



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-045**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Jennifer Campbell, Director, Heritage Services
Date of Meeting: October 20, 2021
Subject: Application for Ontario Heritage Act Approval
Address: 35 Brock Street P18-073
File Number: File Number P18-045-2021

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property with the municipal address of 35 Brock Street is located on the northside of Brock Street, west of Ontario Street and east of King Street East. The subject property contains a two-and-a-half storey limestone building, constructed circa 1840, now known as the Matheson-Atkinson building. The subject property is designated under Part V of the *Ontario Heritage Act* as part of the Market Square Heritage Conservation District.

Applications for demolition and alteration under Section 42 of the *Ontario Heritage Act*, File Number P18-045-2021) have been submitted to request approval to demolish the rear additions, portions of the rear stone wall and gable roof slope of the original building and to construct a three-storey rear addition and restore the façade of the original building.

This application was deemed complete on September 14, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application for alteration or demolition on a heritage property under Section 42(4). This timeframe will expire on December 13, 2021.

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Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

Recommendation:

That Heritage Kingston supports Council approval of the following:

That demolition on the property at 35 Brock Street, be approved in accordance with details described in the application (File Number P18-045-2021), which was deemed completed on September 14, 2021 with said demolition to include:

1. Demolition of the rear one and two-storey additions;
2. Demolition of portions of the rear wall and side (east) parapet wall of the original building;
3. Demolition of the rear roof slope of the original building; and

That alteration on the property at 35 Brock Street, be approved in accordance with details described in the application (File Number P18-045-2021), which was deemed completed on September 14, 2021 with said alteration to include:

1. Construction of a three-storey rear addition;
2. Repair of the south gable roof slope and installation of new standing seam metal roofing;
3. Like-for-like replacement of the gable-style dormer windows on the south elevation;
4. Repair and repointing of limestone masonry, including like-for-like replacement of stone units if necessary on the chimney, parapet wall and corbels;
5. Repair and repainting of woodwork on the south elevation;
6. Replacement of all windows and one door on the south elevation;
7. Re-opening of the fifth window on the second floor of the south elevation;
8. Installation of new exterior lighting on the ground floor of the south elevation;
9. Replacement of the existing awning with new similar awning; and

That the approval of the application be subject to the following conditions:

1. A Building Permit shall be obtained;
2. All *Planning Act* applications shall be completed, including Minor Variance and Site Plan Control applications, as necessary;
3. Encroachment permit(s) shall be obtained for any encroachments onto municipal property;
4. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
5. The building shall be photographically recorded prior to any demolition, including, but not exclusive of, the existing rear additions, the original gable roof (front and rear slopes) including parapet walls and the existing gable-style dormer windows;
6. Details of the standing seam metal roofing shall be submitted to Heritage Planning, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;

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7. Details of the painted fibre cement board cladding shall be submitted to Heritage Planning prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
8. Details of the metal siding for the infill wall between 35 and 33 Brock Street shall be submitted to Heritage Planning prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
9. Details of the material (parging or stucco) used to clean up the existing infill wall between 35 and 433 Brock Street shall be submitted to Heritage Planning prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
10. Details of the new front door on the ground floor of the south elevation and on the east elevation of the rear addition shall be submitted to Heritage Planning prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
11. All window works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
12. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;
13. Any minor deviations from the submitted plans, which meet the intent of this approval and do not impact the heritage attributes of the property, shall be delegated to the Director of Heritage Services for review and approval.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

Paige Agnew, Commissioner,
Community Services

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

Lanie Hurdle, Chief
Administrative Officer

Consultation with the following Members of the Corporate Management Team:

Craig Desjardins, Acting Commissioner, Corporate Services	Not required
Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Transportation & Public Works	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required

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Options/Discussion:**Description of Application/Background**

The subject property at 35 Brock Street is located on the north side of Brock Street, east of Ontario Street and west of King Street East (Exhibit A). The property is designated under Part V of the *Ontario Heritage Act* through By-Law Number 84-172.

Applications for demolition and alteration under Section 42 of the *Ontario Heritage Act* (File Number P18-045-2021) have been submitted to request approval to demolish the rear additions, portions of the rear stone wall and gable roof slope of the original building and to construct a three-storey rear addition and restore the façade of the original building.

The goals of the project are to improve the functionality of the restaurant space on the ground floor, to create new residential units on the upper floors and within a new rear addition and to repair and restore the façade of the original building. The construction of the new three-storey flat roof addition will require the demolition of the existing rear one and two-storey additions, the rear roof slope of the original building, portions of the rear stone wall and the side (east) parapet wall; however, these components are not listed as heritage attributes of the subject property.

Supporting information was provided by the applicant, including concept plans by Alexander Wilson Architect Inc. and a Heritage Impact Statement by André Scheinman, and these have been included in Exhibit B to this report.

This application was deemed complete on September 14, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on December 13, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The subject property is included in the Market Square Heritage Conservation District (the District), designated pursuant to Part V of the *Ontario Heritage Act*. The 2013 Market Square Heritage Conservation District Plan (the District Plan) notes this property as a "representative example of commercial construction in Kingston from the early to mid-1800s". Additionally, the property has "historical or associative value due to its association with Henry Matheson and William and Mary Atkinson". Furthermore, "this building has contextual value because of its contribution to the evolved character of the Market Square District".

According to the District Plan, key exterior attributes that embody the heritage value of 35 Brock Street and contribute to the heritage character of the District include:

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- Rubble-stone façade divided into five bays;
- Second floor window openings with a flat-headed segmented arch and stone sill; and
- Shed roof with sidewall parapets and two gable-style dormers.

The Heritage Impact Statement submitted by André Scheinman dated April 4, 2020 clarifies, in relation to the above points, that the construction of the subject building in stone, and the gables with parapets is “representative of the design response to the April 1840 fire and that these elements then characterized construction in the commercial core through that mid-century period”. Mr. Scheinman also clarifies that the property’s roof is a side gable roof and not a “shed roof” as noted above.

The full description has been included as Exhibit C.

Cultural Heritage Analysis

Staff visited the site on August 24 and additionally met with the property owner, architect, and builder on September 14, 2021. The owner is keen to rehabilitate this property to improve the restaurant experience and provide high-quality residential units, both of which will help to ensure the long-term conservation of the historic building. The subject property is located adjacent to Springer Market Square and City Hall and forms part of a significant historic streetscape and perimeter to the Market Square Heritage Conservation District.

Demolition

To facilitate the internal improvements to the restaurant and to construct the new three-storey rear addition, demolition of the existing rear one and two-storey additions, the rear roof slope of the original building, portions of the rear stone wall and the side (east) parapet wall, will be required. Section 5.4 Demolition in District Plan clearly states that the City of Kingston does not support the demolition in part or whole, of an existing building within the District. In this specific situation, the majority of the demolition pertains to the relatively contemporary one and two-storey additions to the rear as well as the rear roof slope and wall of the original building, none of which are listed as heritage attributes of the subject property.

As noted in André Scheinman’s Heritage Impact Statement (HIS), the rear stone wall of the original building was heavily modified during the 1960s renovation of the property, and at ground level, the rear stone wall was completely removed. The proposal includes retaining as much of the rear stone wall within the new residential units as possible. Additionally, the retention of the front slope of the gable roof with original pegged peak connection will ensure that if there is a desire to restore the roof of the original building that it can be informed by the original existing roof. Nonetheless, the rear of the property should be well documented prior to demolition, and this has been included as a condition of the approval. Importantly, the demolition of these rear portions of the building allows the rehabilitation of the property, thereby allowing a continued and sustainable use of the historic building.

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New Construction – Rear Addition

Section 5.3 of the District Plan addresses the design of new construction within the District, including additions. It explains that buildings within the District reflect the styles of many periods and that the design of new additions shall not attempt to replicate or mimic the style of any past era. The proposed three-storey addition is not visible from Springer Market Square and is only minimally visible from the municipal parking lot at the northwest of Brock and Ontario Streets. Accordingly, the impact of this new construction on the cultural heritage value and character of the District is negligible. Nonetheless, its design does not mimic or replicate past styles and is simple and contemporary in its character. Put simply, it does not aspire to draw attention to itself and does not compete with the architectural style of surrounding buildings. Given its location, this is a fair and reasonable approach to its architectural design as it is possible and likely that it may be entirely obscured in the future should the municipal parking lot be redeveloped.

The proposed three-storey addition will be located to the rear of the original building and extend from several inches below the original roof peak. The addition will have a flat roof and accordingly will conserve the existing height of the original building and will not exceed the height of either adjacent buildings (i.e. 35 Brock Street and 39 Brock Street/327 King Street East). Its massing is simple and geometric, extending to the western, northern and eastern lot lines. The section on Massing in the District Plan advises that if the massing of new buildings is wider in width than the average building that they will need to be visually broken up to produce the effect of vertical sections or bays. However, given the location of the addition, this guidance is not relevant to the three-storey addition.

The proposed external material for the rear addition is painted fibre cement board in a medium to dark grey colour. The District Plan states that “the materials of exterior features of a new building within the District shall be physically and visually compatible with, and of comparable quality to, the heritage attributes and materials of the surrounding historic buildings” and additionally that “vinyl or aluminum siding, glossy metal and reflective glass cladding are not appropriate within the District...” Painted fibre cement board closely resembles painted wood siding and will therefore will have a traditional appearance that is physically and visually compatible with the adjacent stonework of the original building and the existing stone wall along the northern property line. Equally, it will be of a contrasting texture, which will also ensure a differentiation between the original building and new addition. A matte grey metal siding is proposed for the new small section of infill wall at the second and third floor levels between 35 and 33 Brock Street. This infill wall will be set halfway back along the original building and minimally visible from Springer Market Square. However, the intention is to minimize its presence and help it to blend into the background. A matte grey metal siding will achieve this goal, and will also comply with the District Plan.

Due to the location of the addition at the rear and within the interior of a densely developed downtown block, there are few locations for new windows. Additionally, issues identified in the Noise Study required as part of the Minor Variance application, have led to the creation of an interior courtyard for the residential units with windows facing onto it. These windows will not be visible to the public realm, which complies with the District Plan’s policy that “...new window and

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door openings shall be located on the sides of the building not visible from Springer Market Square.”

Repair and Restoration of the Façade

An important component of the rehabilitation of this building is the restoration of the façade facing Springer Market Square. The intention is to repair the façade with the following new interventions: the re-opening of the fifth window on the second floor, the installation of all new windows and doors, the like-for-like replacement of the third-floor dormer windows, and the installation of new roofing on the gable roof.

The District Plan’s section on Roofs and Rooflines states that “a roof or roofline that has been identified as a heritage attribute of an existing building within the District shall be conserved.” The District Plan also notes that if it is necessary to change an existing roofline that an HIS shall be submitted to demonstrate that the change has no adverse impact on the cultural heritage value and attributes of the building or District. André Scheinman’s HIS notes that the description of the roof in the District Plan as a “shed roof” is arguably or assumed to emphasize the importance of the front slope of the roof. In other words, the inclusion of the roof as a heritage attribute is assumed to pertain to the front slope only. The front slope has experienced a degree of settlement and deformation, but according to the HIS, the proposal is to preserve this original roof structure “through ‘sistering’ and removal of decayed sections and scarfing in of sound material with replacement kept to a minimum.” The rear portion of the roof will be removed to accommodate the flat roof addition; however, the connection of the new addition will occur several inches past the peak in order to preserve the original pegged peak connection. This will ensure that the appearance of an authentic side gable roof is conserved. Additionally, the original gable-style dormer windows on the south elevation are seriously decayed and require reconstruction. The application proposes to re-build them like-for-like in size, massing and design but with the introduction of wood shingles on the sidewalls and standing seam metal roofing on the gable roofs. The new roofing on the main gable and dormer windows is a standing seam metal roof in a charcoal grey colour.

New materials on the façade will be limited to the aluminum clad wood windows on the ground and second floor levels, the standing seam metal roof and the wood shingles on the sidewalls of the gable. The District Plan states that “any new materials that are introduced when altering an existing building shall be physically and visually compatible with its heritage attributes.” The proposed new materials are robust and traditional in their character and will complement the existing stonework and wooden architectural detailing present on the building. As part of the application, the existing wooden architectural detailing on the façade will be repaired and repainted. Additionally, all exterior limestone will be re-pointed in an appropriate lime-based mortar and the stone chimneys, parapet walls and corbels will be repaired, and any necessary replacement of stone units will be like-for-like in the type, shape and size, as far as possible. A condition has been included as part of the recommendation for approval that all masonry repairs comply with the City’s Policy on Masonry Restoration in Heritage Buildings.

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The District Plan states that “the form and pattern of period window and door openings shall be conserved”. This application proposes to maintain the existing form and pattern of window and door openings on the façade with the improvement of re-opening the long infilled second floor window. As the HIS notes, this will restore the five-bay rhythm of the original design and greatly improve the heritage appearance of this building. The District Plan also states that “period windows and doors shall be conserved if they have been identified as heritage attributes of the building.” The existing windows on the ground floor (restaurant) and door and the second floor windows are not original or period windows. Although they are wooden vertically sliding sash windows and appear to be period windows, they were installed in the mid-1980s or later. The proposed new windows are aluminum clad wood windows. The second floor and dormer windows include six-over-six and two-over-two patterning respectively, and the restaurant/storefront windows are vertically divided with a horizontal division in the upper quarter. These are traditional and appropriate configurations for the historic building. The aluminum clad wood windows are a dark grey colour and comply with the City’s Policy on Window Renovations in Heritage Buildings. Lastly, the existing wooden door on the ground floor will be replaced with a new similar style wood door.

The final components of the repair and restoration of the façade relate to the storefront/restaurant on the ground floor. The existing awning is worn and actively decaying. A new retractable canvas awning is proposed in the same location as the existing. Heritage Planning staff have included a condition requiring that details relating to the design and colour be submitted to staff to ensure that the design and colour is compatible with the heritage attributes and character of the building. The existing wooden fascia board signage will be repaired and re-painted, but without the inclusion of the existing “Casa” lettering, and alternatively, a new hanging sign is proposed, the details of which will come forward later. New exterior lighting is also proposed on the storefront and includes four simple black lighting fixtures that are positioned between the windows and door. They do not overwhelm the building or conceal heritage attributes. Lastly, the application proposes re-parging the existing infill wall at ground and second floor levels between 35 and 33 Brock Street to clean up its appearance. One Heritage Kingston member noted that stucco may also be an appropriate material. Arguably, parging and stucco have a similar appearance. Staff are comfortable with either option and will include a condition that details of the selected material are submitted to Heritage Planning staff for review.

In summary, the proposed restoration of the façade and new rear addition on 35 Brock Street presents a significant rehabilitation project. Rehabilitation, as defined by Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada, is “the sensitive adaption of an historic place or individual component for a continuing or compatible use, while protecting its heritage value.” Significantly, the ongoing and improved used of this building will help to ensure its long-term conservation, thereby contributing to the cultural heritage value and attributes of the District. Moreover, the proposal supports all four of the objectives set out in Section 3 of the District Plan and conserves and enhances the cultural heritage value and attributes of the District.

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Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries’ Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the city so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Numbers 3 and 7:
 - Respect for historical material – Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.
 - Legibility – New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new; and
- Achieve Standards 5, 11 and 12 of Parks Canada’s Standards and Guidelines:
 - Standard 5 – Find a use for an historic place that requires minimal or no change to its character-defining elements;
 - Standard 11 – Conserve the heritage value and character-defining element when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place; and
 - Standard 12 – Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impacted if the new work is removed in the future.

Previous Approvals

P18-070-2019 Replacement asphalt roofing

P18-073-024-2007 Patio

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Building Division: Insufficient information has been provided at this time to provide detailed comments, however the applicant is advised of the following:

- A Building Permit is required for the proposed construction and change of use;
- Evaluation of the early warning and evacuation design of the building to be performed;
- Fire protection required for separation of suites, common areas, structural members and mechanical systems;

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- Egress from dwelling units to conform to the applicable requirements of OBC Article 3.3.4.4;
- Minimum amounts of unobstructed glass areas to conform to OBC table 9.7.2.3;
- In addition to Building Permit fees, Development & Impost Charges are due in full at time of permit issuance in accordance with the Fee Schedule in affect at that time; and
- Confirmation required that there is an existing agreement between property owners for the exit door at the rear opening onto the neighboring property.

Planning Services: The subject property is designated 'Central Business District' on Schedule 3-A Land Use of the Official Plan and is zoned CMS 'Market Square Commercial' zone in Zoning By-Law Number 96-259. The conversion of the upper floors of the subject property and new addition with four residential units require minor variances, including increasing the maximum permitted density, reducing the minimum amenity area, reducing the number of parking spaces and reducing the number of bicycle parking spaces. The Committee of Adjustment unanimously supported staff's recommendation for approval of the minor variances at the September 20, 2021 meeting. Additionally, a site plan control application has been submitted and is currently in technical review.

Engineering: No concerns with this application. Please note that any proposed encroachments onto municipal property will require an Encroachment Permit.

Environment: We have no heritage concerns however the proponent should be reminded of earlier comments relating to the requirement for a Record of Site Condition (RSC) prior to receiving building permits due to the additional residential construction outside of the existing structure.

Utilities Kingston: If increasing the gas load a Gas Load summary should be filled out and submitted to a Utilities Kingston Service Advisor as well as provided with the application.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The committee's comments have been compiled and attached as Exhibit D.

Responding members provided that they had no major concerns and were generally satisfied with the details provided and supportive of the rehabilitation project. Two members noted the importance of the rear flat roof addition stepping down from the peak of the original gable. Additionally, there was some consensus that a matte-coloured metal siding, stucco or painted fibre cement board would be appropriate cladding materials for the rear addition. One member also expressed the importance of implementing the like-for-like replacements. Lastly, one member commented that information regarding the existing infill was not readily available, but that perhaps stucco would be a good option.

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Conclusion

Staff recommends approval of the application File Number (File Number P18-045-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

Designating By-Law Number 84-172

City's Policy on Window Renovations in Heritage Buildings

City's Policy on Masonry Restoration in Heritage Buildings

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Jennifer Campbell, Director, Heritage Services, 613-546-4291 extension 1377

Alex Rowse-Thompson, Planner, Heritage, 613-546-4291 extension 3251

Other City of Kingston Staff Consulted:

None

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Exhibits Attached:

Exhibit A Context Maps and Photographs

Exhibit B Supporting Information

Exhibit C Statements of Cultural Heritage Value for District and Property

Exhibit D Correspondence Received from Heritage Kingston

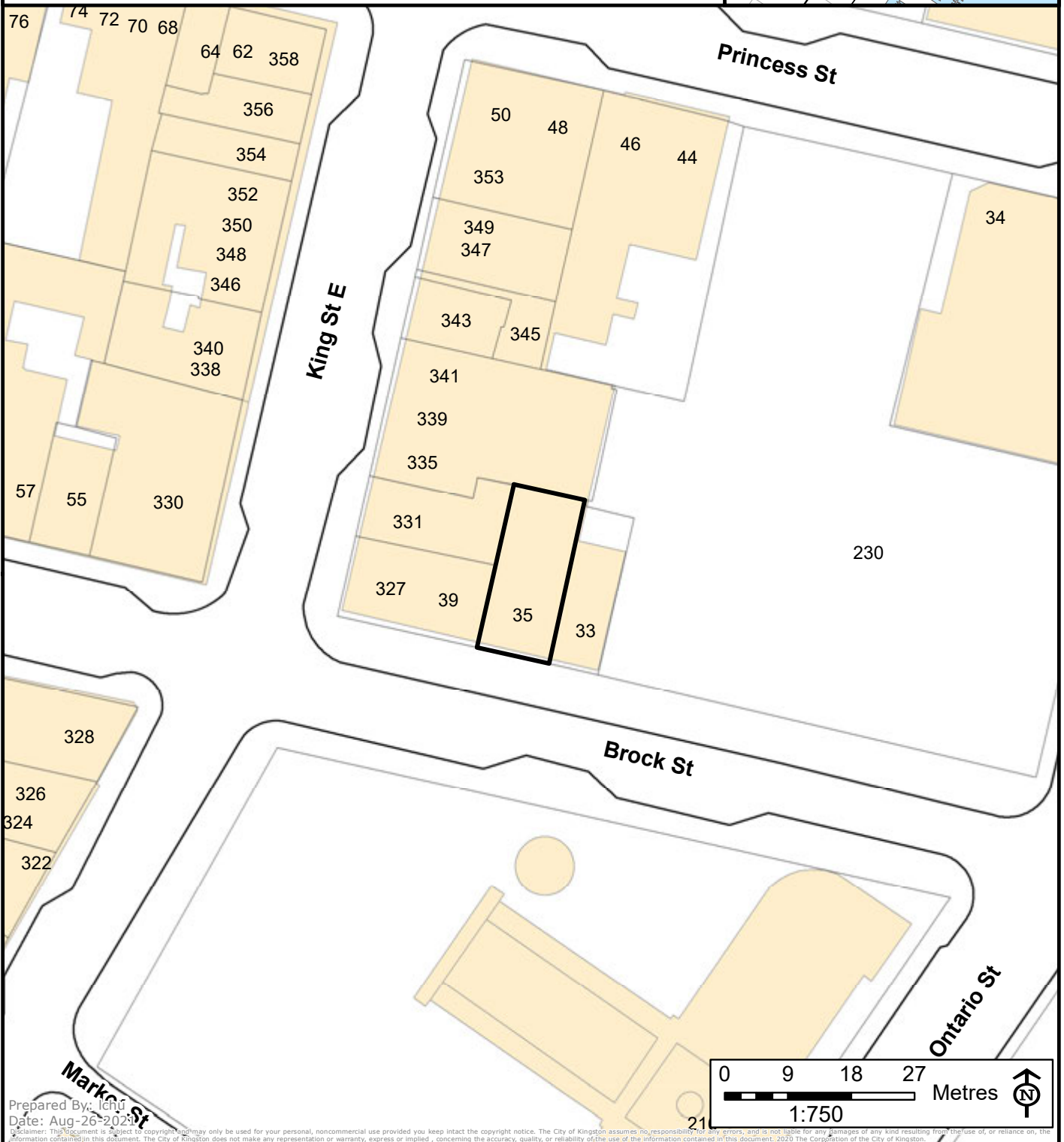
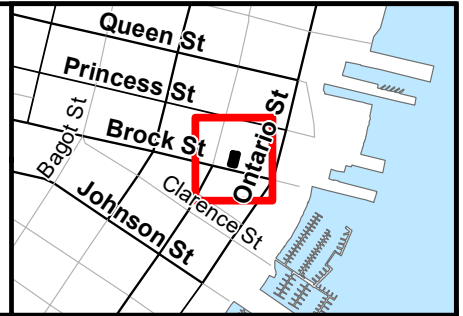
Exhibit E Final Comments from Heritage Kingston October 20, 2021



Heritage Kingston Committee Key Map

Address: 35 Brock Street
File Number: P18-045-2021

 Subject Lands






Prepared By: Ichni
Date: Aug-26-2021

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Heritage Kingston Committee
Neighbourhood Context (2021)

