
Floor joists as per OBC 9.23.9.
Floor joists as per OBC TA-1 A-2
Engineered floor joists or trusses

7. INTERIOR WALL SECTION

2"x4" studs @ 16" o.c.
2"x4" top and bottom plates
½" drywall on both sides of wall

8. TYPICAL HANDRAIL

Height of handrails on stairs and ramps 36" as per OBC 9.8.7.4.(2)
Handrails on landings max. 42" OBC 9.8.7.4.(3)
Guards 36" min. high and 42" where the lower surface exceeds 5'-11" OBC 9.8.8.3.(3)
4" max. opening in spindles OBC 9.8.8.5.

9. TYPICAL STAIRS

4" min. 7" max. Rise T9.8.4.2.
8" min. 14" max. Run OBC T9.8.4.2.
14" max. 9" min. Tread as per OBC T9.8.4.2.
Headroom 6'-5" min. as per OBC 9.8.2.2.
Width 2'-10" min. as per OBC 9.8.2.1.

10. FLASHING DETAILS

Flashing details where shingle roofs meet masonry as per OBC 9.26.4.4.
Flashing details where shingle roofs meet other than masonry walls 9.26.4.5.
Valley flashing as per OBC 9.26.4.3.
Chimney saddles as per OBC 9.26.4.8.
Flashing shall extend up the wall not less than 75mm behind the sheathing and extend horizontally not less than 75mm.
Flashing material shall be 0.33 thick galvanized steel or equal as per OBC 9.26.4.2.

11. FOOTING AND SLAB SECTION

20"x8" Footing as per OBC T9.15.3.4.
Support of footing as per OBC 9.15.3.2.
Min. 3" concrete slab as per OBC 9.16.4.3.
9.3.1.6. Compressive Strength
(1) Except as provided elsewhere in this Part, the compressive strength of unreinforced concrete after 28 days shall be not less than,
(a) 32 MPa for garage floors, carport floors and all exterior flatwork,
(b) 20 MPa for interior floors other than those for garages and carports, and
(c) 15 MPa for all other applications.
With poly vapour barrier
4" course clean granular fill as per OBC 9.16.2
FOOTING TO 48" BELOW GRADE OR TO SOLID ROCK IF NOT 48" BELOW GRADE OR TO SOLID ROCK THEN FOOTING WILL REQUIRE A P. ENG DESIGN SHALLOW FOOTING DETAIL

12. FOUNDATION DRAINAGE

Drainage layer as per OBC 9.14.2.1(2)
Minimum size of drain tile shall be not less than 4" as per OBC 9.14.3.2.(1)
Drain tile or pipe shall be laid on top of undisturbed or well compacted soil so that the top of the pipe is below the bottom of the floor slab as per OBC 9.14.3.3.(1)
The top and sides of drain pipe shall be covered with not less than 6" of crushed stone or other coarse clean granular material as per OBC 9.14.3.3.(4)

13. TYPICAL BACKFILL

Backfill refer to OBC 9.12.3.
Detritous debris and boulders refer to OBC 9.12.3.3.
Backfill shall be graded to prevent drainage towards the foundation after settling
Where the height of the foundation wall requires lateral support the wall shall be braced or laterally supported before backfilling

14. SILL SECTION

9.23.6.3. Anchorage
(2) 3" anchor bolts spaced not more than 7'-10"
(3) anchor bolts shall be fastened to the sill plate with nuts and washers and embedded in the foundation not less than 4 inches
ETHA-FOAM sill gasket

15. SUPPORT OF WALLS

Non-loadbearing walls that run parallel to floor joists shall be supported by joists beneath the wall or on blocking between the joists.
blocking shall be not less than 2"x4" lumber spaced not more than 48" apart
Support shall conform to OBC 9.23.9.8.