Address: 35 Brock Street
File Number: P18-045-2021

-  Subject Lands
-  Property Boundaries
-  Proposed Parcels

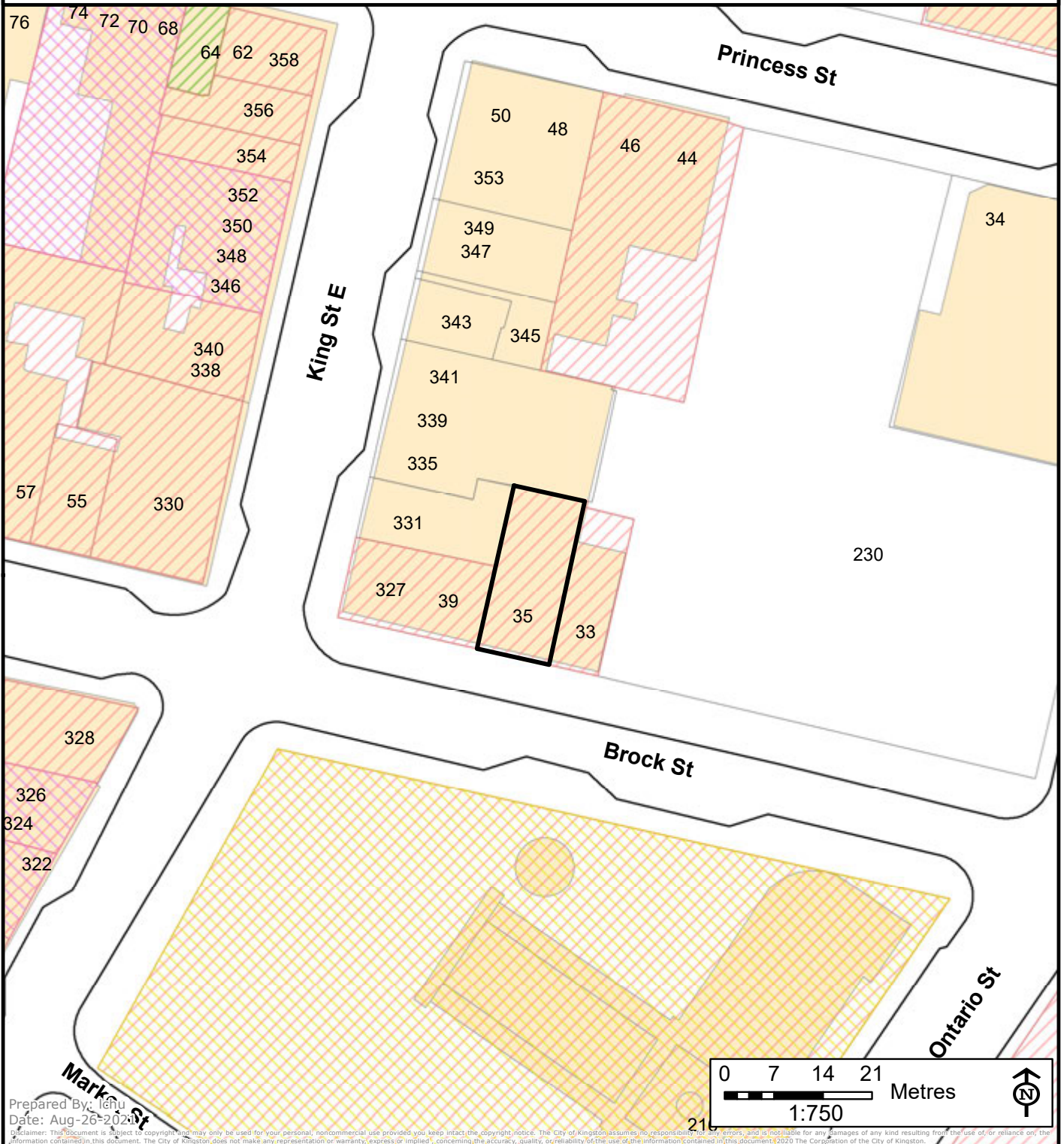




Heritage Kingston Committee
City of Kingston Heritage Register

Address: 35 Brock Street
File Number: P18-045-2021

- Subject Lands (Market Square Heritage Conservation District)
- National Historic Site
- Designated Property
- Easement
- Listed Property



Prepared By: Jenu
Date: Aug-26-2021

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Front Elevation (South)



Brock Streetscape (South of King Street East)



Existing Infill Wall Between 35 and 33 Brock Street



Rear of 35 Brock Street (Looking Southwest)



North Elevation at Second Floor



Existing Infill Between 35 and 33 Brock Street from the Rear Elevation



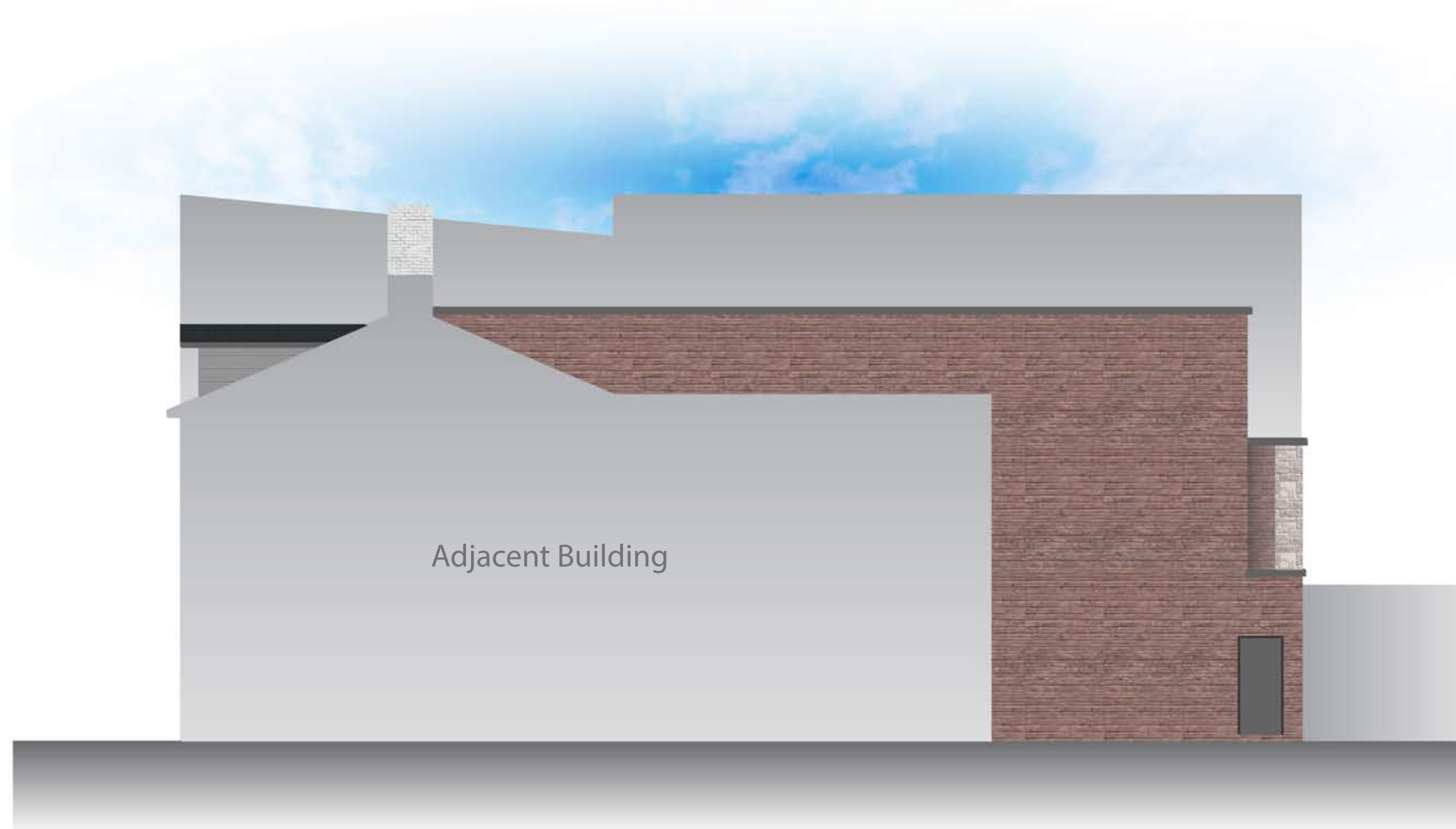
South Elevation Render

September 2021

35 Brock Street, Kingston ON
Casa Domenico Restaurant and Apartments
Heritage Submittal

Alexander Wilson Architect Inc.
www.alexanderwilsonarchitectinc.ca





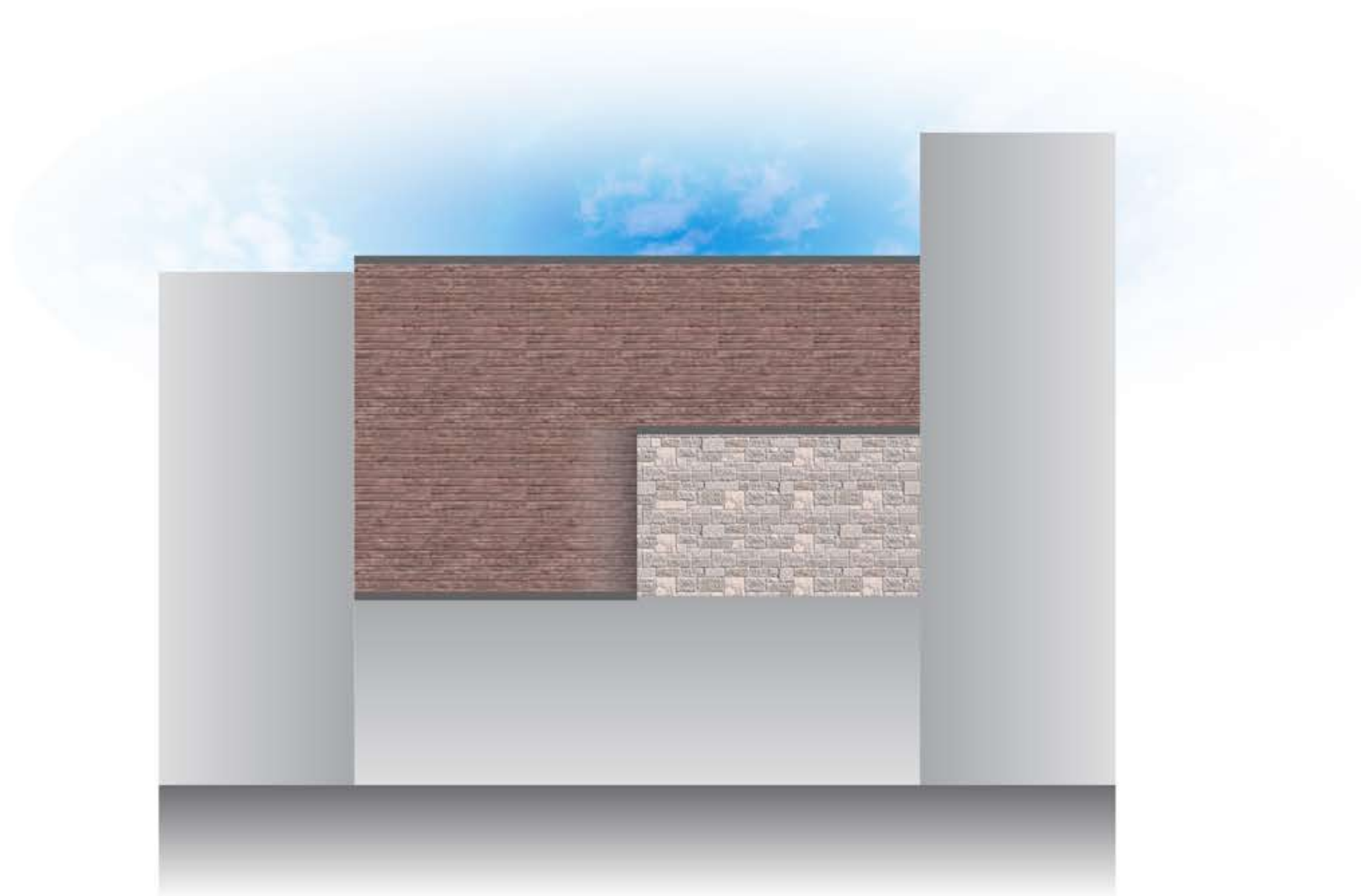
East Elevation

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35 Brock Street, Kingston ON
Casa Domenico Restaurant and Apartments
Heritage Submittal

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North Elevation Render

September 2021

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Heritage Submittal

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South Elevation Detailed Line Drawing

September 2021

35 Brock Street, Kingston ON
Casa Domenico Restaurant and Apartments
Heritage Submittal

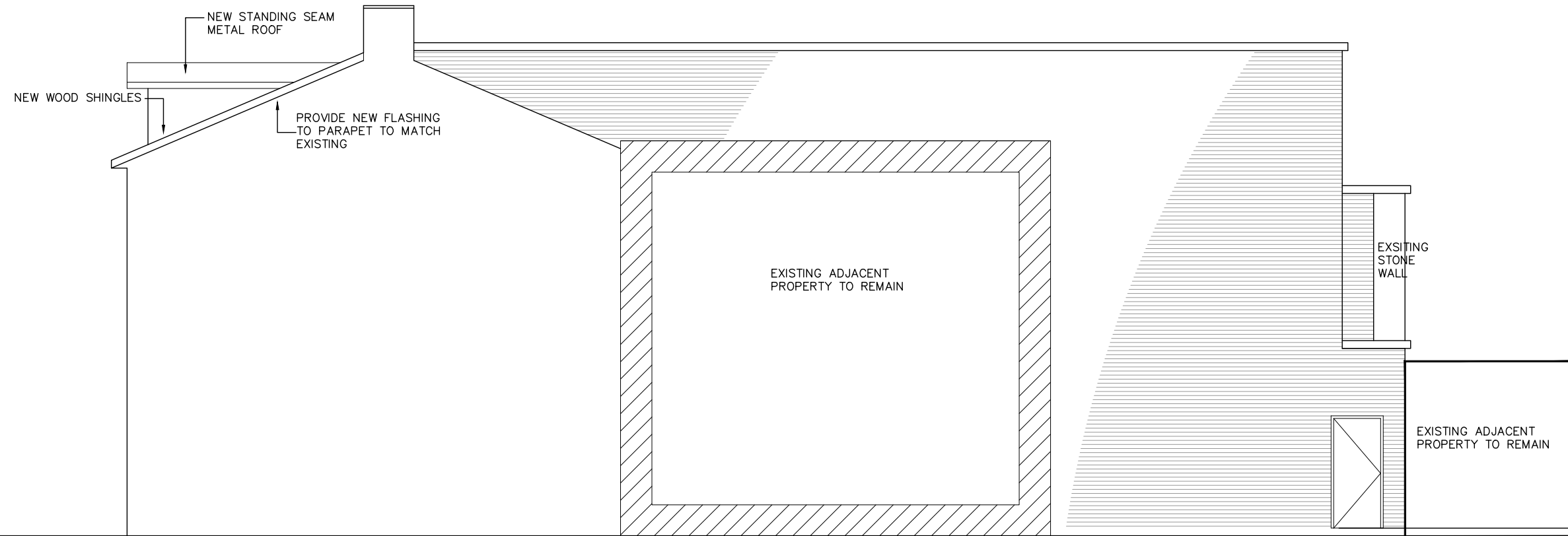
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DO NOT SCALE DRAWINGS
 CHECK AND VERIFY ALL DIMENSIONS BEFORE
 PROCEEDING WITH THE WORK.
 DRAWINGS NOT TO BE USED FOR CONSTRUCTION
 UNLESS STAMPED AND SIGNED BY THE CONSULTANT.
 THESE DRAWINGS HAVE BEEN DESIGNED IN
 CONFORMANCE WITH THE ONTARIO BUILDING CODE.

Revisions and Issues

REV.	DATE	DESCRIPTION
1	2021.05.07	ISSUED FOR REVIEW
2	2021.05.13	RE-ISSUED FOR REVIEW
3	2021.05.14	RE-ISSUED FOR REVIEW
4	2021.05.17	RE-ISSUED FOR REVIEW
5	2021.06.11	RE-ISSUED FOR REVIEW
6	2021.06.30	RE-ISSUED FOR REVIEW



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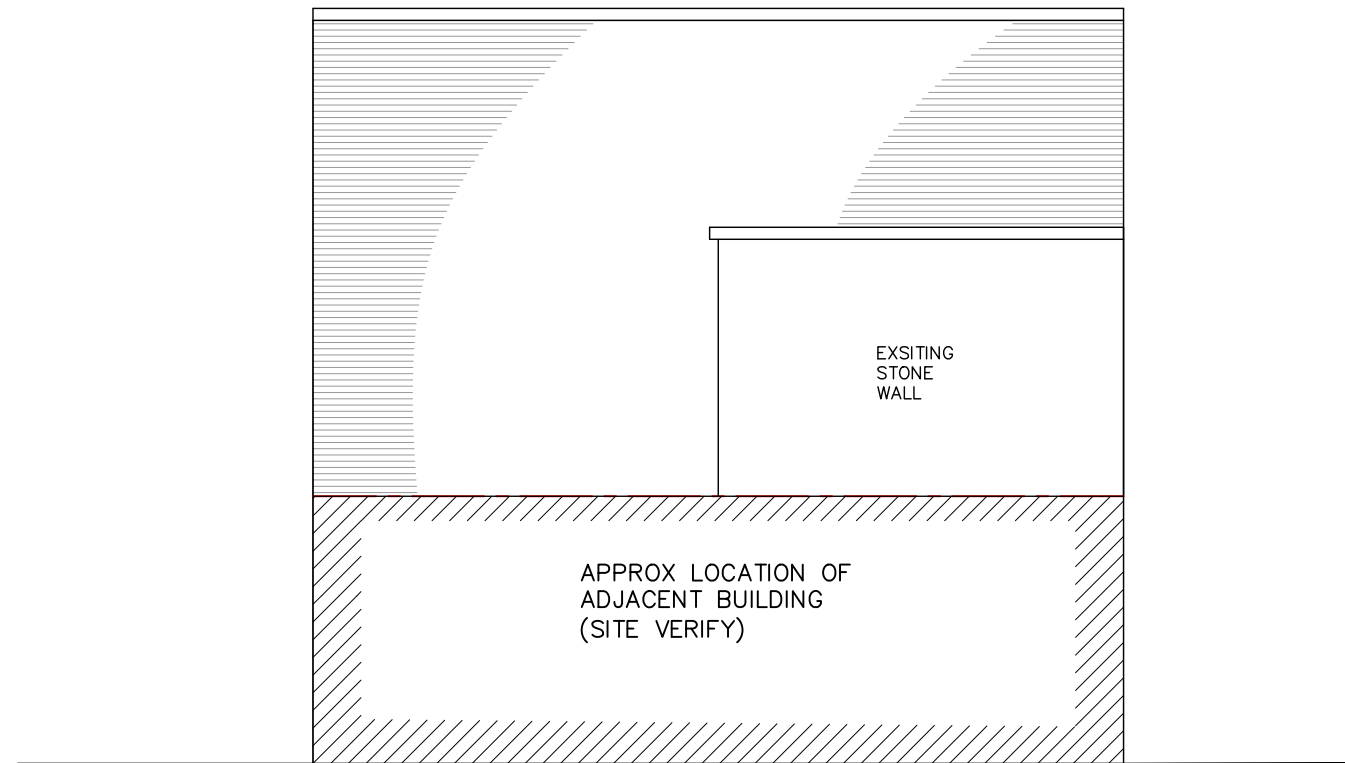
East Elevation Detailed Line Drawing

September 2021

35 Brock Street, Kingston ON
 Casa Domenico Restaurant and Apartments
 Heritage Submittal

Alexander Wilson Architect Inc.
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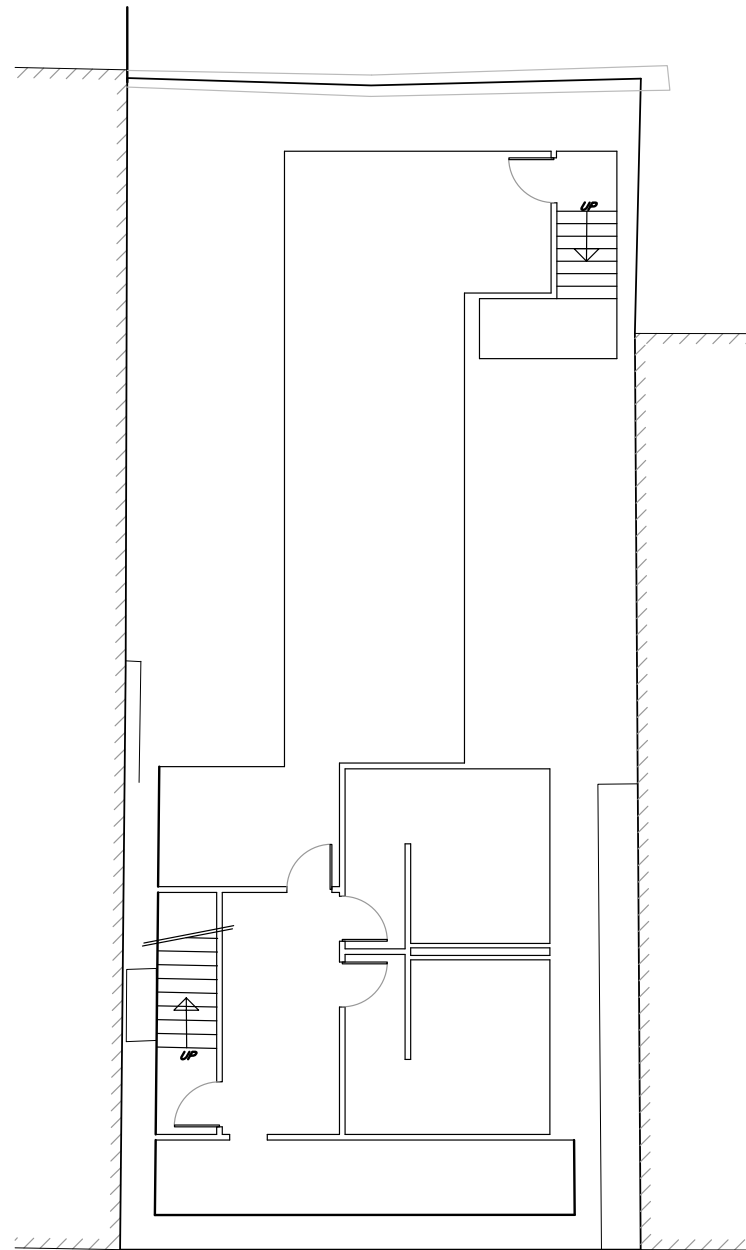
North Elevation Detailed Line Drawing

September 2021

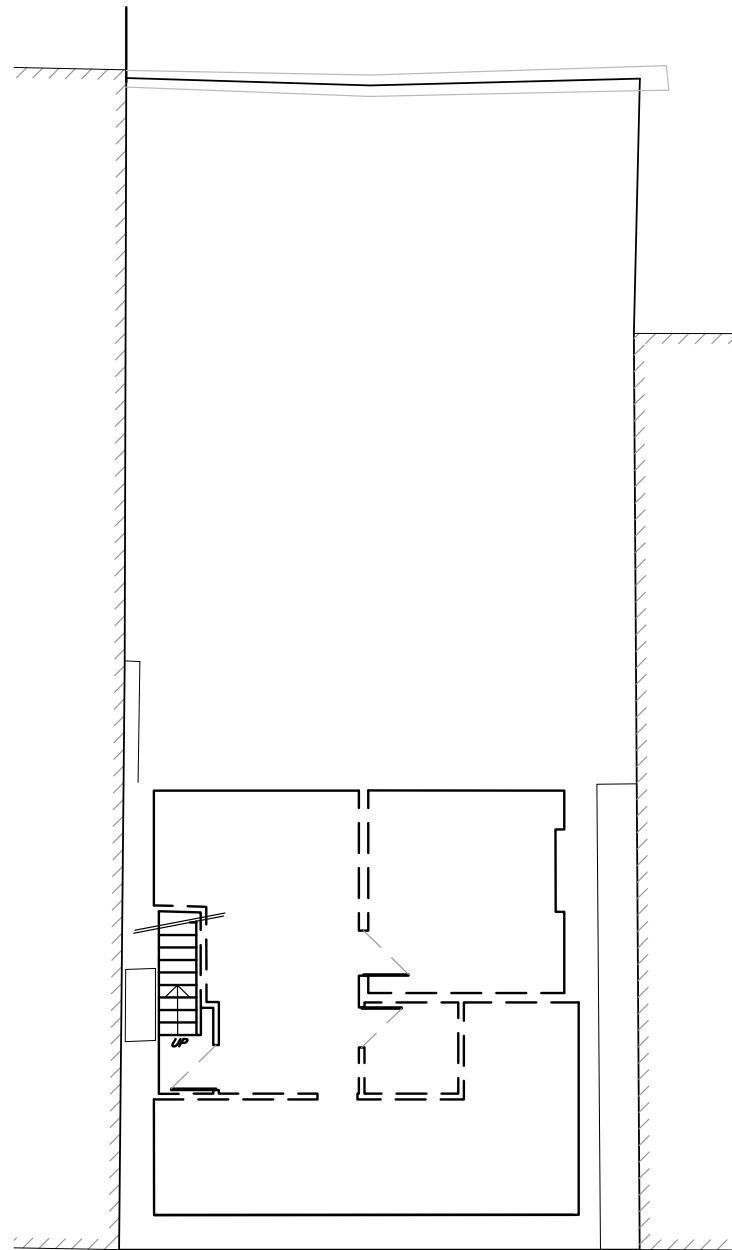
35 Brock Street, Kingston ON
Casa Domenico Restaurant and Apartments
Heritage Submittal

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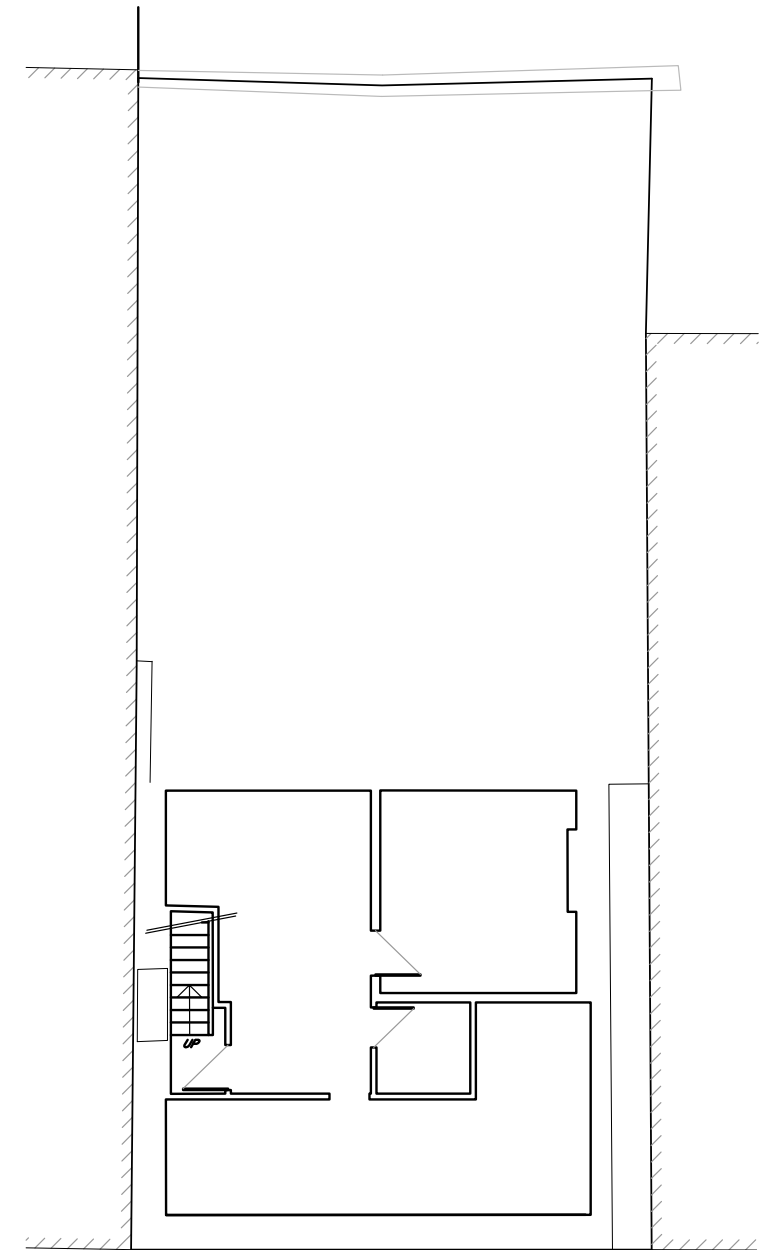




Proposed



Demolition



Existing

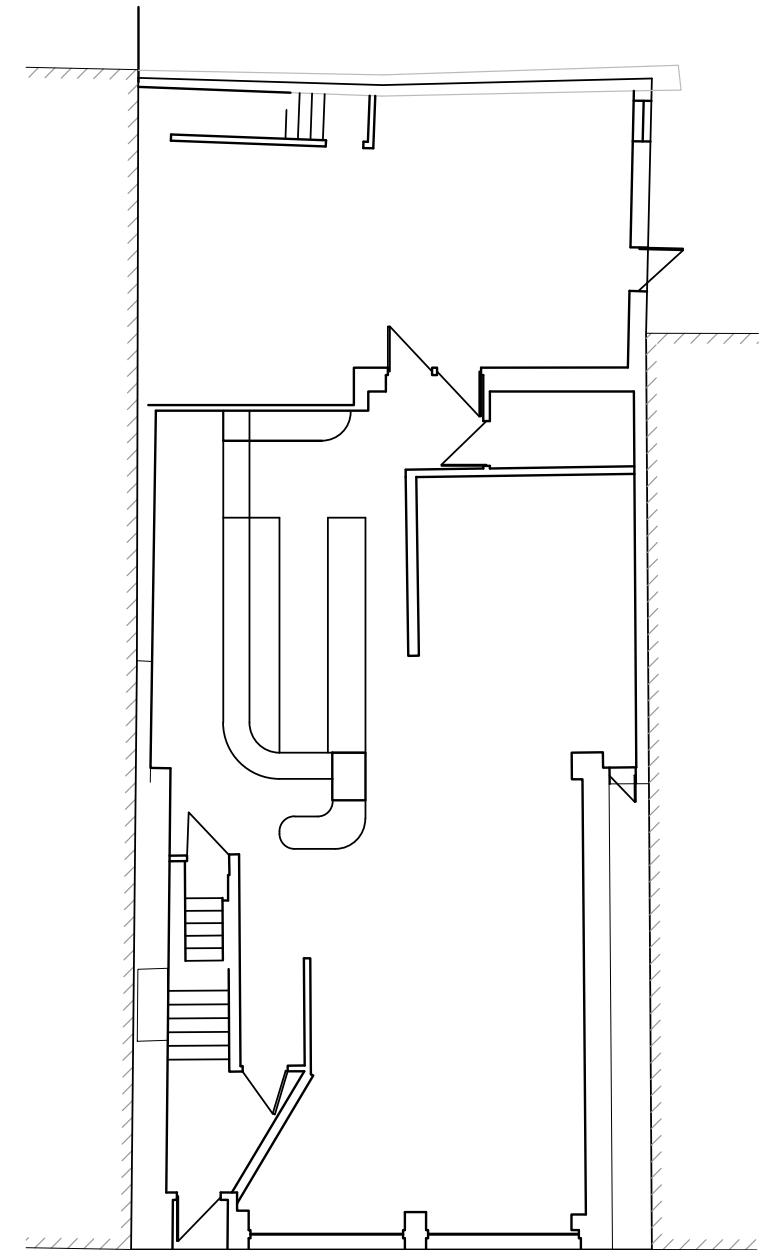
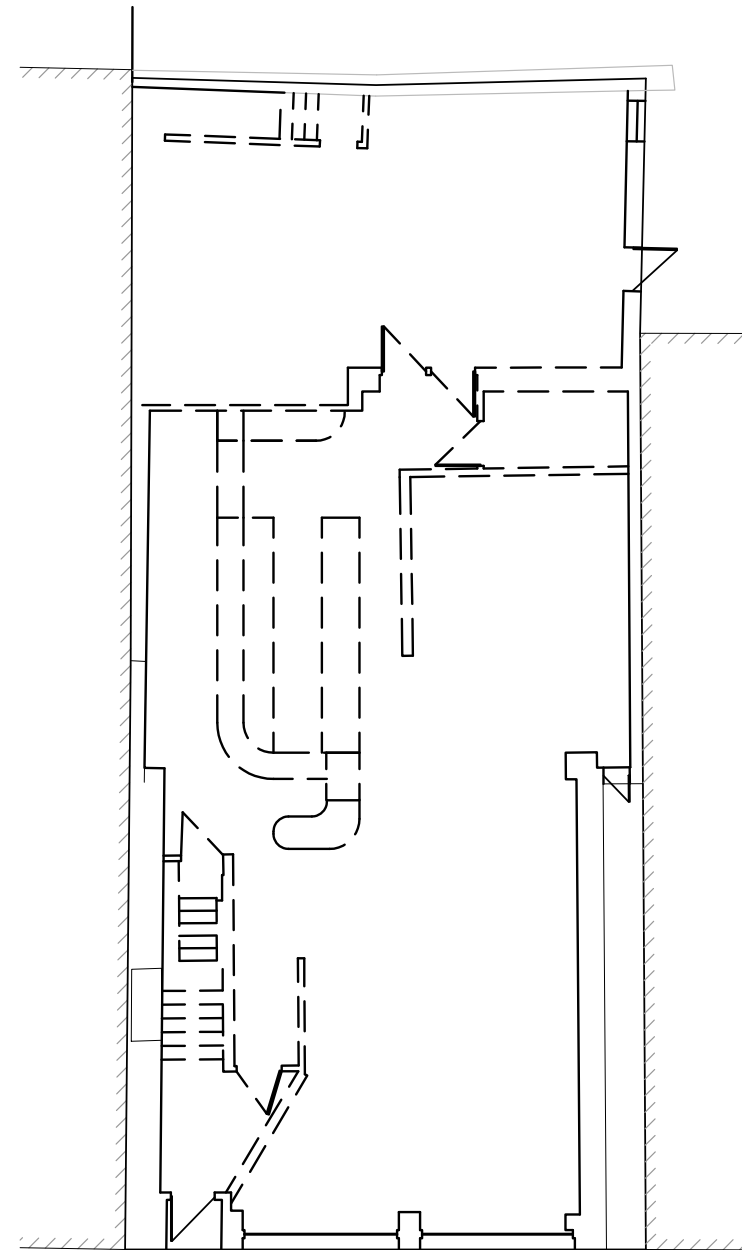
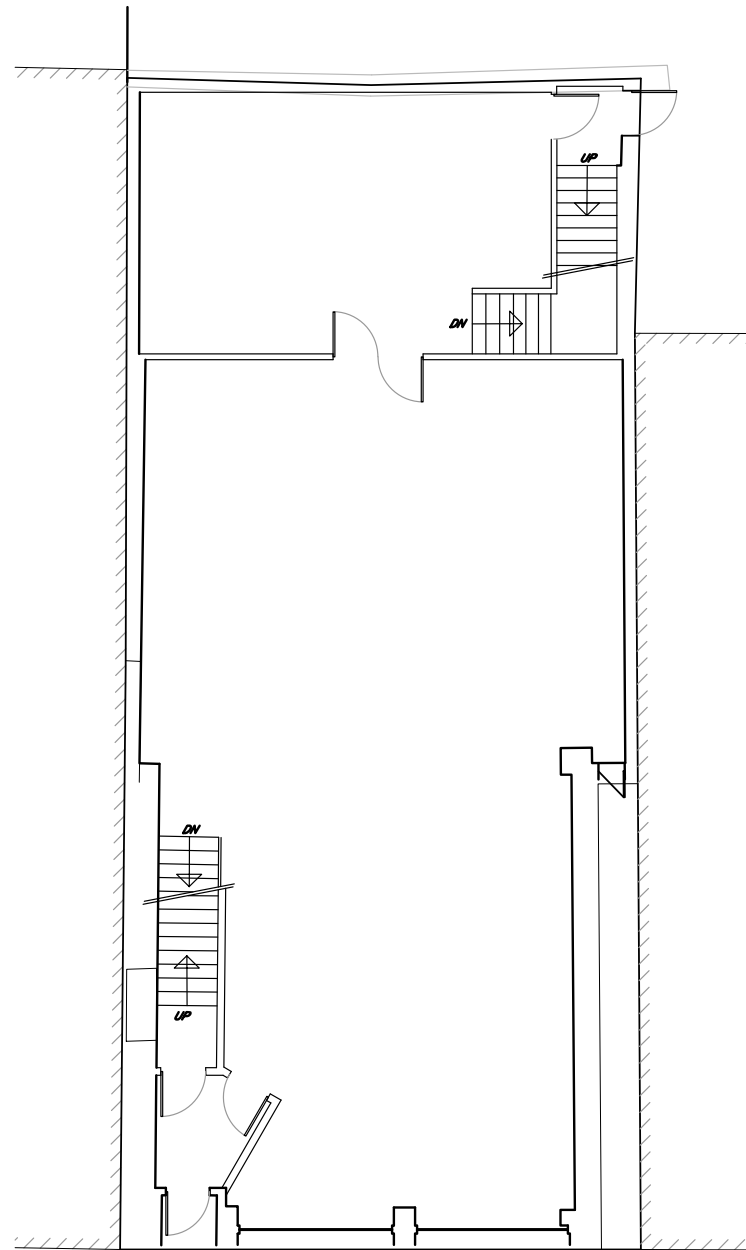
Basement Floor Plans

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Proposed

Demolition

Existing

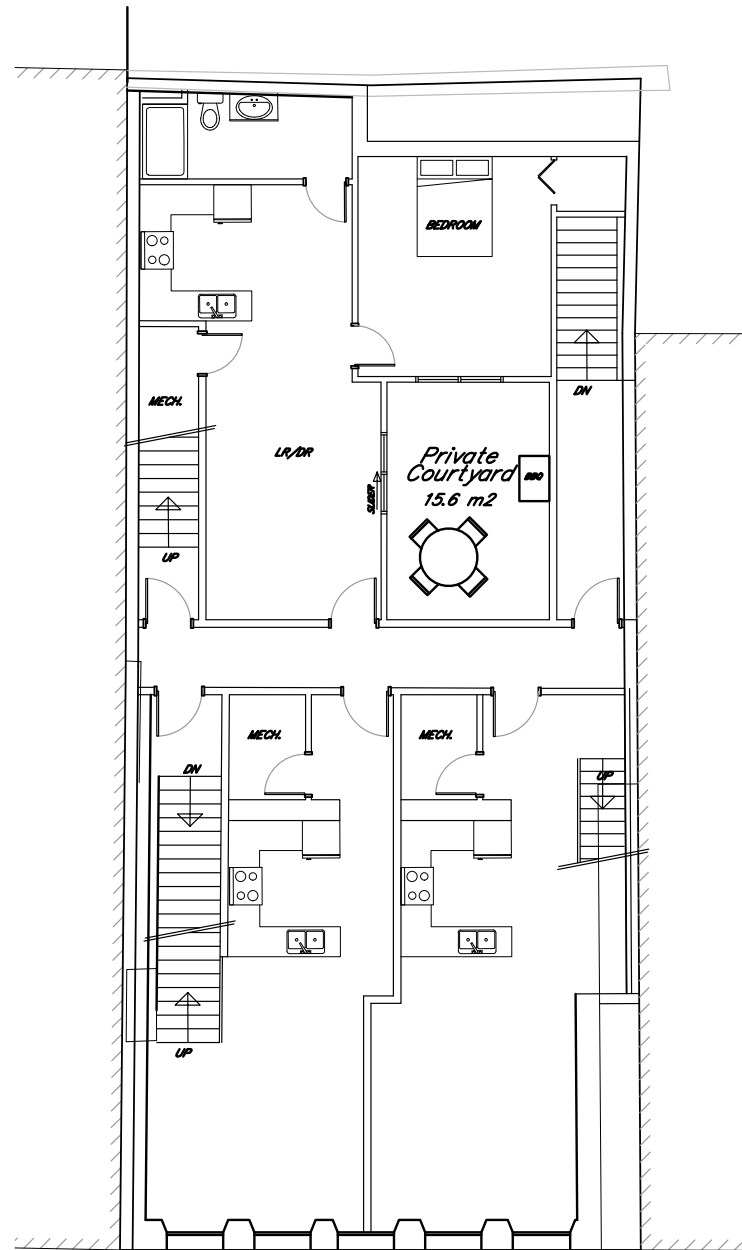
First Floor Plans

September 2021

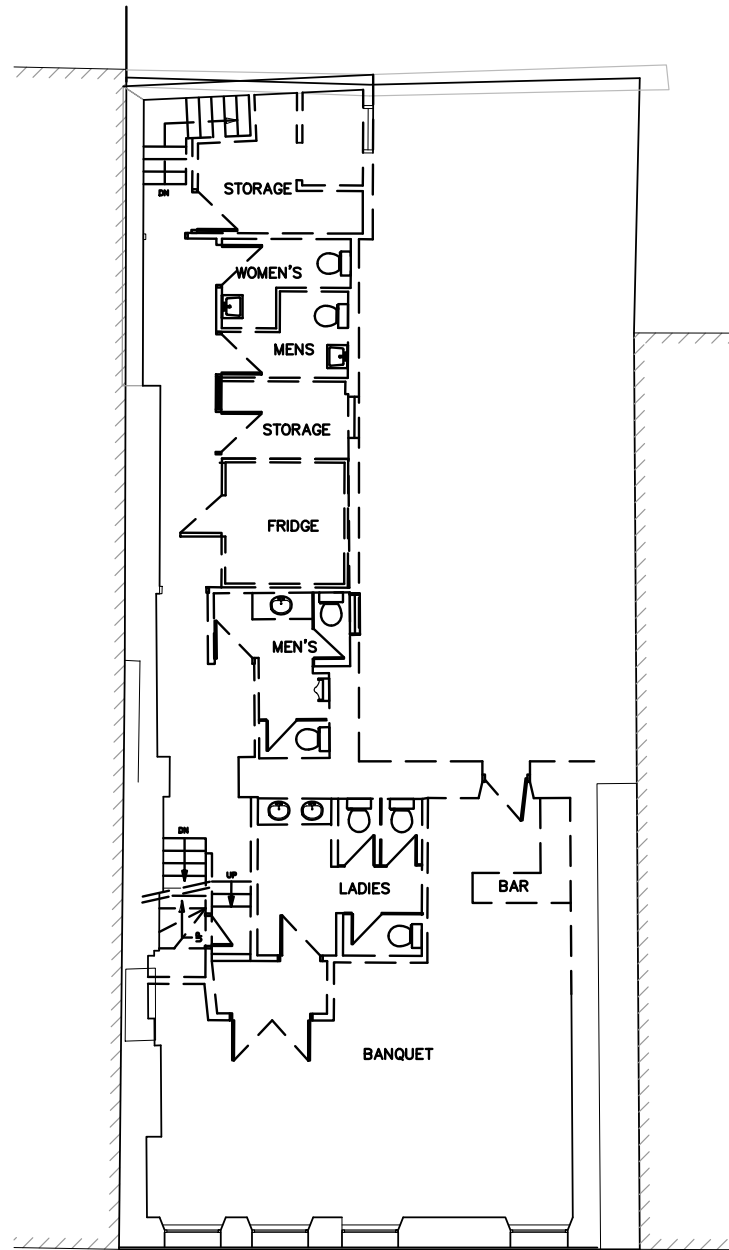
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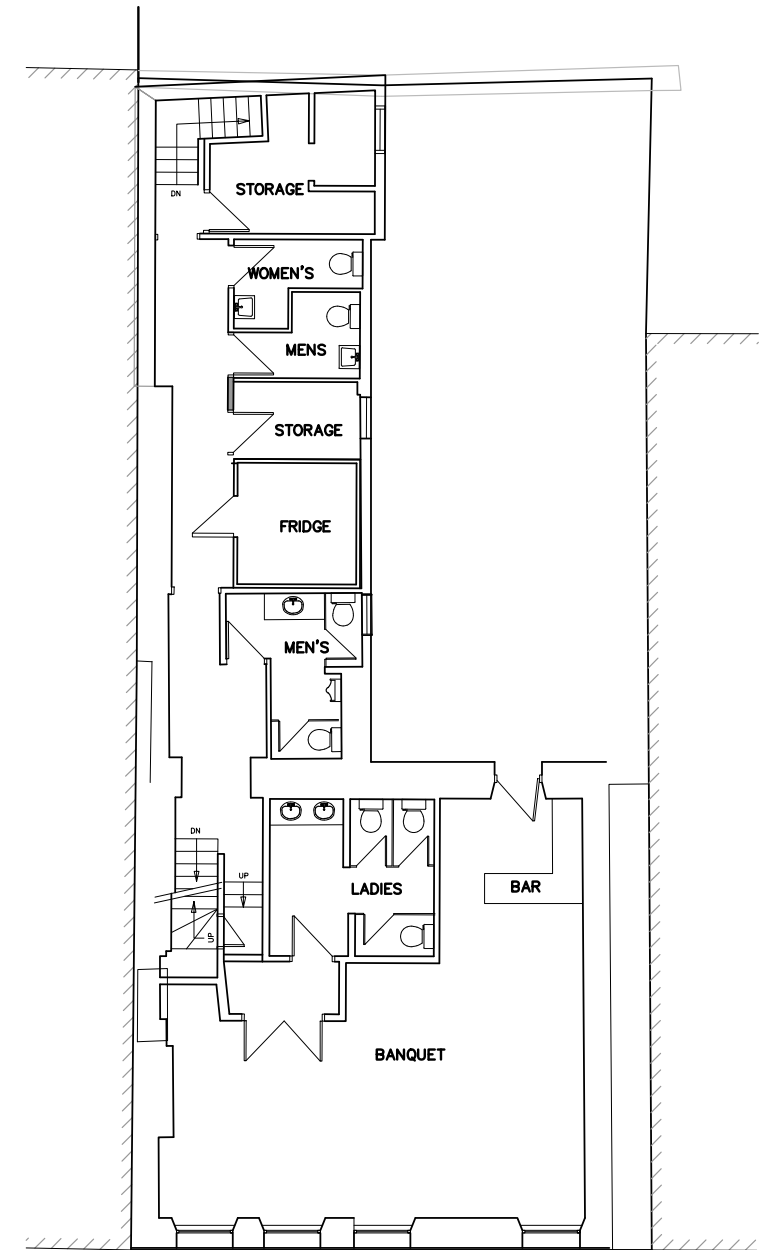