16. DECK POST

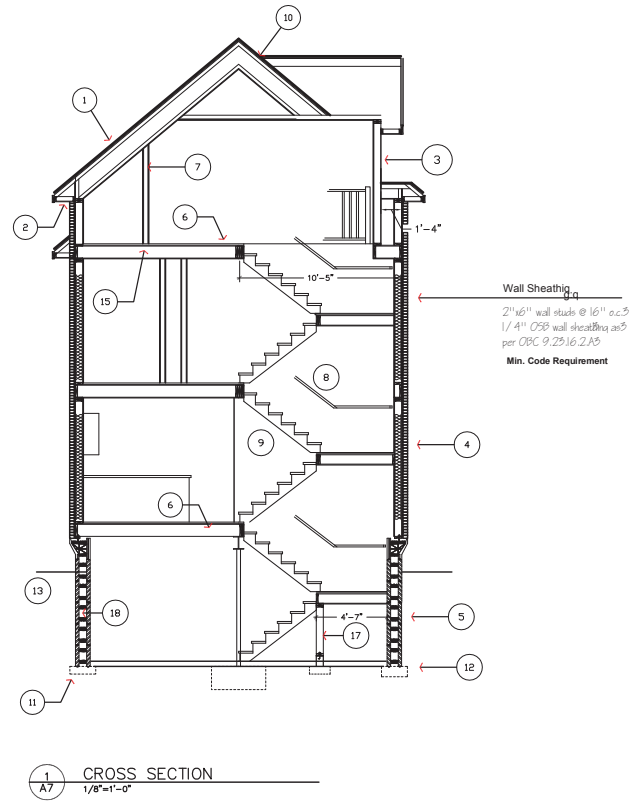
9.15.3.1. Footings Required
(1) Footings are permitted to be omitted under piers if the safe loadbearing capacity of the soil or rock is not exceeded.
9.17.6. Solid Concrete Columns
9.17.6.2. Size
(1) Concrete columns shall be not less than 8"x8" for rectangular columns and 9" in Dia. for circular columns
Footings to 48" below grade

17. INTERIOR LOADBEARING WALL

Finished both sides as per OBC 9.23.10.2(2)
OR blocking or strapping at mid-height to prevent sideways buckling OBC 9.23.10.2.(5)
Stud wall as per OBC 9.23.10.
One course 6" block
16"x6" strip footing
Openings in loadbearing walls as per OBC 9.23.12.2

18. REINFORCEMENT ICF WALLS

Horizontal reinforcement Insulating Concrete Foundation walls as per OBC 9.15.4.5.(1)
Vertical reinforcement Insulating Concrete Foundation walls as per OBC 9.15.4.5.(2)
Refer to T9.15.4.5.A, T9.15.4.5.B T9.15.4.5.C.
Also refer to specific manufacturer engineered details for further reference



CROSS SECTION
1/8" = 1'-0"

NOTE:
All vertical dimensions critical in order to meet requirements of Ontario Building Code.
Elevation of main floor at 182 Bagot St. 87.72m
Elevation of main floor at 182 Bagot St. 87.72m
*Main floor elevations higher than main floor of 182 Bagot St.

Attention: Building Official
I reviewed and take responsibility for the design activities, which bear this decision and meet the requirements set out in the OBC as a registered designer. This drawing is considered preliminary and not for construction unless authorized by the designer for the building permit and acted within 30 days of this permit application.
Craig Leeman: BCIN# 262063

DRAWING FOR PERMIT	
LOT INFORMATION	
Plan	Lot
Organization	
CRAIG LEEMAN	
Complete Home Design 3387 Scanlon Rd. Harrowsmith (343) 363-7623 arc_tek@hotmail.com BCIN 31273	
PROJECT NAME	
Mark Dinelle PROPOSED RESIDENCE 184 Bagot Street Kingston	
DRAWING NAME	
CROSS SECTION	
SCALE	1/8" = 1'-0"
PLOT DATE	06/29/2021
DRAWN BY	CRAIG LEEMAN BCIN 26206
DRAWING No.	
A7	

Standard Note:
These drawings are designed in accordance with the 2012 Ontario Building Code

Roof sheathing

Engineered roof truss @ 24" o.c. w
Edges supported 7/16" OSB, O-1 Grade
and waterboard, R-1 grade as per OBC w
9.29.16.2.A.w
Edges unsupported 1/2" w
Edge support shall be either metal H clips OR w
nails less than 2"x2" blocking secured
nails between framing members as per OBC w
9.29.15.6.(1)(a),(b) w
Min. Code Requirement