Proposed



Demolition



Existing

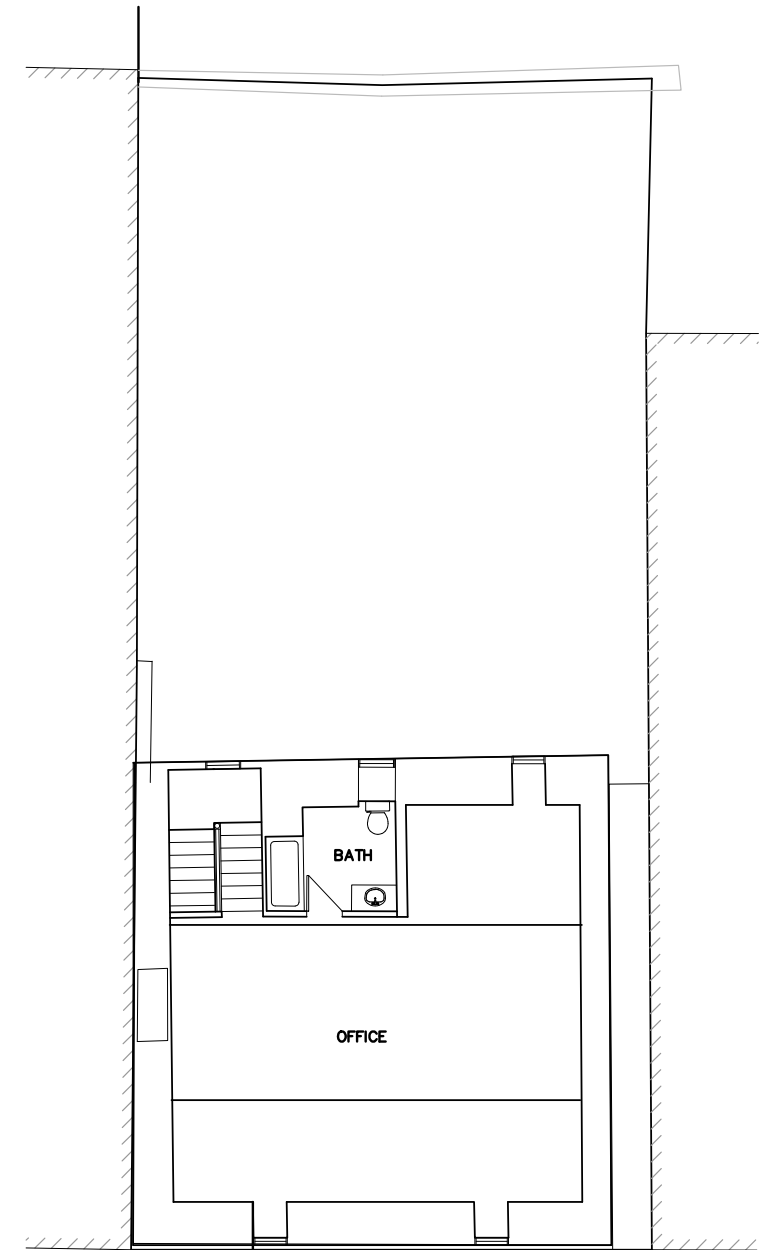
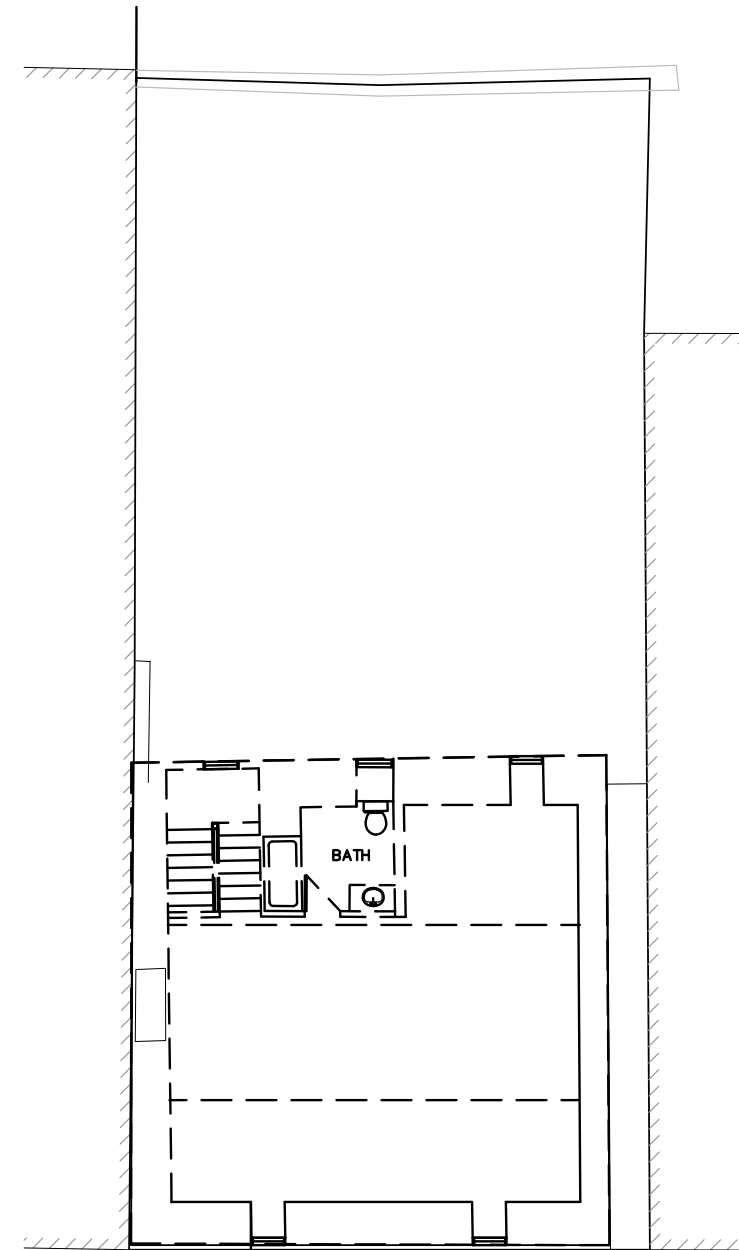
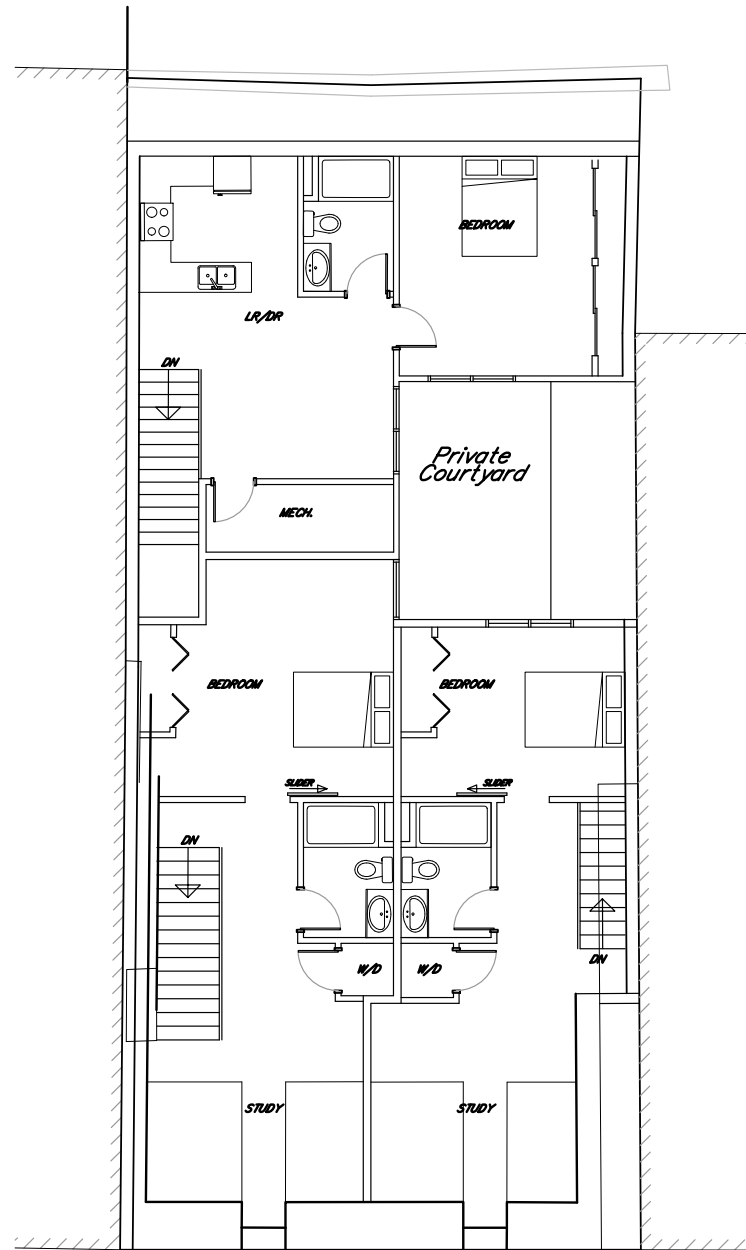
Second Floor Plans

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Proposed

Demolition

Existing

Third Floor Plans

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Features of the Modern Direct Glaze Window

- Large expanses of glass for maximum views with numerous configurations and sizes available
- Rectangular and polygon shapes
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- Maximum certified frame size - 141 3/8" to 93 3/8"
- Single Unit Performance Rating - CW-PG60
- Vertical or Horizontal Muller Units Performance Ratings - CW-PG60

*Image captured from www.marvin.com





Features of the Ultimate Single Hung G2 Window

- Available in heights up to 10.5 feet or widths up to 5.5 feet
- Also available with both sashes stationary, to replicate historic aesthetics in commercial projects when non-operating windows are preferred.
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
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- Retractable screen option is nearly invisible when the screen is not in use
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- Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked
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*Image captured from www.marvin.com

Second and Third Floor Window Details

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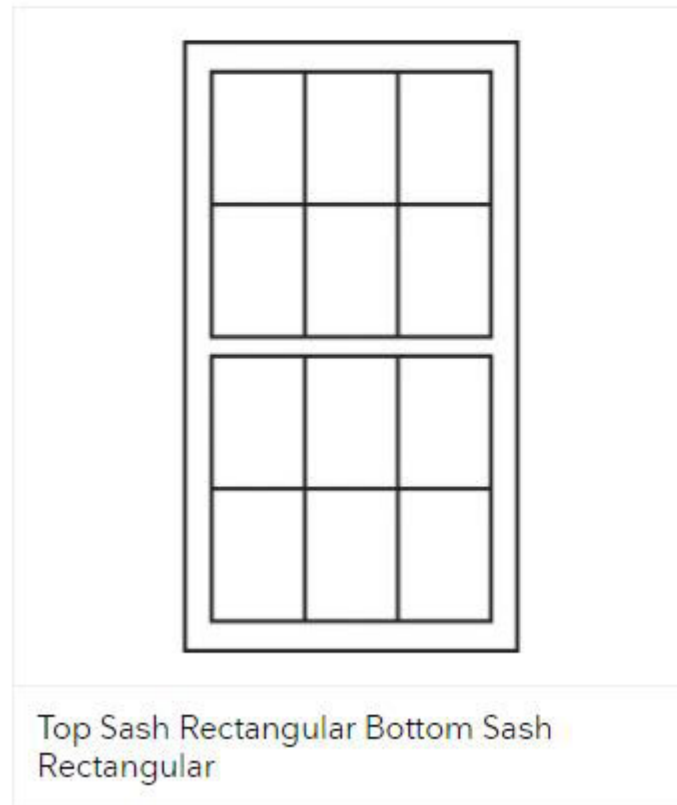
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Patterns

Marvin's custom capabilities allow us to create almost any divided lite pattern you can dream up, with combinations of widths, unique profiles, rectangular or radius cuts and more. Choose from an existing lite cut, specify custom divided lites according to a new design or ask our design professionals to assist in creating a pattern for your needs.



Selected: Top Sash Rectangular Bottom Sash Rectangular

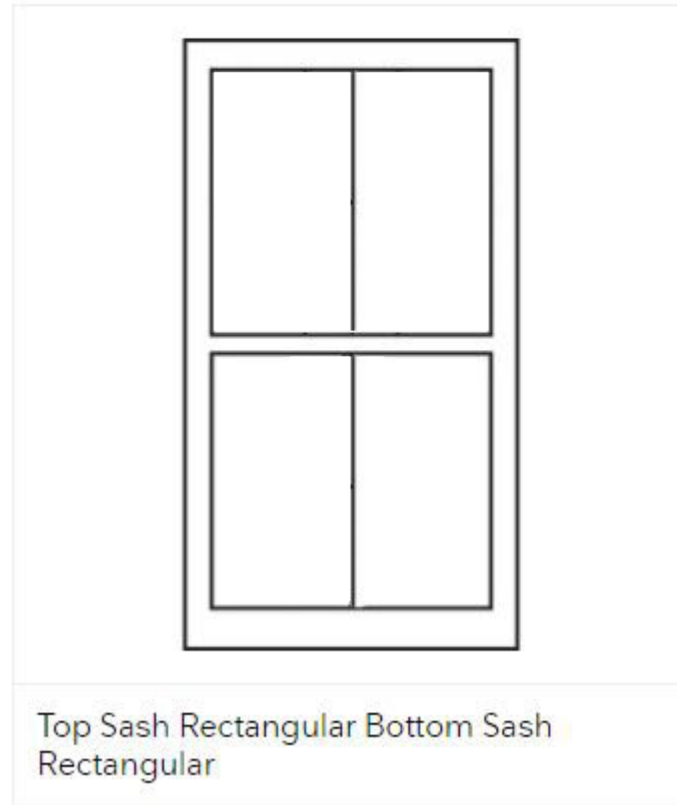
*Image captured from www.marvin.com

**Image has been edited from original to depict specified 6 over 6 glazing pattern.



Patterns

Marvin's custom capabilities allow us to create almost any divided lite pattern you can dream up, with combinations of widths, unique profiles, rectangular or radius cuts and more. Choose from an existing lite cut, specify custom divided lites according to a new design or ask our design professionals to assist in creating a pattern for your needs.



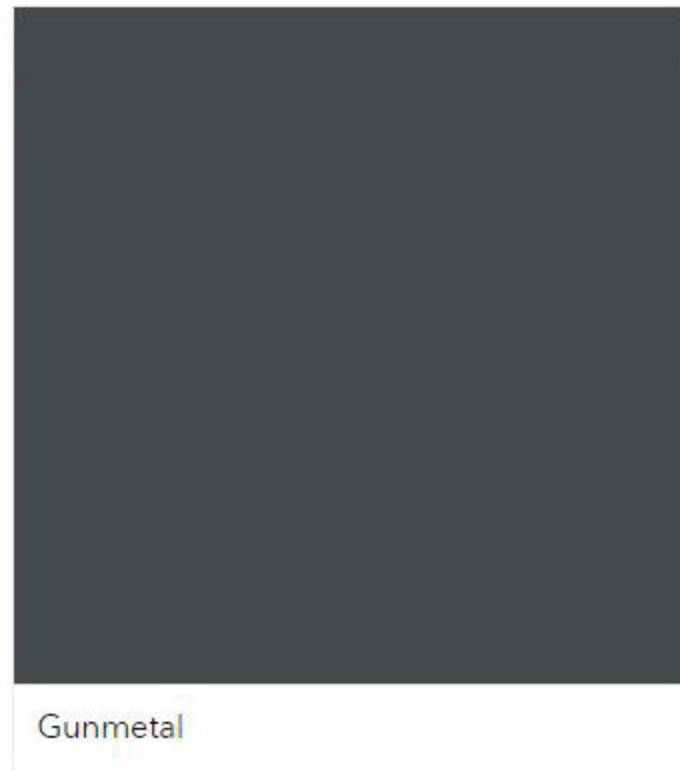
Selected: Top Sash Rectangular Bottom Sash Rectangular

*Image captured from www.marvin.com

**Image has been edited from original to depict specified 2 over 2 glazing pattern.



Clad Color Options



A high-quality window deserves a dependable finish. Our low maintenance clad-wood products feature an extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking. Our palette of nineteen color options spans from muted, earthy tones to bold, rich colors and three pearlescent finishes. Custom color matching is also available to meet any design vision.

Selected: Gunmetal

*Image captured from www.marvin.com

**Image has been edited from original to depict only the selected colour.

***Colour is available for Marvin Signature Ultimate and Marvin Signature Modern.





Photo of Standing Seam Metal Roof at 53 King St East, Kingston ON

*Image captured from www.friendshiproofing.com

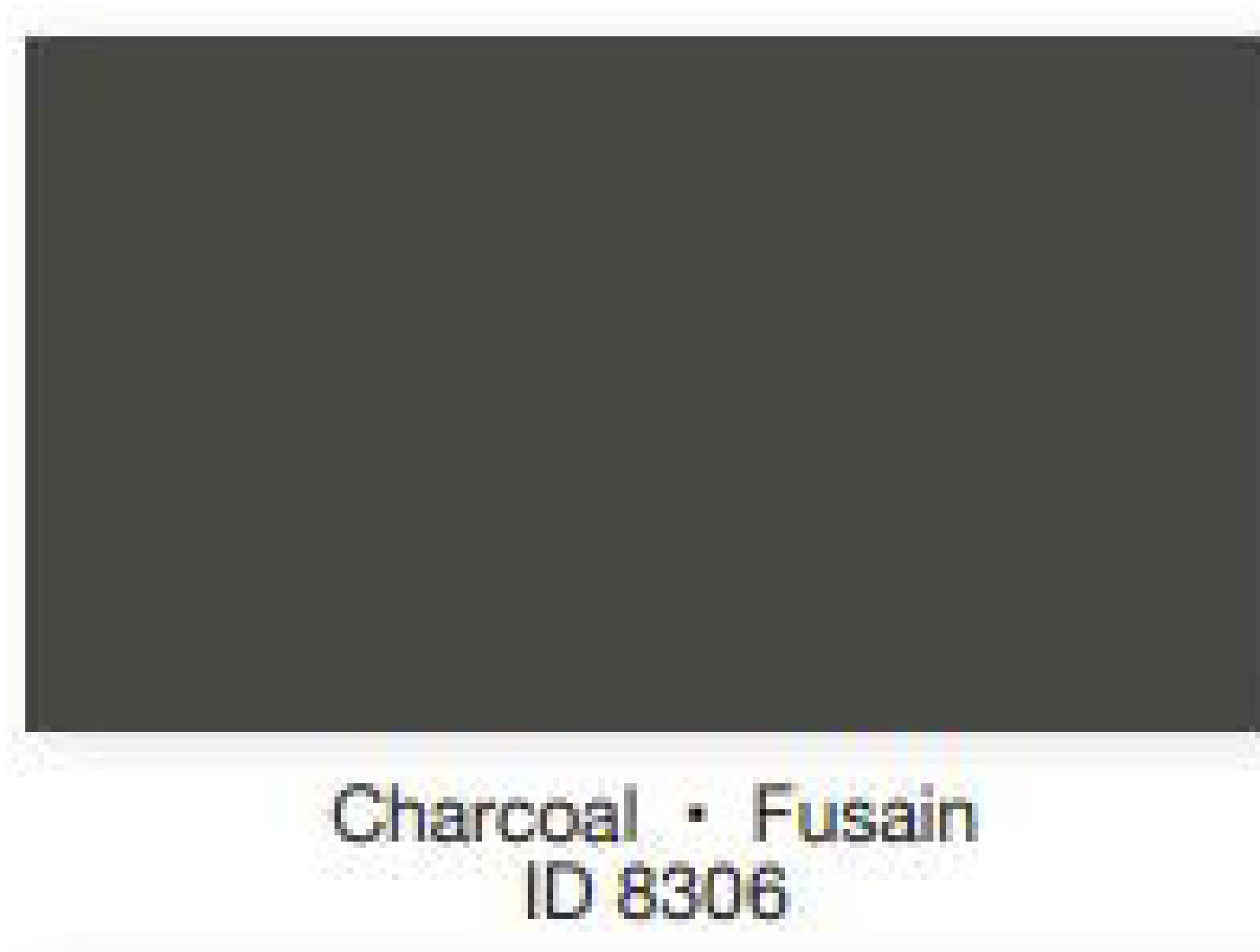
Standing Seam Metal Roof Example

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Proposed Colour of Standing Seam Metal Roof

*Image captured from www.idealroofing.ca

Standing Seam Metal Roof Colour

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Photo of Retractable Awning at 69 & 71 Brock St, Kingston ON

*Image captured from www.canadianawning.com

**Colour to be closer to 71 Brock St.

Awning Example

35 Brock Street, Kingston ON
Casa Domenico Restaurant and Apartments
Heritage Submittal

September 2021

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Photo of Hanging Perpendicular Signage at 56 & 62 Brock St, Kingston ON

*Image captured from Google Earth

Signage Example

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Photo of Proposed Exterior Lighting Fixtures

*Image captured from www.canadalightingexperts.com

Lighting Example

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Photo of Proposed Cornice Colour Benjamin Moore Graphite

*Image captured from www.gardenista.com

Cornice Colour Example

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Casa Domenico Restaurant and Apartments
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**Alexander
Wilson
Architect
Inc.**

24 August 2021

Ms. Alex Rowse-Thompson
Heritage Planner
City of Kingston

attn.: arowse-thompson@cityofkingston.ca

Dear Alex,

Re: **Heritage Permit Application**
Casa Domenico
35 Brock St.
Kingston, ON

Principal

Alexander Wilson

Associates

Jordan Jones

Bozena Kruckowski

Vincent Pape

Please see the following to answer your questions/comment on the most up to date submission (i.e. "Updated Heritage Submission"):

1. Beyond the construction of the rear addition, I understand that you are proposing the following (please confirm - have I missed anything?):
 - a. Repair of the stone chimneys/parapets
 - b. Replacement of the historic dormer windows with new ones to match.
 - c. Repair of re-painting of the wood cornice/eave and existing storefront
 - d. Replacement of all of the windows on the front elevation, including re-opening the fifth window opening on the second floor.
 - e. New storefront lighting
 - f. A hanging sign
 - g. New retractable awning
 - h. New standing seam metal roof
 - i. New gable roof structure over infill section between 33 and 35 Brock St. with standing seam metal roof
Yes, these are the elements we are proposing.
2. Do you have a 3D model of the proposal? I need to better understand the connection/interface between the existin building and the addition. The elevation drawings are tricky to understand within the dense urban fabric of the surrounding lots.
No, we do not have a 3D model of the proposal.
3. Related to the above – how does the flat roof of the addition connect to the existing parapet walls? Does it extend east-west and attach to them? How will the parapet walls be protected/detailed? Drawings illustrating this interface are required.
There is only one existing parapet wall in the rear of the building, it will be removed and usable stone will be used as feature elements in the interior of the building. The current height of the parapet wall will not meet the new roof (fig. 1, 2 & 3), and the change will not be visible from street level. This is necessary to make the apartments and structure function.
4. It's not entirely clear if any of the rear addition will be visible from the HCD or public realm? Again, a 3D model would help to confirm.
The rear addition will be mostly unseen from the HCD, except from the Ontario St. parking lot (fig. 4).

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Figure 2. Shows no parapet on rear slope of existing roof on west wall.



Figure 3. Shows rear portion of parapet that will be covered by addition.

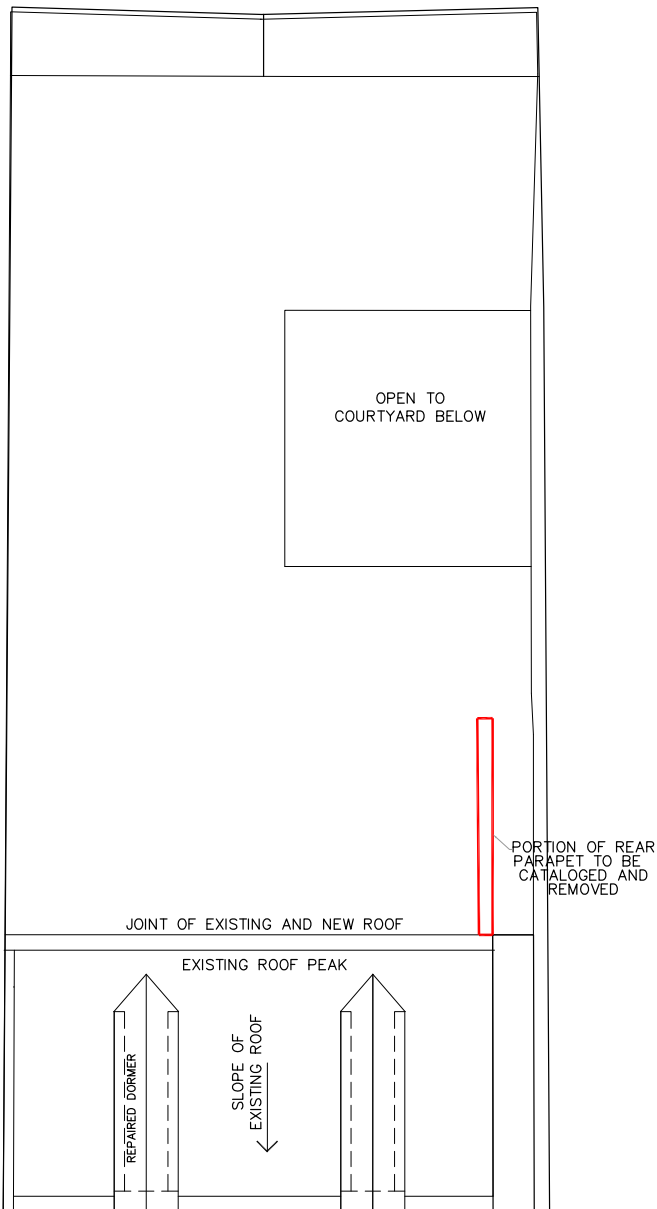


Figure 1. Drawing showing new roof plan with existing parapet to be removed highlighted.

5. The HIS notes that the new dormer windows on the front (south) elevation will match the existing like-for-like? I.e. the side walls be clad in wood shingles, same dimensions, wood detailing, eaves, etc.? Please confirm this intention.
Yes, it is our intention to match the existing dormers as closely as possible.
6. May I suggest a two-over-two glazing pattern for the dormer windows? The one-over-one looks a bit discordant with the new six-over-six patterned windows below.
Yes, I have updated the submission to reflect the two-over-two glazing pattern.
7. A standing seam metal roof on the existing building in dark grey sounds appropriate. Am I correct in understanding that a standing seam metal roof is proposed on the dormer windows as well? Is a true standing seam metal roof proposed for both, or a regular metal roof with the appearance of a standing seam? If it's the latter, the seams should be approximately 16" apart so as to have the appearance of a standing seam metal roof. We can include a condition as part of the approval requiring details of the finalized roofing system and colour.
A true standing seam metal roof is proposed.
8. The HIS notes/recommends that the addition to the rear of the roof peak should occur "several feet past the peak in order to preserve the original pegged peak connection and a true sense of the gable" (pg. 13). As Ryan previously

mentioned, the roof addition appears to be coming directly off the peak. Appreciating that you are working with minimum ceiling heights for the residential units, it would be preferable and follow best practice, and I am confident that Heritage Kingston members will also comment, that the new flat roof addition should be stepped down from the peak. The existing conceptual drawings do not provide a clear understanding of how and at what height the flat roof addition connects to the existing gable roof.

To achieve a ceiling height acceptable by the OBC it is necessary to have the new roof meet the existing roof a few inches below the peak (fig. 5).

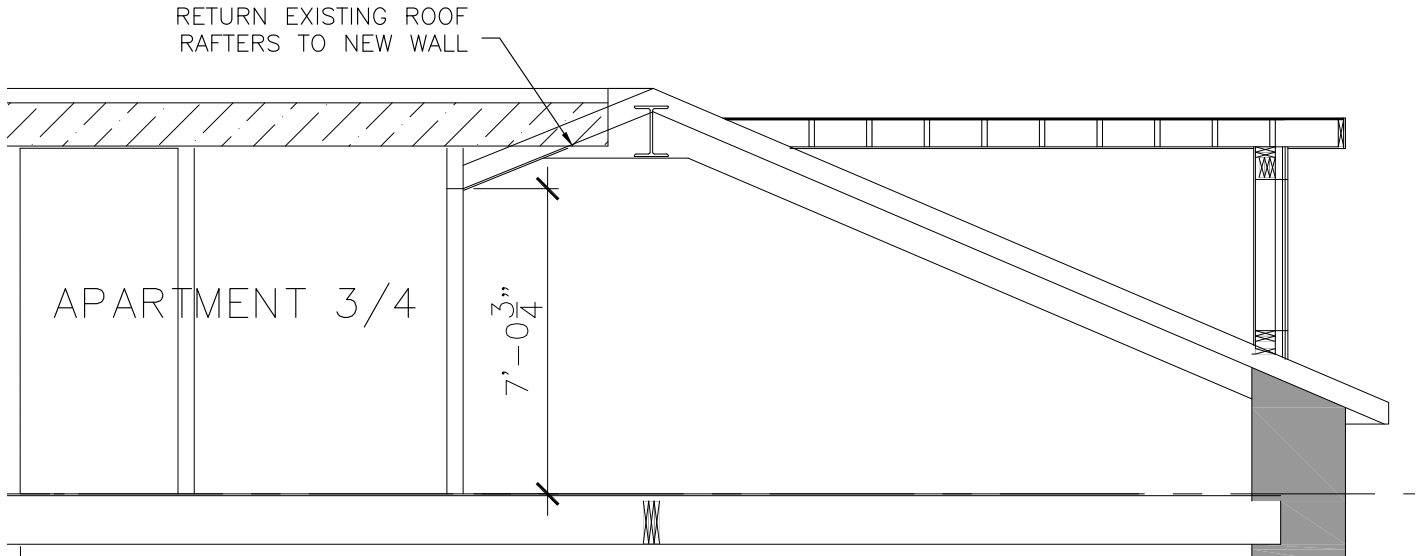


Figure 5. Drawing showing new roof attaching to existing roof, and the required minimum head room on the third floor.

9. Are you proposing a gable roof structure over the infill between 35 and 33 Brock? If so, can you explain the rationale behind this and confirm that roof structure will be set below the existing parapet walls? Or will the third floor addition be visible from the street? We need a drawing that adequately illustrates this detail/interface.
- We are proposing a small visible infill between 33 and 35 Brock St, this will facilitate access from the second floor to the third floor within the proposed apartments. It will not abutt the street, but be located further back along the existing opening/alley (fig. 6).*
10. With regards to the new signage (i.e. hanging sign and awning), we require detailed designs, including materiality, colour, image/font, etc. The examples that you've provided are helpful, but are not adequate for the purposes of a heritage approval. These details could be brought forward in a subsequent application for the purpose of moving along the rehabilitation and preservation works to the building at this point in time.
- We are planning on brining these details forward at a later date once we have approval for the general construction of the project.*
11. Where will the awning be mounted? Over the fascia board?
- The new awning will be installed in the same location as the current awning (fig. 7). As above, we are planning to refine the details once the general approval has been granted.*
12. Am I correct in understanding that there will not be a sign on the fascia board? I.e. only the hanging sign and awning?
- Yes, we will return to an earlier version of the sign which is to be hung perpendicular to the building. We will provide further details in a later Heritage Permit Application once we have approval for the project as a whole.*
13. The HIS mentions muntin bars in the new storefront windows (pg. 10), but the most up-to-date drawings show the new windows as matching the existing (i.e. no muntins). Can you confirm which design you are proposing? The addition of the horizontal muntin bar in the earlier design does appear more compatible with the other window designs and more in keeping with the division of glazing that would see on a traditional/historic storefront.
- Yes, I have updated the submission to reflect the horizontal muntin bars at the top of the storefront windows.*

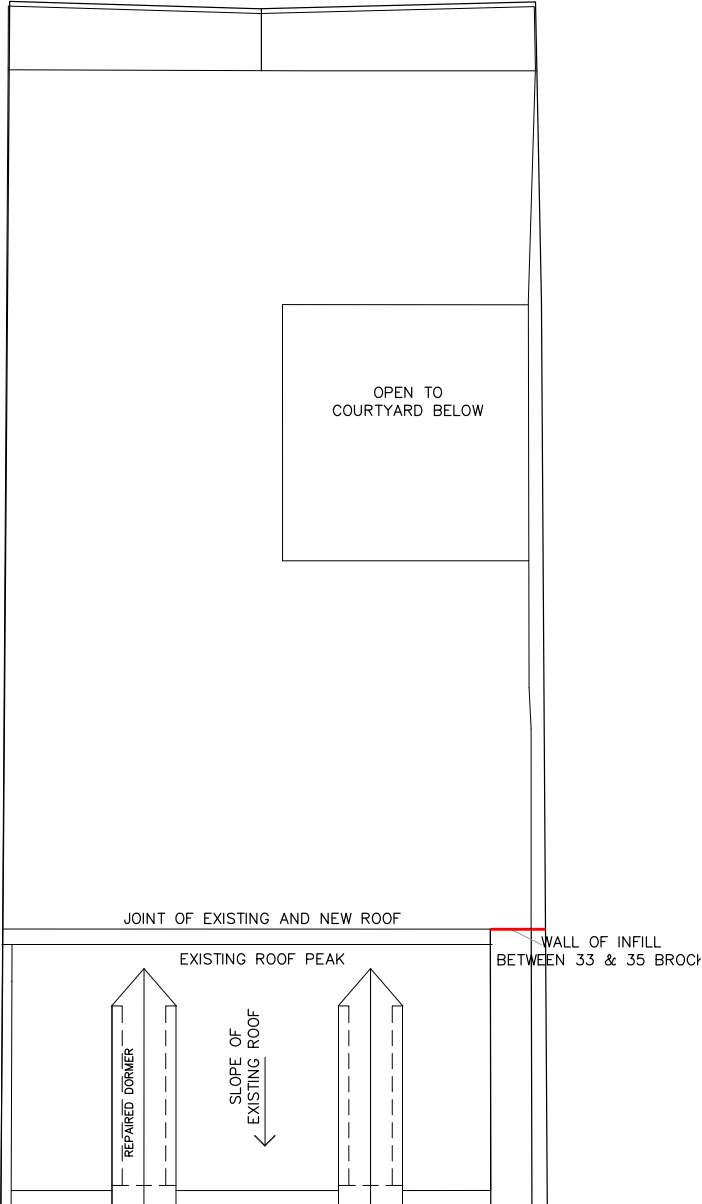


Figure 6. Drawing showing new roof plan with location of infill wall highlighted.



Figure 4. Shows that the existing buildings block the view of the proposed addition, except for a small portion from the Ontario St. parking lot.



Figure 7. Shows location of current awning, where new awning will be installed.

In drafting these questions, it is becoming clear that what would be very helpful, are “as existing” and “as proposed” drawings with annotated explanations. If I find it challenging to catch all of the proposed preservation/restoration works, then certainly Heritage Kingston members will as well. Some 3D renderings that clarify the design of the rear addition and how it interfaces with the existing are also needed.

We have added to the submission to reflect the existing vs. proposed plans, at this time we do not have any 3D renders.

Please do not hesitate to contact me if you have any further questions or comments.

Yours truly,

Gillian Wilson

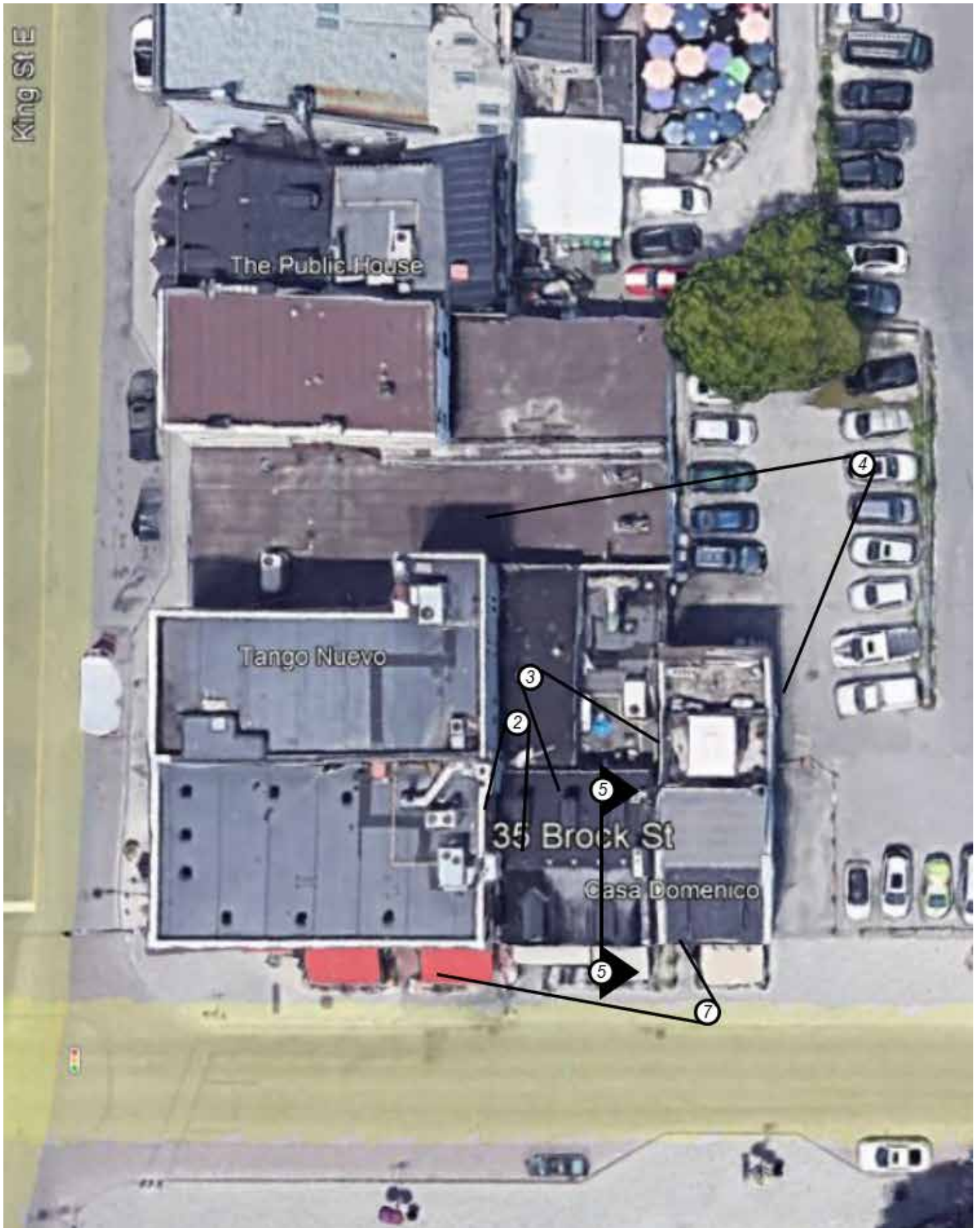
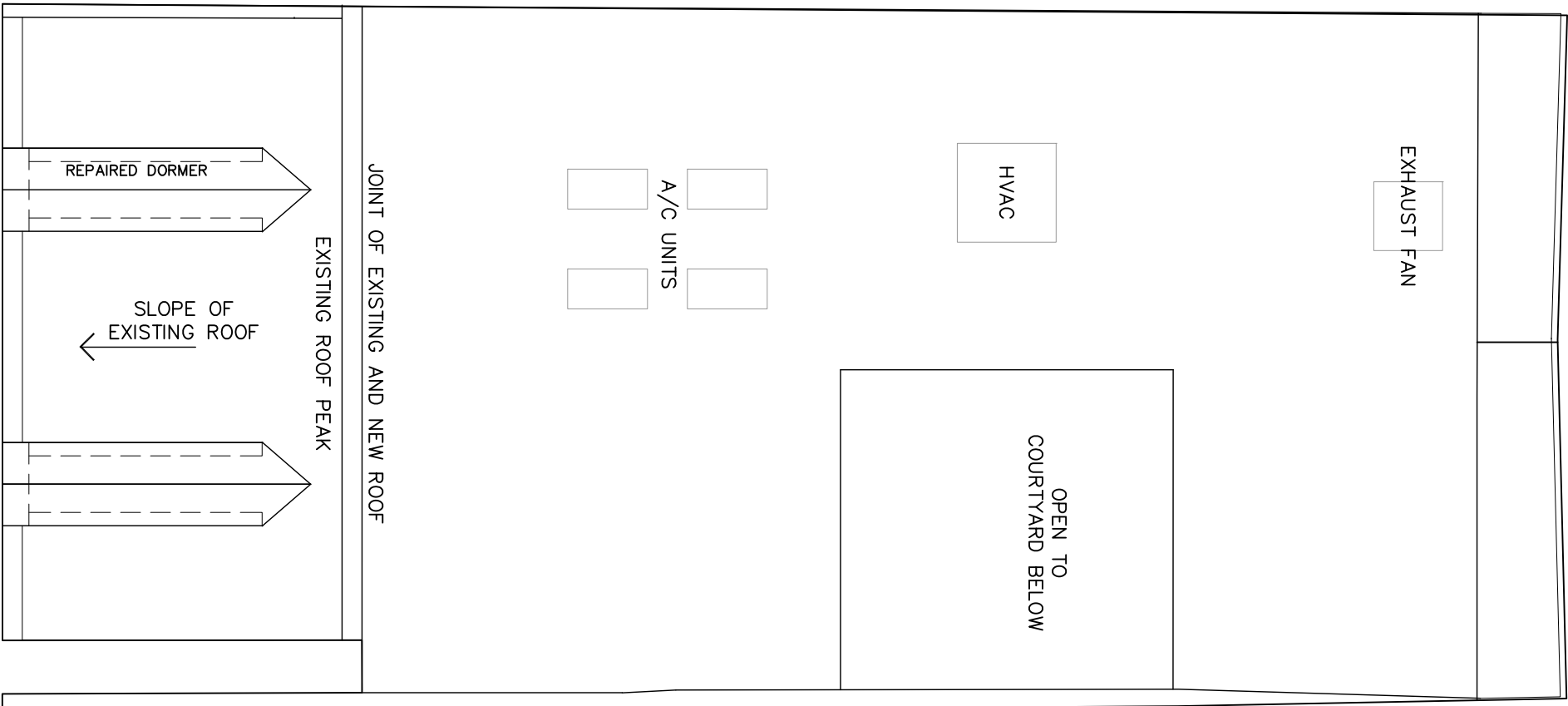


Figure 8. Map indicating where images of Figures 2, 3, 4, 5 & 7 were taken.



DO NOT SCALE DRAWINGS
CHECK AND VERIFY ALL DIMENSIONS BEFORE
PROCEEDING WITH THE WORK.
DRAWINGS NOT TO BE USED FOR CONSTRUCTION
UNLESS STAMPED AND SIGNED BY THE CONSULTANT.
THESE DRAWINGS HAVE BEEN DESIGNATED IN
CONFORMANCE WITH THE ONTARIO BUILDING CODE.

REV.	DATE	DESCRIPTION
1	2021.05.07	ISSUED FOR REVIEW
2	2021.05.13	RE-ISSUED FOR REVIEW
3	2021.05.14	RE-ISSUED FOR REVIEW
4	2021.05.17	RE-ISSUED FOR REVIEW
5	2021.05.11	RE-ISSUED FOR REVIEW
6	2021.05.03	ISSUED FOR SPA
7	2021.05.09	RE-ISSUED FOR SPA
8	2021.05.18	RE-ISSUED FOR SPA
9	2021.05.14	RE-ISSUED FOR HERITAGE

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Kingston, ON K7L 2L1
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Project:
**RENOVATION TO EXISTING
CASA DOMENICO &
APARTMENT CONVERSION**

36 BROOK STREET
KINGSTON, ONTARIO

Roof Plan with
Preliminary Mechanical

Drawn By: GW
Checked By: -
Scale: 1/8" = 1'-0"
Date: SEP 7 2021
Project No.: 1920
Revision: 9
Drawing No.: A104

*35 Brock Street ('Casa Domenico') Proposed Renovations/Addition –
Heritage Impact Statement (HIS)*



Prepared by:

André Scheinman
Heritage Preservation Consultant
07/04/20



André Scheinman Heritage Preservation Consultant



André Scheinman Heritage Preservation Consultant

**35 Brock Street ('Casa Domenico') Proposed Renovations/Addition –
Heritage Impact Statement (HIS)**

35 Brock Street is located immediately north of the Springer Market Square across Brock Street and between, King Street and Ontario Streets.

35 Brock Street is an important component of the Market Square Heritage Conservation District (MSHCD) as originally designated in 1985 under Part V of the Ontario Heritage Act (OHA). The associated Heritage Conservation District Plan (HCDP) was reviewed and updated in 2013.



Fig.1: Casa front elevation relative to 33 Brock St. and 39 Brock St.

35 Brock Street is one of the characteristic stone commercial (with residential above), side-gabled structures with fire parapets supported by stone corbels at the eaves constructed after the fire that destroyed much of the original timber framed downtown in April 1840 (Fig.1). The remarkable grouping of largely 19th and early 20th century buildings around the market square along Market Street, King Street and Brock Street, as well as the City Hall itself, can be considered the vital heritage core of the City. As an integral element within the designated HCD, directly adjacent to, and in direct association with, other essential HCD elements, as well as the City Hall/Market Square National Historic Site, any proposed alterations to the building are subject to a Heritage Impact Assessment (HIA) reported as a Heritage Impact Statement (HIS). The authority for the

HIS is derived from the Ontario Heritage Act, Section 2(d) of the Planning Act, and Section 2.6 of the Provincial Policy Statement, 2005/2014.