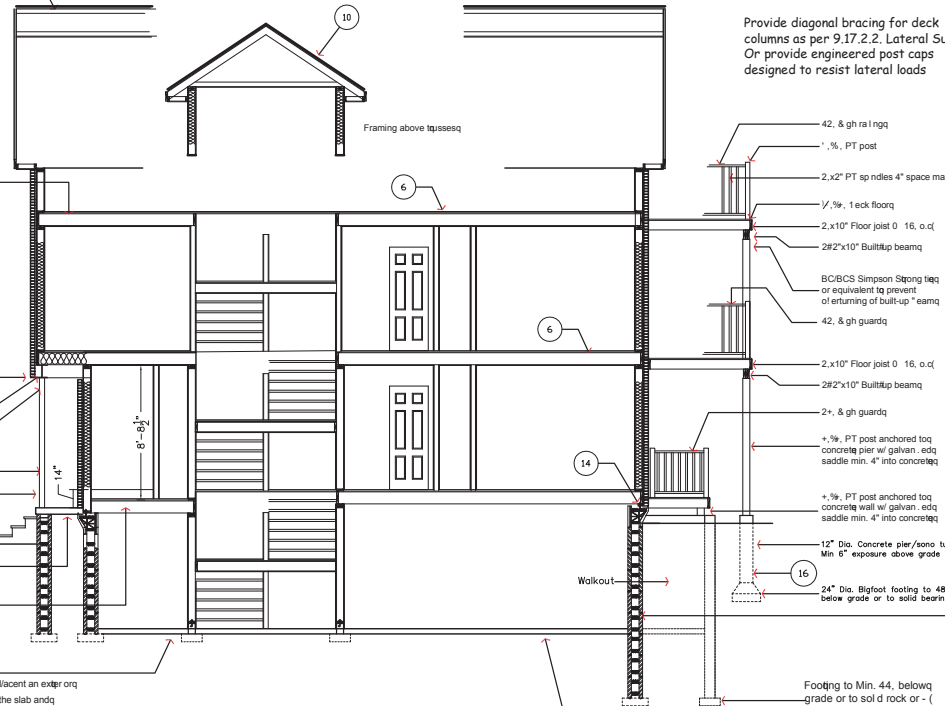
Floor Sheathing

Engineered floor joists @ 16" o.c. w
Floor sheathing shall be 5/8" w
plywood and OSB w
O-2 Grade as per OBC 9.29.14.5.A.w
Min. Code Requirement

Steel plate br c' ledger
Steel beam W10x22
Faux beam
HSS 4"x.250
Soil clad column
Cured over compacted
granular fill Min. 32.3-8
with 5-8% air entrainment
OBC = (2)(1)-(1)
Entry platform

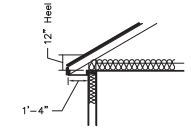
Soil Gas Mitigation Strategy

- 1.q A 100mm diameter PVC pipe rough-in through the floor slab adjacent exterior wall connected to a corrugated plastic soil gas pipe extending under the slab and terminating at or near the center line in compliance with Su section 3.2, Sentences (1) through (3) of SB#:
- a.q 3 inimum 150mm granular material for a radius not less than 300mm centered on the pipe with the bottom of the pipe open to the granular and
- (The upper end of the pipe shall be provided with a removable seal and labeled to indicate for soil gas removal only
- 2(Mandatory radon gas testing in compliance with Su section 2(2), Sentence (1) of SB#



1 CROSS SECTION
1/8" = 1'-0"

Provide diagonal bracing for deck columns as per 9.17.2.2. Lateral Support. Or provide engineered post caps designed to resist lateral loads



2 RAISED HEEL
1/8" = 1'-0"

3.1.1.8.2 Thermal Resistance Values for Roof Access Hatches and Eaves
(1) Except as provided in Sentence (2), the thermal resistance values for insulation required by Articles 3.1.1.2, 2.3.1.1.3 and 3.1.1.1.1, for exposed ceilings with air spaces are permitted to be reduced
(2) directly above access hatches, and
(b) near eaves to the extent made necessary by the roof slope and required ventilation clearances, except that the thermal insulation value at the location directly above access hatches and inner surfaces of exterior walls shall be not less than RSI 3.52. (R20)

Attention: Building Official I reviewed and take responsibility for the design activities, which bear this description and meet the requirements set out in the OBC as a registered designer. This drawing is considered preliminary and not for construction unless authorized by the designer for the building permit and dated within 30 days of the permit application.
26206w
Craig Leeman: BCIN# 31273

Deck framing to conform with Detail EB-4 of the OBC SB-7-w

SB-12 2.1.1(1.5) Energy Efficiency

11) Where a dwelling unit has a walkout basement the thermal performance level of the exterior masonry wall shall be not less than that required for the above grade wall for:
a) the basement wall containing the door opening, and
b) any basement wall that has an exposed wall area above the ground level exceeding 50% of the basement wall area.

SB#2 2.1.1(1) Insulation of Foundation Walls
1) 5' kept as provided in Sentences (1) and (2) where the basement slab edge is the only part of the slab that is at the exterior ground level, such as a walk-out basement, or within 24" of the exterior ground level, the resulting around concrete slab shall extend not less than 24" below exterior ground level.

DRAWING FOR PERMIT	
LOT INFORMATION	
Plan	Lot Con
Organization	
CRAIG LEEMAN	
Complete Home Design	
3387 Scanlon Rd. Harrowsmith	
(343) 363-7623	
arc_tek@hotmail.com	
BCIN 31273	
PROJECT NAME	
Mark Dinelle	
PROPOSED RESIDENCE	
184 Bagot Street	
Kingston	
DRAWING NAME	
CROSS SECTION	
SCALE	1/8" = 1'-0"
PLOT DATE	06/29/2021
DRAWN BY	CRAIG LEEMAN
BCIN	26206
DRAWING No.	
A8	