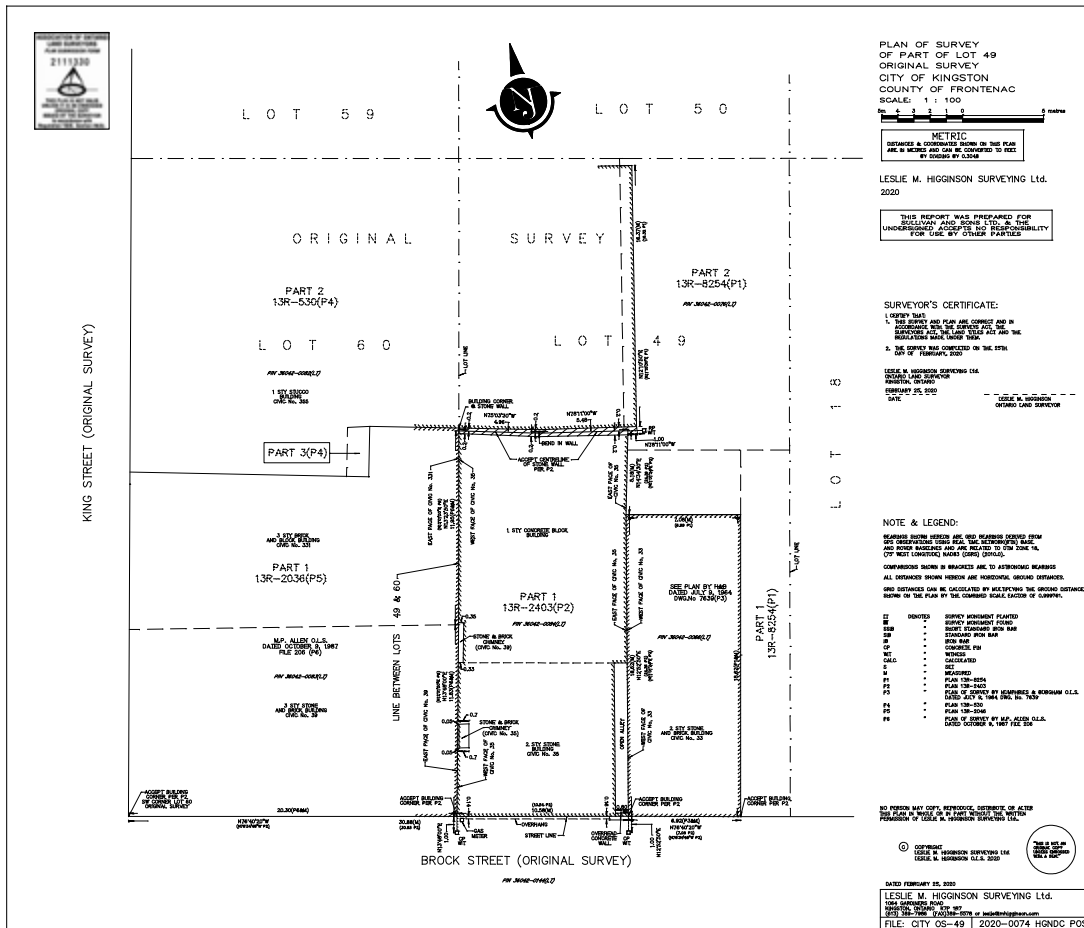


Fig.2: Current Property Survey (Lot 49)

(L.M. Higginson Survey Ltd.)

Site Context and Property Evolution

The Market Square predates its perimeter structures including City Hall by many decades having been laid out by Surveyor John Collins as a key element of the original town site in 1784. By 1801 it was functioning as the Market Square. Since that time it has been the commercial and civic heart of the City and was the obvious location for the grand City Hall with associated Market Building, constructed in 1843.

From the outset the lots along the streets laid out around the perimeter of the Market were considered of prime commercial value. By 1815 (Fig.3) a number of the town lots along Brock Street had already been built on and the 1829 Map of Proposed Fortifications for the City show the block as fully built out. However these first structures were all of timber frame and so, in the great waterfront fire of April 1840, completely destroyed. This led to the municipal requirement for all primary buildings in this area to be constructed in masonry including the extension of gable walls above the roofline as fire

parapets where buildings directly abutted and/or in close proximity. Thus was created/dictated the essential built-form of the mid-19th century commercial area – side gabled, 2 – 3 storey stone structures with roofs separated by stone parapets supported by projecting stone corbels at the eaves. Many of these structures survive, forming an important aspect of the heritage character of the City with excellent examples along Brock and, particularly, Market Streets.

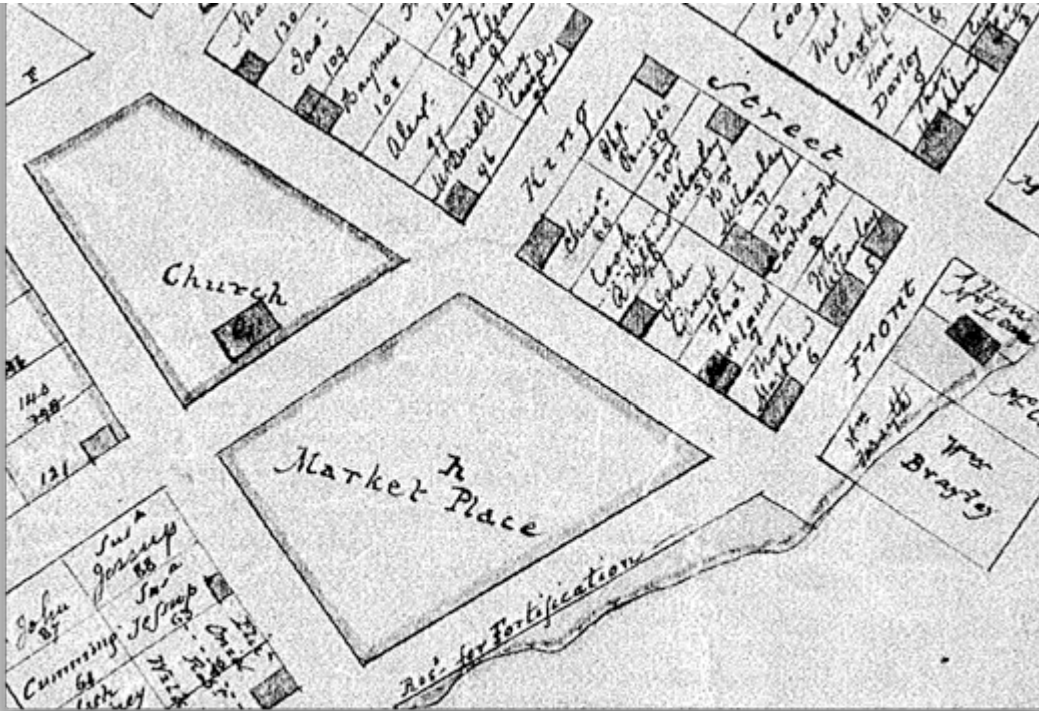


Fig.3: Detail of Block (Lot 49 not yet built), 1815.

35 Brock Street was one of the many such buildings constructed after the fire in replacement of an earlier timber framed commercial structure and is a prototypical example of the type described above. It is constructed in regularly coursed, roughly squared local limestone with a five bay second storey defined by its 5 window openings supported by stone voussoir flat arches. Two small dormers lit the garret space on the third storey. These buildings typically housed commercial enterprises at street level with residential above. Images from the early 20th century (Fig. 5) indicate that the ground storey had been designed with larger multi-paned windows typical of commercial buildings of that period under a relatively deep shopfront cornice and multi-pane (likely 6/6) sash above. Sometime between 1907 and 1948 a window was infilled in stone likely due to changes in the internal plan impacting the balance of the façade. However it appears to have remained relatively intact until well past the mid 20th century. For much of its history it had been a hotel (the Provincial Hotel for many decades) but from c.1960 it was operated as a Chinese Restaurant which involved major impacts to the façade including: cladding over the stone in angelstone and metal siding, radically changing the shape of the shopfront openings, replacing all the window sash in metal contemporary

configuration and running a large exhaust duct up the façade and above the eave. This was still the appearance of the building when pictured in the 1977 Buildings of Historical and Architectural Significance (Fig.6) and remained so until the original Casa renovation which, re-exposed and restored the stonework, created a heritage appropriate commercial front treatment and replaced the upper windows with the current heritage sympathetic 1/1 configuration.



Fig.4: Detail from Brosius Bird' Eye View, 1875. Note 39, 35, 33 Brock.

As alluded to above the actual context of the property takes in the Market Square and its full perimeter – however for practical purposes only its immediate neighbours - 33 Brock Street to the east and 39 Brock Street/327 King Street East to the west - will be described in some further detail.

33 Brock Street is a four bay example of the post-fire 2 1/2 storey stone buildings constructed in the Market perimeter and through the commercial area generally. It appears to have been built almost at the same time as 35 Brock Street and like it was a hotel/tavern through much of its history including as the Clarendon House* at the turn of the 20th century. By the turn of the 20th century a window opening at the upper storey had been infilled with stone. The dormer was altered and enlarged in 1998 and renovations to the storefront were undertaken early in this century.

39 Brock Street/327 King Street East was designed by major Kingston architect William Coverdale (Rockwood Asylum, Kingston Penitentiary) in the Italianate style. Completed in 1857 after yet another serious fire (1855*) damaged an earlier building on the site it was constructed for Mary Atkinson, widow of Lieutenant William Atkinson U.E.L.* and a major property owner in the area. Built of red brick* with paired semi-circularly arched windows on the second storey and paired flat arched windows on the third, each type with heavy moulded hoods it has as well as a bracketed cornice with low slope, parapeted



Fig. 5: 39, 35, 33 Brock Street, c.1907. Note all windows intact at 35 Brock St. (QA)

roof above. At the street level heavy, rusticated limestone columns define the shopfront bays. It was (and remains) a full expression of the Italianate style and a significant contrast in both style and material from the remainder of the Brock Street streetscape. It was intended to house prestigious shops with offices above and indeed lawyers, insurers and architects are noted in the 19th and early 20th century Business Directories as having been located at, what came to be known as, the Anchor Building. Still there was diverse occupancy including the G.A. McGowan Cigar Factory in 1890 on the 2nd storey with Thomas Farrell grocer and liquors occupying a section of the ground storey. The building remains relatively intact though there has been the loss of some subtle and vulnerable details such as the antefixes which originally extended up from the parapet.



Fig.6: Major Façade changes c.1960

(1977 BAHS)

Cultural Value

As part of the 2013 MSHCDP Statements of Cultural Value (SCV) were generated for each individual property. For the sake of consistency, and, as the 2013 MSHCP is the current 'document of record', these are either quoted (shown in *italics*) or referred to below. *However it should be noted that several errors in terms of historic fact and architectural description have been found in the 2013 material and, where necessary, these are indicated below in an attempt to 'set the record straight'.

35 Brock Street (Subject Property)

With regard to Design Value the 2013 SCV states:

“The building has design value or physical value as a representative example of commercial construction in Kingston from the early to mid-1800s.”

However its important to also note that its construction in stone and its parapeted gables are representative of the design response to the April 1840 fire and that these elements then characterized construction in the commercial core through that mid-century period.

The 2013 SCV then provides a general description of the façade (already provided in the above section) but refers to the roof as a “*shed roof.*”

With regard to Associative/Historical Value the 2013 SCV states:

“The property has historical or associative value due to its association with Henry Matheson and William and Mary Atkinson. The property was owned by Mary Atkinson. This was part of Lot 17 that had been granted to British immigrants Lt. William Atkinson and his wife Mary. From January 21, 1804, William Atkinson was one of his Majesty’s Justices of the Peace for Midland District of the Province of Upper Canada. The building was built and owned by Henry Matheson on land that was leased from Mary Atkinson. This building was constructed following the “night of fire” on April 17, 1840, which destroyed the tailor shop on this property. Matheson paid to have the new building built on the condition that Atkinson agreed to repay him the new building’s value on expiration of the lease or his death. Upon his death, his heirs were paid 350 pounds. Over the building’s life it has had many occupants, including the Clarendon Hotel in the 1880s.”

It should be noted that Lt. William Atkinson, though originally from Yorkshire, was actually a U.E.L. who had fought with the Queen’s Rangers, particularly in the southern Campaign, that being the basis of his land grants in Cataraqui. It **must be** noted that the Lot 17 granted to the Atkinsons **was not Town Lot 17** but rather Cataraqui Township Lot 17, a typical Loyalist 200 acre farm lot between the townsite and the Little Cataraqui Creek. Mrs. Atkinson did eventually come to own several of the properties on the Brock Street block however. The lot on which the building rests is actually original town lot 49.

It should also be noted that, according to the Business Directories, the Clarendon House was actually located at 33 Brock Street though 35 Brock Street was certainly a hotel for much of its history including the Provincial Hotel for many decades.

With regard to Contextual Value the 2013 SCV states:

“This building has contextual value because of its contribution to the evolved character of the Market Square district. This building is typical of early to mid-19th century commercial architecture in Kingston.”

In delineating the Heritage Attributes of the building the 2013 SCV lists:

- » *Rubble-stone façade divided into five bays;*
- » *Second-floor window openings with a flat-headed segmented arch and stone sill; and*
- » *Shed roof with sidewall parapets and two gable-style dormers*

Again there is the reference to “Shed roof” rather than a side gabled roof. Perhaps it is possible that the author wished to emphasize the importance of the Market Square facing slope of the roof.

33 Brock Street

Design Value (condensed):

“The building has design value or physical value as a representative example of commercial construction in Kingston from the early to mid-1800s.....”

Associative/Historical Value:

“The property has historical or associative value related to Thomas Bamford (1795-1848). Bamford was the Steam Boat Hotel’s owner and a local wine merchant. The hotel catered to travellers on steamboats along the Great Lakes and St. Lawrence River. This building replaced the previous Steam Boat Hotel which was destroyed on “the night of fire” on April 17, 1840. This fire destroyed many of the wood buildings in and around Market Square. “

Contextual Value:

“This building has contextual value because of its contribution to the evolved character of the Market Square district. This building is typical of early-to-mid 19th-century commercial architecture in Kingston.”

Heritage Attributes:

- » *Rubble-stone façade;*
- » *Second-floor window openings with a flat arch and stone sill; and*
- » *Shed-roof profile with sidewall parapets.*

39 Brock Street/327 King Street East

Design Value:

“The building has design value or physical value as a fine and unique example of commercial block construction in Kingston. Completed in 1857, this building was designed in the brick Italianate style, a revivalist style influenced by Italian Renaissance architecture. Typical of this style, this building features flat-faced façades, regular rows of arched windows with decorative window heads of a different style on each level, and a heavy roof cornice with a parapet above. At the ground floor the façade has a rusticated stone treatment, full-height storefront windows and an ornate cornice. The building was clad in white brick to contrast with the limestone buildings on the opposite side of the Market Square. The building was so impressive that it led to two commissions in similar styles on King Street, one on the opposite corner of King Street East and the other at the Bank of Montreal site, both have since been demolished.”

It is important to recognize that the building is actually constructed of **red brick** (not “white”) and painted the current whitish colour in relatively recent times.

Associative/Historical Value: (condensed)

“The building has historical or associative value as an example of the work of carpenter, master builder and architect William Coverdale (1801–1865).”

“The building also has historical or associative value because of its association with Mary Atkinson. This property, part of Lot 17, had been granted to British immigrants Lt. William Atkinson and his wife Mary. Coverdale designed this building of shops and offices for property owner Mary Atkinson. This replaced earlier buildings on this site. One was damaged by fire in 1840 and then destroyed later that year on “the night of fire” on April 17th. The current building was completed in April 1857, and the building’s namesake, Anchor Insurance, moved into the ground floor.”

Note: See 35 Brock Street for discussion of Atkinsons and Lot 17.

Note: According to McKendry the fire which led to the rebuilding, as extant, was in 1855.

Contextual Value:

“The building has contextual value because of its contribution to the evolved character of the Market Square District. This building is the only remaining example of one the few Italianate commercial block buildings that once overlooked Springer Market Square.”

Heritage Attributes:

- “» *Brick and stone façades divided into ten bays on Brock Street and six bays on King Street East. The window openings on Brock Street are equally spaced across the façade, whereas those of the King Street East façade are in pairs;*
- » *At the ground floor level, glazed storefront opening separated by ashlar-faced stone columns and a simple metal cornice;*
- » *Decorative masonry work on the upper floors, including brick quoined corners, horizontal stone banding (window sills), brick roof parapet divided into bays and articulated by recessed rectangular panels;*
- » *Second-floor round-headed window openings with wood-sash windows, a semicircular arched glazing pattern in the upper light and a stone arch springing from the top of a brick spandrel, with a recessed rectangular panel between the windows;*
- » *Third-floor flat-headed windows, including wood sash windows with a semi-circular arched glazing pattern in the upper light, a continuous stone sill with corbelled brick below and decorative window hoods supported by acanthus leaf brackets on either side of the window; and*
- » *The decorative metal roof cornice with deep roof overhang and dentils.”*

The Proposed Project (see Drawings appended)

The currently proposed project involves:

- the restoration of the façade, stone chimneys/parapets, dormers and renewal of roofing;
- interior renovations to improve restaurant functionality;
- interior and exterior renovations (at the rear) to allow for quality residential occupancy.

Restoration

All exterior limestone will be repointed in an appropriate lime-based mortar. The stone chimneys, parapets and corbels will be repaired as required with any replacement of units undertaken in matching stone.

The infilled 2nd storey window opening will be reopened and receive the same window treatment as the adjacent openings. The front dormers, now seriously decayed (Fig.7), will be rebuilt exactly matching the original form (gable etc.) and scale of the existing. The windows, including shopfront’ units will be upgraded, but all to an appropriate heritage configuration with muntins that provide the relief and shadow lines typical of the original 19th century sash. (Please be reminded that the existing sash is of recent origin – mid-1980’s or later.)

The front (south) slope of the side-gable will receive structural repairs but, having found that the original timber roof structure, consisting of reciprocally sawn rafters, edge lapped and pegged at the peak, still remains in place this will consist of ‘sistering’ and

replacement only of decayed members or parts thereof. The existing roof will be retained past the peak (preserving the pegged connection) and down the south elevation to the point where the proposed new low slope roof extends. (see below)

The stonewall (shared with 39 Brock Steer/327 King Street E.) which extends along the west side of the property to the rear will also be retained.



Fig.7: Serious decay and attempted past repairs at dormer. Note fungi at left.



Fig.8: Rafter couples pegged at peak

Renovations/Addition

The objective of this program is to improve the functionality of the restaurant and allow high quality residential occupation at the upper storeys. To that end the existing quasi-crawl space below the main building will be lowered within the existing stone foundation to provide viable ceiling height allowing the relocation of washrooms and the banquet room to that area and providing some additional kitchen 'prep' space.

Interior floor levels at the upper storeys will be reworked and the ceiling height over much of the third storey increased to provide required floor to ceiling heights in these reconfigured spaces integrated with a new addition to the north, replacing the block/slab on grade service addition built. (The stonewall, shared with 39 Brock Street/327 King Street E. which extends along the west boundary of the property to the rear will also be retained however.)

The addition will allow an updating of the restaurant kitchen area on the main floor as well as the creation of four high quality residential units above, each unit occupying two storeys with main living space on the 2nd storey and bedrooms on the third. To achieve the third storey height required the rear pitch of the original gable will require modification to a low slope form, but north of the peak in order to maintain the original pegged rafter couple connection.

Potential Heritage Impacts

In discussing potential heritage impacts within the MSHCD the most important consideration is whether the proposed project affects the heritage appearance of the building and its associated perimeter block as viewed from the Market Square. With regard to the program of work at 35 Brock Street (Casa), this affect will only be positive. While the conservation of existing stonework (including chimneys and parapets), the improvement of heritage appropriate windows and the repair and re-roofing of the front (south) slope of the building are important aspects of this – the most significant single improvement will be the re-opening of the long infilled second storey window opening. This will restore the five bay rhythm of the original design and greatly improve the heritage appearance of the building.

In reviewing the potential impacts of the project based on the Heritage Attributes of the Building as delineated in the HCDP SCV and quoted above *the rubble stone façade* and *the 2nd storey window openings* will be carefully conserved as will the *side-wall parapets*. It is assumed that the roof is described as a *shed roof* in that document to emphasize the importance of the front slope and, despite the deformation and settlement, the historic roof structure will be retained with structural stabilization accomplished through 'sistering' and removal of decayed sections and scarfing in of sound material with any replacement kept to a minimum. The *two gable-style dormers*, seriously decayed (Fig.7) will require removal, but will be replicated as apart of the project. The loss here of original heritage fabric is a negative impact but necessary in this situation.

Otherwise any ‘negative’ heritage impacts are confined to the rear (north) pitch of the roof and the rear wall of the main building, neither publicly visible, nor listed as heritage attributes. As noted earlier, the project program requires that there be greater headroom than currently available at the third storey entailing the modification of the back slope of the existing gable roof. The intention is to have this occur several feet past the peak in order to preserve the original pegged peak connection and a true sense of the gable. However unless the roof renovation is carefully designed there could be a negative impact on the existing stone parapet along this back slope where the new sidewall extends past it (see Mitigation).

The rear wall of the main block has already been severely impacted, completely removed at the main floor level during the original c.1960’s restaurant expansion northward with the upper floors carried on a steel beam. There will be some additional loss of fabric at the third floor level associated with the apartment layout and roof/ceiling modification. However sections of the original rear stonewall will be retained and ‘featured’ within the interior of the new residential units at the 2nd floor level.

As noted earlier a key aspect of the project is the excavation of usable area under the restaurant and new addition. With regard to the former this is proposed to occur within the existing stone foundation walls. That being the case careful design and implementation will be required to ensure that there is no issue of undermining and/or causing settlement at the existing foundation. Of course the design engineer is well aware of these concerns.

Potential Impacts to Adjacent Heritage Properties

There are no direct impacts to either 33 Brock Street or 39 Brock Street/327 King Street East. There are no façade alterations to 35 Brock Street that will, in any way, detract or obscure any aspect of the adjacent facades but rather the improvements described above should enhance the block and the Market Square perimeter in general.

However, given the proximity of each building it is important that in the course of construction comprehensive measures are taken to protect the adjacent structures to ensure that there are no unintended negative impacts. This concern extends as well to the proposed excavation work and ensuring there are no implications to the adjacent structures.

Mitigation of Potential Heritage Impacts

As noted in the preceding section there are no negative impacts to the heritage attributes of the building as delineated in the SCV nor to the heritage appearance of the building as viewed from the Market Square. However there are proposed alterations to the building which should involve the **documentation** of the existing condition prior to any demolition taking place. Such elements would include:

- *the existing dormers.* Though they will be replicated there should be a record of their existing appearance and construction.
- *existing roof structure.* While the front slope of the gable will be retained the rear slope will be largely modified. The intact original structure should be recorded prior to dismantling
- *vestiges of rear stone wall.* Any existing vestiges of the rear stone wall which will be removed as part of the project should be recorded.
- *stonework intended for dismantling and rebuilding.* This process should be preceded by accurate recording to guide rebuilding.
- *existing rear addition.* While not considered of heritage value there still should be some basic photographic documentation of this element.

Mitigation Measures

The project already incorporates several important mitigation measures including:

- working with the original roof structure of the front slope of the gable to ensure the historic timber arrangement is retained including the pegged rafter couple peak treatment;
- retaining as much of the rear stone wall as possible to preserve a sense of the original volume of the building;
- rebuilding the front dormers to their original, relatively small scale, as most appropriate from the heritage and aesthetic perspective.

Other areas where mitigation, in the form of careful design, will be important:

- ensuring that the parapet walls along the rear gable slope are very carefully and comprehensively flashed where the proposed new side wall extends above it.
- ensuring that the heritage fabric of the adjacent buildings are carefully protected during construction.
- ensuring that excavation and new foundation/basement construction does not undermine and/or create settlement problems at the shallower existing foundation and/ or as regards adjacent structures.

Archaeological Considerations

Though it is likely that the soils in the area of proposed excavation for the deepening of the Casa basement and the foundation for the new addition have been disturbed, still, the early date of original building at this site and the proximity to water – indicating the real possibility of pre-European use/occupation, make it important that the appropriate archaeological protocol as set out by the City is carefully followed.

**The Standards and Guidelines for the Conservation of Historic Places in Canada
(hereafter ‘Standards’)**

Viewed through the lens of the ‘Standards’ the project treatment is one of **Rehabilitation**. As defined in the ‘Standards’:

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value. Rehabilitation can include replacing missing historic features. The replacement may be an accurate replica of the missing feature or it may be a new design compatible with the style, era and character of the historic place. In the context of archaeological sites, Rehabilitation allows their compatible use through actions aimed at communicating and conveying their heritage value.

Consider Rehabilitation as the primary treatment when: (a) Repair or replacement of deteriorated features is necessary; (b) Alterations or additions to the historic place are planned for a new or continued use; and, (c) Depiction during a particular period in its history is not appropriate. Rehabilitation can revitalize historical relationships and settings and is therefore more appropriate when heritage values related to the context of the historic place dominate.

The paragraph quoted directly above provides a good description/rationale for this project. There are 13 Standards applied to the Rehabilitation approach, 9 of which are considered essential for dealing with all heritage projects and 3 additional standards related specifically to Rehabilitation.

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character defining elements. Do not move a part of an historic place if its current location is a character-defining element.

‘Casa’ project conserves heritage value, preserves intact heritage attributes (character-defining elements) and only rebuilds the existing dormers due to their level of structural decay.

2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.

N/A for this project.

3. Conserve heritage value by adopting an approach calling for minimal intervention.

‘Casa’ project involves a minimum intervention approach in dealing with its heritage attributes .

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

Proposed Program consists of careful conservation, restoration and contemporary design with no intent to create ‘false history’.

5. Find a use for an historic place that requires minimal or no change to its character-defining elements.

The character-defining elements will only undergo the minimum change required by existing condition – front slope of roof and dormers.

6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information

Stabilization is N/A in this situation. Archaeological protocols will be followed.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

See above.

8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes

‘Casa’ project involves the maintenance of heritage masonry (repointing etc.) and will retain the historic roof structure of the front slope using conservation methodology supplemented with additional structural members only as required. The dormer rebuild will be based very closely on the existing dormers.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

The rebuilding of the dormers, while appearing to be an exact match when viewed from the Market Square, would be, if viewed closely, discernible as a recent intervention. The process of dismantling and rebuilding will be documented.

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place

As noted above the dormer rebuilding will closely match that of the deteriorated existing dormers. The upper storey and dormer window sash will be compatible with the character of the building as will the 'shopfront'.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

The heritage character and attributes of the property will be conserved and not denigrated by the proposed renovations/additions which will not be publicly visible nor involve the heritage attributes, as defined in the SCV.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

The essential form and integrity of the heritage building relative to the stone façade, sidewalls with parapets, and stone chimneys will remain fully intact. Much of the rear stonewall was lost in the c.1960's restaurant expansion but elements of that wall will be retained in this project to continue to define the original volume. The original roof structure of the front slope continuing beyond the peak will be retained so that, if there was a desire to remove the new additions in the future the original form could be readily replicated.

Conclusion

As considered above, this project, the proposed renovation and addition to 35 Brock Street are a good example of a **Rehabilitation** approach to a heritage commercial property as defined in the 'Standards'.

From the standpoint of the MSHCDP, the key aspect is the view of the building and the block from Market Square and, with the proposed conservation of the stonework, opening up of the long infilled upper storey window and period appropriate windows, this will only be enhanced. Furthermore the heritage attributes, as defined in the MSHCDP, will be conserved, or replicated in the case of the decayed dormers. There are no discernible negative impacts on the neighbouring heritage properties with regard to the design and assuming appropriate care is undertaken during construction.

The changes to the non-publicly visible rear of the building are substantial but aspects of the rear stone wall will remain in place and the renovations/addition will allow for the introduction of high quality residential to the property which is important for the ongoing financial viability of the property and is consistent with the City's objectives for subtle densification of the historic core.

Once again, for those assessing the proposed renovations to ‘Casa’ it is important to remember that the current, generally heritage-appropriate appearance of the façade is due to the work undertaken by the family of the current owner.

André Scheinman 06/04/20

André Scheinman is a heritage preservation consultant with over 40 years of professional experience in assessing, planning and preserving heritage sites. An APTI and ICOMOS member since 1978 he has been a member of CAPH since its inception and in 2016 was the recipient of the CAHP Lifetime Achievement Award. Current projects include: the East Block, Parliament Hill; the Offices of the Prime Minister and Privy Council, Wellington Street, Ottawa; the Supreme Court of Canada Building, Ottawa and Yeo Hall, RMC, Kingston.

List of Sources*

Market Square Heritage Conservation District Plan (June 2013)
Kingston Buildings of Architectural and Historical Significance (BAHSBlue Book), 1977
The Standards and Guidelines for the Conservation of Historic Buildings (rev.2014)
Ontario Heritage ‘Tool kit’
With Our Past Before Us, McKendry
Building on the Past, Osbourne/Swainson
Heritage Kingston, Douglas/Stewart
Ontario’s History in Maps, Gentilcore/Head
Kingston Business Directories 1855-1923 (digitized)
U.E.L. Lists Resettlement at Cataraqui (digitized)

Maps

Collins’ Survey, Kingston Township, 1783
Chewett/Ridout, Plan of Kingston, 1815
Plan of Kingston Fortifications 1829
Burrows/Tazewell, Plan of Kingston, 1838
‘Gibbs’ Map 1850
‘Innes’ Map 1865
‘Brosius’ Bird’s Eye Map, 1875
‘Goad’s’ Fire Insurance Map, 1908
‘Goad’ Fire Insurance Map, 1924
Airphoto City of Kingston, 1953
*Full academic reference available on request

Appended Project Drawings: Alexander Wilson Architect

All current photos by André Scheinman

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Research, Historic Structures Investigations, Condition Reports, Feasibility Studies, As Found Recording, Concept Plans, Restoration Plans, Drawings and Specifications, Site Review, Education, Cultural Heritage Landscapes

4 **STATEMENT OF CULTURAL HERITAGE VALUE FOR MARKET SQUARE HERITAGE CONSERVATION DISTRICT**

The following Statement of Cultural Heritage Value is based on the Statement of Significance for the District on the *Historic Places in Canada* website:

DESCRIPTION OF THE DISTRICT

The City of Kingston's Market Square Heritage Conservation District forms a trapezoid in the heart of downtown Kingston. The District is bounded on three sides by a diverse yet harmonious ensemble of commercial and institutional properties dating from the early 19th century, located on an historic grid of streets including King, Clarence, Market, Ontario and Brock Streets. The centre of the District is the site of the historic marketplace, dating from 1801. Kingston's City Hall – a National Historic Site (built 1844, rebuilt 1865-66 and 1909) – occupies most of the eastern District boundary along Ontario Street.

STATEMENT OF CULTURAL HERITAGE VALUE

Springer Market Square and the properties surrounding it were designated by the City of Kingston as a Heritage Conservation District for their design, historical and contextual value. The built environment of the District shows the continuous process of evolution that has occurred, while maintaining a sense of harmony and cohesion. The ensemble of exceptional individual properties, which includes representative examples of a range of Kingston architectural styles and types, vividly demonstrates nearly two centuries of social, economic and political change and development in the city. Springer Market Square itself plays a vital role in establishing the context of City Hall, a property of great architectural and historical significance and one of Kingston's most prominent landmarks.

The original marketplace was laid out by surveyor John Collins in 1801, thus establishing the area as the commercial heart of the city. It subsequently provided a natural location for the building that originally combined Kingston's City Hall and market house. Built in 1843-44, City Hall included a wing extending west to King Street to accommodate the market "shambles". The market wing, destroyed by fire in 1865, was rebuilt to part of its original size. The last market tenants in the

building moved out in the early 20th century and were replaced by police and other city employees. An open-air market continues to operate on the site of the original “shambles”.

Springer Market Square is associated with many people and events of great significance to the history of both Kingston and Canada. It was the site of many significant military events. The Square was shelled by Col. John Bradstreet’s British troops during the battle of Fort Frontenac in 1758. A military blockhouse was located onsite during the War of 1812. The area also served as the assembly ground for troops going to fight in the Northwest Rebellion, the Boer Wars and the First and Second World Wars.

Many significant political events took place at Springer Market Square, such as the proclamation of Upper Canada as a separate jurisdiction by Governor John Graves Simcoe in 1792, the proclamation and celebration of Confederation on July 1, 1867 and the funeral procession of Sir John A. Macdonald in 1891. More recently, this was the site of the visit of Queen Elizabeth II in 1973.

Springer Market Square contains significant archaeological resources, is a provincially registered archaeological site, and the area directly behind City Hall was the site of a public archaeological excavation project in 2004.

Springer Market Square, the surrounding sidewalks, street pattern and properties remain an active part of Kingston’s downtown core and continue to accommodate many of the market, civic, commercial and residential uses that have existed there for more than two centuries.

Sources: City of Kingston Bylaw 84-172; *The Market Square, Kingston: A Heritage Conservation District Study*, by Lily Inglis and Dr. Harold Kalman, 1978.

DESCRIPTION OF HERITAGE ATTRIBUTES

- » City Hall and Springer Market Square as key focal points and landmarks;
- » Protected view planes to and from City Hall, its dome, cupola and clock tower, which are dominant features and focal points within this setting and protected views along Brock and Clarence Streets to the water;
- » The long-standing open-air market and civic gathering place;
- » The cohesive, consistent scale and massing of the commercial buildings;

- » The two, three and four-storey heights of the commercial buildings;
- » The regular fenestration patterns of the commercial buildings;
- » Evidence of evolution of the architecture in the Square over time through shifts in style and changes in dominant building material - from stone, to brick, to more contemporary materials;
- » Features, qualities, materials and detailing characteristic of the architectural styles found in the District, including 19th-century Neoclassicism (limestone), Italianate (brick), late 19th-century commercial styles (brick), and the early 20th-century Classical revival;
- » The historic pattern of ground-floor commercial and upper floor office and residential uses;
- » The key corner locations of several financial institutions housed in prominent buildings; and
- » The spatial relationship of all buildings in the District to each other and to the open space in the Springer Market Square.



2. 1867 gathering in the Market to hear the proclamation of the Confederation on July 1, 1867 (*Chronology of Kingston City Hall*).



Matheson Atkinson Building

Date of Construction: 1840-41

Architect: unknown

71. 35 Brock Street,
2012. (ERA Architects
Inc.)

7.12 35 Brock Street

Description of Property

The building at 35 Brock Street is a 2 and 1/2-storey commercial building in Kingston's historic downtown. The building forms part of the Market Square Heritage Conservation District.

Windows in the front dormers were replaced in 2000 and a patio was added in 2007.

Statement of Cultural Heritage Value or Interest

The building has **design value or physical value** as a representative example of commercial construction in Kingston from the early to mid-1800s. Constructed sometime between 1840 and 1841, the 2 and 1/2-storey limestone building is organized into five equal bays. The ground floor storefront originally displayed several full height openings for storefront(s) and to provide access to living quarters above. This original configuration has been altered. The second floor featured 5 window openings with sash windows; one of the openings now displays a recessed stone panel instead of a window. The shed roof has 2 small dormers, side wall parapets and a stone chimney at the peak of the each gable.

The property has **historical or associative value** due to its association with Henry Matheson and William and Mary Atkinson. The property was owned by Mary Atkinson. This was part of Lot 17 that had been granted to British immigrants Lt. William Atkinson and his wife Mary. From January 21, 1804, William Atkinson was one of his Majesty's Justices of the Peace for Midland District of the Province of Upper Canada. The building was built and owned by Henry Matheson on land that was leased from Mary Atkinson. This building was constructed following the "night of fire" on April 17, 1840, which destroyed the tailor shop on this property. Matheson paid to have the new building built on the condition that Atkinson agreed to repay him the new building's value on expiration of the lease or his death. Upon his death, his heirs were paid 350 pounds. Over the building's life it has had many occupants, including the Claredon Hotel in the 1880s.

This building has **contextual value** because of its contribution to the evolved character of the Market Square district. This building is typical of early to mid-19th century commercial architecture in Kingston.

Description of Heritage Attributes

Key exterior attributes that embody the heritage value of 35 Brock Street and contribute to the heritage character of the Market Square Heritage Conservation District include:

- » Rubble-stone façade divided into five bays;
- » Second-floor window openings with a flat-headed segmented arch and stone sill; and
- » Shed roof with sidewall parapets and two gable-style dormers.

Heritage Kingston

Summary of Input from Technical Review Process

P18-045-2021

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Bridget Doherty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Councilor Gary Oosterhof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Banfield	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Mitchell	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Moya Dumville	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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TTY: Dial 613-546-4889

Date:	September 20, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Alteration and/or repair
File Number:	P18-045-2021
Property Address:	35 BROCK ST

Description of Proposal:

The subject property at 35 Brock Street is located on the north side of Brock Street within the Market Square Heritage Conservation District. The property contains a two-and-a-half storey limestone building, constructed circa 1840 and designated under Part V of the Ontario Heritage Act in 1985. The applicants are seeking approval to demolish the existing rear addition and a portion of the rear half of the original stone building and to construct a new three-storey rear addition. Additionally, the applicants propose the repair and restoration of the front elevation of the building which includes: the replacement of all windows and doors facing Market Square, the re-opening of the currently blind second floor window, the like-for-like replacement of the two gable dormers, the repair of and like-for-like replacement as needed of masonry elements, the repair and re-painting of wooden elements, new retractable awnings and a new hanging wood sign. The applicants have provided concept plans by Alexander Wilson Architects and a Heritage Impact Statement by Andre Scheinman.

Comments for Consideration on the Application:

I have no major concerns with this proposal as long as all of the like-for-like proposals are carried out, and that the Heritage District guidelines are all followed.

Recommended Conditions for the Application:

{Please enter your recommended conditions here}



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	September 18, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	Alteration and/or repair
File Number:	P18-045-2021
Property Address:	35 BROCK ST

Description of Proposal:

The subject property at 274 Johnson Street is located on the south side of Johnson Street, between Barrie and Clergy Streets, in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. The applicant is seeking heritage approval to renovate the existing stone outbuilding/garage to the rear of the property facing a laneway that connects Clergy and Barrie Streets. The proposal includes widening the existing garage door opening, repairing and replacing the wood frame section of wall on the second floor, and the installation of three new windows and a new garage door on the south elevation. No changes are proposed to the north and east elevation. The west elevation of the garage directly abuts a neighbouring outbuilding.

Comments for Consideration on the Application:

I am generally satisfied with the overview and plans submitted and with the responses to questions raised by staff. A few comments: It is indeed desirable to have the rear roof stepped down from the ridge even if only by inches. The cladding for the rear addition is important. Metal siding with a grey matte finish could be acceptable, as would cement board. The possibility of brick veneer as used on the front of the Mayla building around the corner on King St is interesting and could be considered. Stucco would be quite acceptable. I couldn't find information on what was intended to cover the unsightly concrete surface on the infill wall between 35 and 33 Brock. This should be provided. Perhaps a stucco finish is the best that can be done.



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

Date:	September 21, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	Alteration and/or repair
File Number:	P18-045-2021
Property Address:	35 BROCK ST

Description of Proposal:

The subject property at 274 Johnson Street is located on the south side of Johnson Street, between Barrie and Clergy Streets, in the Old Sydenham Heritage Conservation District. The property is designated under both Parts IV and V of the Ontario Heritage Act. The applicant is seeking heritage approval to renovate the existing stone outbuilding/garage to the rear of the property facing a laneway that connects Clergy and Barrie Streets. The proposal includes widening the existing garage door opening, repairing and replacing the wood frame section of wall on the second floor, and the installation of three new windows and a new garage door on the south elevation. No changes are proposed to the north and east elevation. The west elevation of the garage directly abuts a neighbouring outbuilding.

Comments for Consideration on the Application:

In general the plans for the rehabilitation of this property are acceptable and will serve to preserve and upgrade its presence on Market Square. The symmetry of the Brock Street façade will be enhanced by the opening of the second storey window. It appears from the plans that the main floor windows are being replaced in the existing openings but if any alterations to this storefront were to be undertaken a return to the former iteration of openings as evidenced in the 1907 photo should be considered. Because portions of the addition can be seen, albeit from a parking lot, it is still important to follow best practice and keep the rear roof stepped down from the original. Cladding for the rear portion of the addition could be a subtle but complimentary matte coloured metal, stucco, or cement board.

Summary of Final Comments at October 20, 2021 Heritage Kingston Meeting

Mr. Mitchell commented on the visibility of mechanical equipment located on the roof suggesting that it be placed so as not to disrupt the roofline from street level and Market Square proposing that the dormers be used to obscure the mechanics if required. He highlighted the potential for adverse noise impacts to the neighbours with the mechanical equipment being located on a flat roof. Lastly, Mr. Mitchell noted the importance of documenting the pegged roof construction prior to demolition.

Mr. Taylor commented that the applicant should consider a brighter heritage colour other than gunmetal grey for the window surrounds on the ground floor to attract the eye of the public into the restaurant.



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-046**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Jennifer Campbell, Director, Heritage Services
Date of Meeting: October 20, 2021
Subject: Application for Heritage Permit
Address: 214 Green Bay Road (P18-604)
File Number: File Number P18-047-2021

Council Strategic Plan Alignment:

Theme: Policies & by-laws

Goal: See above

Executive Summary:

The subject property municipally addressed as 214 Green Bay Road is the one of the first addressed properties on Green Bay Road, is located on the southeast side of Green Bay Road, is opposite the Barriefield Parket, and is currently vacant of buildings. The property is designated under Part V of the *Ontario Heritage Act*.

An application for alterations under Section 42 of the *Ontario Heritage Act* (File Number P18-047-2021) has been submitted to request approval to amend a previous heritage approval (File Number [P18-071-2019](#)) to capture proposed changes to the detached garage and principal building plans. The lot is still vacant of buildings. The following aspects are the proposed changes to these previously approved plans:

The main building changes include: (1) moving the window previously located above the centre of the peaked roof to the side(s) of the first storey peaked roof as noted on the north & south elevations, (2) to add an additional window to the second floor north elevation, (3) a slight window size reduction along on the south elevation, (4) adding stairs to both sides of the front

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yard wrap around porch, (5) adding approximately 2 feet of depth to the front porch, (6) adding stairs to the rear building alcove along the east elevation, and (7) changing the proposed roof material from metal to asphalt shingles.

The detached garage changes include: (1) increasing the dormer massing by increasing its width for the garage roof along the south and north elevation, (2) changing the orientation of the exterior stairs, (3) changing the second-floor entrance door design, (4) removing the east elevation ground floor window, (5) removing the ground floor windows and replacing them with a ground floor door as noted on the north elevation, (6) slight redesign of the garage door, and (7) changing the proposed roof material from metal to asphalt shingles.

This application was deemed complete on August 16, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 14, 2021.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations to the property at 214 Green Bay Road, be approved in accordance with details described in the application (File Number P18-047-2021), which was deemed completed on August 16, 2021 with said alterations to include the following changes to the previously approved Permit (File Number [P18-071-2019](#)):

1. Construction of a two-storey, five bay single-detached dwelling with flanking one-storey wings and a one-storey covered porch. The dwelling is to have a pitched roof and is to be clad in wood clapboard siding;
2. Construction of a one-and-a-half-storey detached garage, clad in wood clapboard siding with gable dormers;
3. The following changes to the previously approved permit for the Main Building are to include:
 - a. Changes to fenestration of windows by moving the window previously located above the centre of the peaked roof to the side(s) of the first storey peaked roof, as noted on the south and north elevations;
 - b. Adding an additional window to that second-floor north elevation;
 - c. Reduction in size of a window along the south elevation;
 - d. Adding stairs to both sides of the front yard wrap around porch;
 - e. Adding approximately 2 feet of depth to the front porch;
 - f. Adding stairs to the rear building alcove along the east elevation; and
 - g. Changes to the proposed roof material from metal to asphalt shingles;
4. The following changes to the previously approved permit for the Detached Garage are to include:

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- a. Increasing the dormer massing by increasing its width for the garage roof along the south and north elevations;
- b. Changing the orientation of the exterior stairs;
- c. Changing the south-floor entrance door design;
- d. Removing the east elevation ground floor window;
- e. Removing the ground floor windows and replacing them with a single ground floor door as noted on the north elevation;
- f. Slightly changing the design of the garage door; and
- g. Changing the proposed roof material from metal to asphalt shingles; and

That the approval of the alterations be subject to the following conditions:

1. The proposed works are required to be undertaken in accordance with the Village of Barriefield Heritage Conservation District Plan;
2. The applicant demonstrate to the satisfaction of Heritage Planning Staff that the peak of the roof of the new dwelling is no taller than the peak of the roof of the adjacent heritage building at 218 Green Bay Road;
3. A Building Permit shall be obtained;
4. The construction plans, submitted as part of the Building Permit application, shall confirm the use of wooden railings and decking on the main house and gable roofed dormers on the garage;
5. All necessary permits from the Cataraqui Region Conservation Authority shall be obtained and followed;
6. All *Planning Act* applications, including Site Plan Control approval, as necessary, shall be completed;
7. The applicant shall ensure utility locates are completed before any excavation;
8. The detached garage may be located further east of its proposed location (away from the road), provided it is in compliance with all zoning and CRCA permit requirements;
9. Details related to the colour(s) of the new siding, trim, and roofing shall be submitted to Heritage Planning Staff, prior to installation, for review and approval to ensure it complements the heritage character and attributes of the District;
10. Drawings and specifications submitted as part of the Building Permit process be provided to Heritage Planning Staff for review to ensure consistency with the Heritage Permit and the Barriefield Heritage Conservation District Plan; and
11. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Heritage Services (or their designate) for review and approval.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Craig Desjardins, Acting Commissioner, Corporate Services	Not required
Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Transportation & Public Works	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required

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Options/Discussion:**Description of Application/Background**

The subject property is located at 214 Green Bay Road (Exhibit A). The property is one of the first addressed properties on Green Bay Road, is located on the southeast side of Green Bay Road, is opposite the Barriefield Parket, and is currently vacant of buildings. The property is designated under Part V of the *Ontario Heritage Act* through By-Law Number 2016-173 as part of the Village of Barriefield Heritage Conservation District Plan.

This property has received multiple approvals and is in the process of finalizing others that are relevant to this application. The property has received two previous heritage approvals, the first (File Number [P18-091-2016](#)) was sought under a previous owner and a second (File Number [P18-071-2019](#)) was pursued by the current owners. In addition, a previous owner, has received two permissions via *Planning Act* approvals in the form of a minor variance (File Number [D13-012-2017](#)) to allow the detached garage (without an associated Second Residential Unit) to have a maximum height of 6.6 metres and another minor variance to allow the maximum height of the main building to be 9.61 metres (File Number [D13-034-2016](#)). Finally, the applicant is nearing the completion of a required Site Plan Control application (File Number [D11-012-2017](#)) and is awaiting heritage approval of this application's revised plans before the agreement is able to proceed further. For simplicities sake, the forthcoming analysis of the subject application will only focus on the changes from the previous heritage approval (P18-071-2019).

An application for erection under Section 42 of the *Ontario Heritage Act* (File Number P18-047-2021) has been submitted to request approval to permit changes to the previously approved plans as detailed in file number: File Number [P18-071-2019](#). These plans are similar to those plans associated with P18-071-2021, with the below notable differences:

The main building changes include: (1) moving the window previously located above the centre of the peaked roof to the side(s) of the first storey peaked roof as noted on the north & south elevations, (2) to add an additional window to the second floor north elevation, (3) a slight window size reduction along on the south elevation, (4) adding stairs to both sides of the front yard wrap around porch, (5) adding approximately 2 feet of depth to the front porch, (6) adding stairs to the rear building alcove along the east elevation, and (7) changing the proposed roof material from metal to asphalt shingles. See Exhibit B for the principal building plans, where the red circled items denote said change(s).

The detached garage changes include: (1) increasing the dormer massing by increasing its width for the garage roof along the south and north elevation, (2) changing the orientation of the exterior stairs, (3) changing the second-floor entrance door design, (4) removing the east elevation ground floor window, (5) removing the ground floor windows and replacing them with a ground floor door as noted on the north elevation, (6) slight redesign of the garage door, and (7) changing the proposed roof material from metal to asphalt shingles. See Exhibit C for the detached garage plans, where the red circled items denote said change(s).

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The previously approved elevation plans, prepared by Home Valley Builders, and the associated approved Scope of Work form are available in Exhibit D. Notably, the plans created for application File Number [P18-071-2019](#) by the Home Valley Builders were further modified to require that the deck railings and decking be made of wood and, as noted in the Heritage Kingston Committee Meeting Minutes on page 7 ([December 18, 2019 - HK Meeting Minutes](#)), that the depth of the porch be reduced from 8 to 6 feet. The in process site plan drawing (File Number [D11-012-2017](#)) showing the principal building and detached garage location associated with this approval, as prepared by Forefront Engineering Inc., is available in Exhibit E.

This application was deemed complete on August 16, 2021. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 14, 2021.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The subject property was included in the Village of Barriefield Heritage Conservation District (HCD), created pursuant to Part V of the *Ontario Heritage Act* in 1981 and amended in 2016. Neither the '1992 Historical Building Inventory' nor the updated inventory include this property as the lands were vacant of buildings at the time of the Village Barriefield HCD Plan's creation. Section 2.0 of the HCD Plan outlines the cultural heritage value of the district and includes a list of heritage attributes that are essential to defining and conserving this value. This list includes the Village's "rural village character" which is defined by its small lots, minimal setbacks of most buildings from the street; built form of primarily single-detached dwellings of consistent scale and massing, ranging from one to two storeys in height, with distinctive architectural features such as pitched gabled roofs, wood siding, prominent front doors, simple rectangular window and door openings, and the presence or absence of porches.

The Village of Barriefield Heritage Conservation District Plan also discusses the importance of Green Bay Road by noting that: the "views from Green Bay Road and James Street towards the Great Cataraqui River/the UNESCO World Heritage Site" are considered significant as identified by select vantage points in Figure 2 in the HCD Plan. See Exhibit G for Figure 2.

Cultural Heritage Analysis

Staff visited the subject property on August 20, 2021 & September 17, 2021.

While 214 Green Bay Road does not include a heritage building, the erection of new structures can have an adverse effect on nearby heritage structures or their setting, and the character of the District. The proposed works are required to be undertaken in accordance with the Village of Barriefield Heritage Conservation District Plan and should be consistent with the intent/results of the previously approved aspects of applications [P18-071-2019](#) & [P18-091-2016](#), both of which

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approved new construction on the subject property. These previous approvals were deemed to be compatible with the District and the subject application's building and garage plans have a similar design (Exhibits B-D). However, the proposed modifications to the previous approval (File Number P18-071-2019) require further assessment to review potential negative or positive impacts. Other applicable by-laws, policy and guidance (including Parks Canada's 'Management Plan for the Rideau Canal' and the 'Standards and Guidelines for the Conservation of Historic Places in Canada') should also be considered and followed to ensure that the new structure complements and enhances the District and minimizes its visual impacts on the Rideau Canal waterway and the UNESCO World Heritage Site.

Section 3.3 of the HCD Plan defines broad conservation objectives which encourage the enhancement and protection of the character of the District and accommodating new development "only where it respects or otherwise complements the prevailing low profile and heritage character of the existing buildings and structures within the District and does not adversely affect the cultural heritage character of the District." Through this evaluation, it is determined that the heritage attributes and character of the District will be maintained and the erections proposed in this application are being undertaken in accordance with the policies and guidelines of the HCD Plan.

The Village of Barriefield HCD Plan has specific policies and guidelines related to appropriate new construction within the District as listed in section 4.5. This review of the new construction policies in the HCD Plan will focus on the aspects changing from the previous heritage approval (File Number [P18-071-2019](#)). The goal of this application is to refine these changing aspects, not to revisit the existing in effect approvals granted by Council in their entirety. This includes the existing approval that already permits the erection of a new principal dwelling and associated detached garage, with similar massing and heights, on lands vacant of buildings. Please see Exhibits B-D for both the newly proposed and previously approved plans.

Section 4.5.1 discusses the principles for new freestanding construction. Generally this section discusses the need to: (1) "...adhere to the character and rural atmosphere of the surrounding neighbourhood..." regarding size, height, massing, setbacks, "...building scale/footprint, roof pitches and exterior materials", (2) having new construction "be a product of its own time and not pretend to be historic", which can take the form of a "contemporary interpretation of historic forms and styles...", and (3) maintain the "...height and rhythm of the existing streetscape..." where blank facades visible from the public realm are not permitted.

Section 4.5.2 builds on the above guiding principles for principal dwellings with specific design requirements and provides details on proportion and massing, height, setbacks, roofs, windows, materials, entrances, and significant historic views. Further guidelines discuss the orientation, materials, windows, colours, fencing, trees and porch materials. Section 4.5.3 focuses on garages and ancillary structures and discusses the specific policies for these buildings and structures, such as: how garages are meant to be detached and not form part of the street-facing façade, that additional permits may be necessary, and that these buildings and structures must consider the location, profile and materiality in relation to the principal building and location on the lot.

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The new building plans for the principal building (Exhibit B) remain consistent with the previous plans approved in application File Number [P18-071-2019](#) (Exhibit D) on the following aspects noted in sections 4.5.1 & 4.5.2: proportions and massing (minus the porch), height, setbacks, roof form, window material and style, preservation of historic views, orientation, materials (minus the roof shingles), colours, fencing, trees, and porch materials. The building plans (Exhibit B) differ on the following aspects: window placement and the addition of one more window (see north and south elevations), shrinking a window along the south elevation, adding stairs to both sides of the wrap around front porch and the rear building alcove, adding approximately 2 feet of depth to the wrap around porch, and changing the roofing material from metal to asphalt shingles. The proposed categories listed in section 4.5.2 that will be modified include: alternations to the building's entrance, window location/amount/size, and roof material.

The majority of the changes are focused on the building's entrance, and according to 4.5.2(g) of the Village of Barriefield HCD Plan, "[e]ntrances are an important element of the Public Façade frequently highlighted with...porches...recessed or projected from the wall face for emphasis." And that: "[a]ll new buildings shall contain an obvious principal entrance that faces the street and forms a prominent part of the street-facing façade." Furthermore, section 4.5.2(p), notes that wood is the recommended material for porch construction along Public Facades (i.e. any building elevation visible from the public street or right-of-way). Importantly, the Plan notes that the Village's rural character includes distinctive attributes, including "prominent front doors with or without porches" and "[m]inimal setbacks of most buildings from the street." The HCD Plan provides the following guidance for porches: there is no indication of the appropriate size of porches, that porches are recommended to be wooden, and that porches are part of the District's rural character. The HCD Plan also notes the connection between porches and emphasizing the principal building's entrance. Importantly, there are numerous buildings along Green Bay Road which are close to the front property line and have associated porches that are even closer to the front property line. Finally, the HCD Plan provides little direction regarding small-scale steps as proposed at the rear of this principal building and instead recommends a review of nearby properties for guidance. These small-scale steps, only 3 steps in height, are located at the rear of the property and are smaller in scale than those associated with nearby properties, thus their impact is negligible.

Despite the inclusion of stairs along the south and north elevations, and the approximate 2-foot increase in porch depth, these changes fulfill the intent of the Village of Barriefield Heritage Conservation District Plan. The land parcel accommodating this building is located on a corner lot with its front entrance facing west. Near this T intersection from James Street to Green Bay Road, this is the only building with a main entrance clearly facing this direction in the immediate vicinity. Importantly, when viewed from the front of the property (facing east from the street), it is clear that the porch is associated with the principal building entrance. To increase public legibility of this uncommon western entrance in this area, the south and north elevation stair addition to the porch with its additional 2-feet of depth could draw attention to the wooden porch instead of the sides of the building when walking north or south along Green Bay Road. This could act as an indication to the public when viewing the Public Facades of 214 Green Bay Road that the entrance is along the western façade and not the north or south facades, thus increasing the prominence of the main entrance to the property. Finally, this additional porch

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depth could create the “feeling” that this property has a minimal setback, similar to those along Green Bay Road. As there are no porch size limits in the HCD Plan, the porch is wooden, and the additional stairs and depth can contribute to the rural character attribute of minimal setbacks and could also increase the legibility of the front entrance of the property by being a projection “...from the wall face for emphasis”, these changes fulfill the intent of the HCD Plan.

Minor changes to the window placement along the north and south elevations, the addition of one new window along the north elevation, and the shrinking of one window along the south elevation also fulfills the intent of the Village of Barriefield HCD Plan. The new window is a simple rectangular window with a proportion of 1 by 1.5 width to length. The shrunken window still retains the rectangular shape with a proportion of 1 by 1.25 width to length. This new and shrunken window reflects the rectangular dimensions present in the District and is like or similar to those previously approved in application [P18-071-2019](#) (Exhibit D). Finally, the applicant is changing the roof material from a steel roof to asphalt shingles. This is due to cost considerations that arose due to the current economic climate. According to section 4.5.2.d), “[a]sphalt...shingles...are appropriate roofing materials for new construction.” The window and roof changes conform to the HCD Plan.

The new building plans for the detached garage (Exhibit C) are mostly consistent with the previous plans and conditions approved in application [P18-071-2019](#) (Exhibit D) on the following aspects noted in sections 4.5.1 & 4.5.3: being detached, remaining behind the front principal building wall, being in the same location, and having the same external materials (minus the roof shingles). The Plans (Exhibit C) differ on the following aspects: increases to the dormer massing for the north and south elevations, changes to the exterior stair orientation, design changes for the second floor entrance and garage door, removing a ground floor window along the east elevation, replacing the windows along the north elevation with a door, and changing the roof material from metal to asphalt shingles. The proposed changes include modifications to the second-floor massing as noted in section 4.5.1 of the HCD Plan.

The majority of the garage changes include minor revisions and conform with the intent of the Village of Barriefield HCD Plan. The external stairs remain in the same place, just rotated, and still fulfill the intent of being located at the rear of the property, as recommended in the HCD Plan (Exhibit D). The HCD Plan provides no explicit direction regarding garage windows or garage door designs, beyond the typical rectangular proportions for windows, typical material requirements (i.e. wood or an appropriate substitute), and requiring appropriate colours evident in the District. Section 4.5.3.f) of the HCD Plan provides the following additional general guidance by noting that “[g]arages and ancillary structures shall be of like or complementary material to that of the principal structure.” As the shingles are being replaced from metal to asphalt shingles like on the principal building, which is an appropriate roofing material for new construction, this change is also acceptable. These changes from the original detached garage plans conform with the intent of the HCD Plan.

Finally, the design of the dormer itself was deemed to be a “gable roofed dormer” by the applicant’s qualified professional. As the terms “dormer” and “gable roof” are not defined in the Village of Barriefield HCD Plan nor the in-effect Zoning By-Law Number 32-74; these terms, as

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listed in condition 10 in the previous Scope of Work, were left open to interpretation (Exhibit D). A review of the proposed design versus the term “gable roofed dormer” appears to confirm that this type of design is considered by some professionals to be a form of a gable roofed dormer. Despite this, staff reviewed how this increased massing might impact the public realm as the roof massing changes to the north and south elevations would be considered Public Facades. A review found that the grade differences in this area of the District maintained the prominence of nearby 1.5-2 storey main buildings along James Street and Green Bay Road, and the presence of select trees on the subject property and at 218 Green Bay Road would mitigate some of the impact of this increased massing on the second floor (Exhibit F). Of note, widening the dormer has the effect of reducing the pitch, which is closer to the low to medium pitches for gabled roof already present within the District as noted in the rural village character attributes in section 2 of the HCD Plan. As the previous dormer was already visible from the public view and, by way of approval, was deemed to not adversely effect the heritage attributes of the District, this alternative wider gable roof dormer with the same height as the previous garage design appears to fulfill condition 10 in the previous Scope of Work. As such this change is also deemed to not adversely affect the heritage attributes of the District (Exhibits C & D).

In summary, the proposed alterations to the principal dwelling and the detached garage will conserve the cultural heritage value and attributes of the Village of Barriefield Heritage Conservation District Plan. The majority of the changes are either heritage neutral or will enhance the principal building’s prominence/entrance on the subject property. The changes to the detached garage’s dormers may marginally increase the view of the upper floor’s massing from the south and north elevations, however mitigating factors reduce the impact this change in gable dormer form will have as a Public Façade. Furthermore, this alternative dormer form has been determined by a qualified professional to be a “gable roofed dormer”, which fulfills the related condition in the previous Scope of Work associated with application File Number [P18-071-2019](#) (Exhibit D).

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries’ Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada. Broadly, the application will:

- Achieve the goal of Section 7.0 (City of Kingston Official Plan): Conserve and enhance built heritage resources within the City so that they may be accessed, experienced and appreciated by all residents and visitors, and retained in an appropriate manner and setting, as a valued public trust held for future generations;
- Achieve Guiding Principle Number 7
 - Legibility – new work to be distinguishable from old.
- Achieve Standard 11 of Parks Canada’s Standards and Guidelines:
 - Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

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Previous Approvals

- [P18-091-2016](#) – Original Heritage Building Erection Permit
- [P18-071-2019](#) – Subsequent Heritage Building Erection Permit
- [D13-034-2016](#) – Minor Variance for Height and Reduced Rear Yard Setback of the Main Building with an Attached Garage
- [D13-012-2017](#) – Minor Variance for Additional Height for Detached Garage

In Process Approval:

- [D11-012-2017](#) – Ongoing Site Plan Control Application Awaiting Approval of the Changes noted in this Application.

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Planning Department: An application for minor variance for the subject property was supported by the Committee of Adjustment in 2017 related to increased permitted height for an accessory structure from 5 metres to 6.6 metres. Per the conditions of that 2017 decision, drawings submitted with any subsequent building permit application must, in the opinion of the City, conform to the general intent and descriptions of the drawings and conditions as approved by the Committee of Adjustment. Please note that the 2017 decision did not consider the introduction of a second residential unit, and further, that the property is located in a Natural Hazard Area as per Schedule “D” of Zoning By-law 32-74. As noted in Section 5(32)(f), a second residential unit shall not be permitted on lands identified as Natural Hazards Area in Schedule “D”.

Building Department: Permit applications for the house and the coach are submitted, please continue the process of revises the drawings to compete the application. Also:

-Garage: If the garage is intended for living space; the garage is to be heated and an EEDS will be required. A smoke alarm will be required.

-Garage: An 'Accessory Building Declaration' will be required to be signed and submitted stating that the building is for accessory proposes only. No secondary suite.

-Garage: Please provide EBF calculations for the exterior wall in relation to the property line. - Garage is required to be gas tight.

Utilities Kingston: No issues or concerns with this application. Please show existing streetlight locations on the site plan.

Engineering: No concerns with this application, please note that site servicing and grading will be reviewed as part of the Site Plan Control application (File Number [D11-012-2017](#)).

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Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit H.

One commentator said they have no fundamental concerns with the application, but certain aspects of the main building and garage require clarity. The main building's porch being an additional 2 feet in depth requires clarification as well as the materiality of the porch which should be made of wood. Finally, the main building façade is to be clad in wood and "certainly not...fake-grain cement board." The previous submission included vinyl roofing materials and this needs to be clarified, where asphalt with composite material could be acceptable if grey or dark grey in colour and had a matte instead of shiny finish.

This same commentator noted that the garage location is an issue as it is "not placed in the rear of the property" to reinforce its subordinate nature. Additionally, the use of a Second Residential Unit above the garage would further detract from the main building (it is important to note that the application as submitted does not consider a second residential unit above the garage). The change in roof form is not considered an appropriate change in keeping with the past approval as it does not appear to meet the HCD Plan guidelines for simple building and roof structures. An alternative is to have a simple gabled roof with up to two smaller gable dormers set below the roof ridge. Due to the garage's visibility, wooden siding appears more appropriate than synthetic siding.

Another commentator noted that the plans were generally acceptable but noted the lack of detail in the "Trought" house plans. This member is requesting that the style, profile and colour of the wood siding/trim be provided to Heritage Kingston for review, along with clarification of its use on the garage and main house. Further, more details regarding the window materiality and colour along with the asphalt shingle type and colour should be provided. The applicant should clearly note the proposed deck depth change from 6 feet to 8 feet, as only 6 feet was approved previously. Finally, the materiality, style, profile and colour of the main building deck should be provided for review.

This same commentator noted that the garage design does not appear to be secondary to the main building due to its cross-gable roof with large massing profile. As there is no Second Residential Unit proposed on the second floor of the garage, a simple gable end roof design should be sufficient for storage purposes. For more head room small gable dormers with peaks lower than the main roof could be considered. Finally, the materiality, style, profile and colour of the garage stairs should be provided for review.

Conclusion

Staff recommends approval of the application (File Number P18-047-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

October 20, 2021

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Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

Village of Barriefield Heritage Conservation District Plan - Designating By-Law Number 2016-173

Notice Provisions:

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Jennifer Campbell, Director, Heritage Services 613-546-4291 extension 1377

Phillip Prell, Intermediate Planner, Heritage Services 613-546-4291 extension 3219

Other City of Kingston Staff Consulted:

Ryan Leary, Senior Planner, Heritage Services

Exhibits Attached:

Exhibit A Context Maps

Exhibit B Main Building Supporting Information & Changes from the Previous Approval

Exhibit C Detached Garage Supporting Information & Changes from the Previous Approval

Exhibit D Previous Approved Plans & Scope of Work

October 20, 2021

Page 14 of 14

Exhibit E In Process Site Plan

Exhibit F Site Photos

Exhibit G Figure 2 of the HCD Plan

Exhibit H Correspondence Received from Heritage Kingston

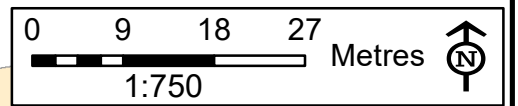
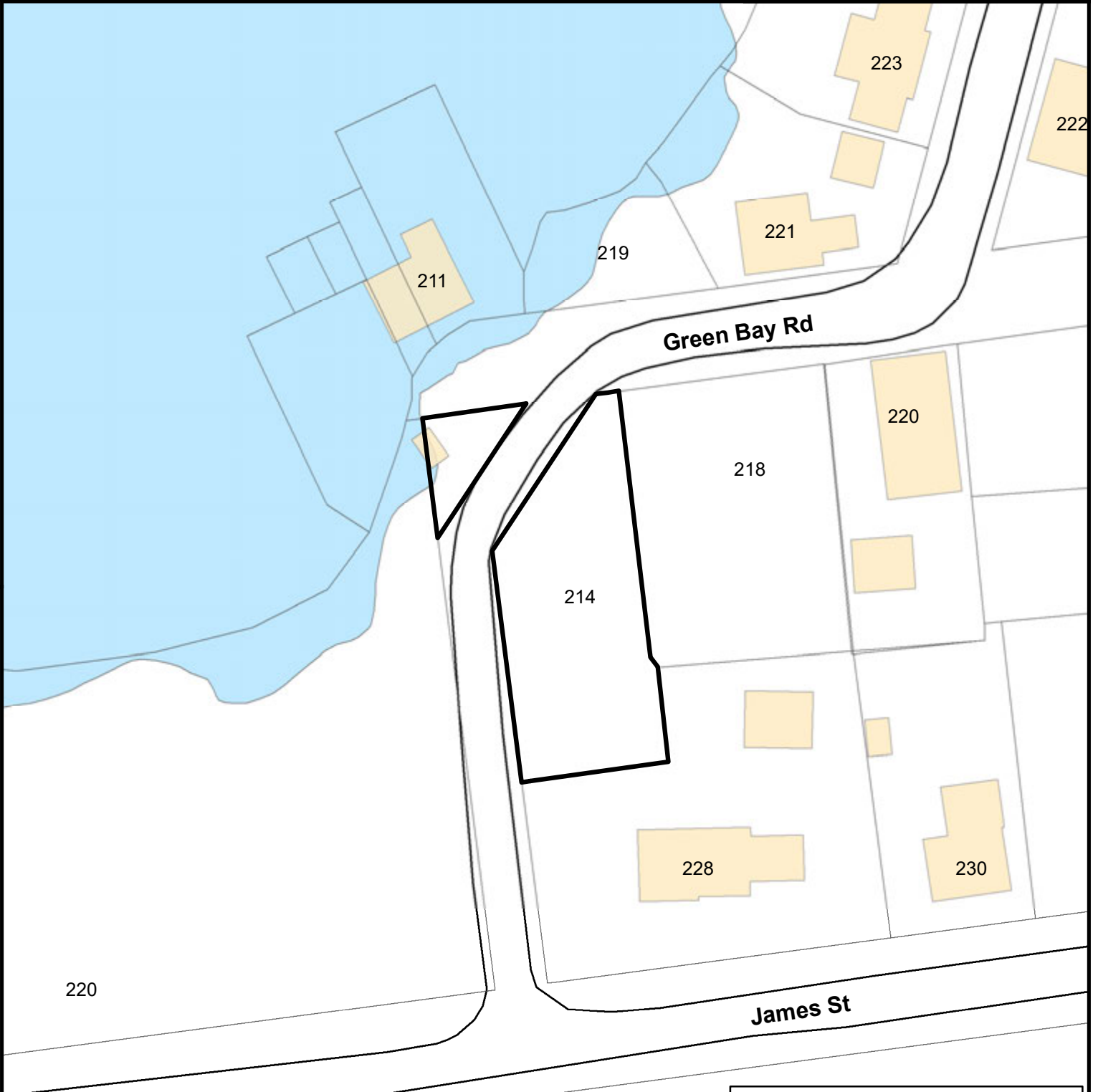
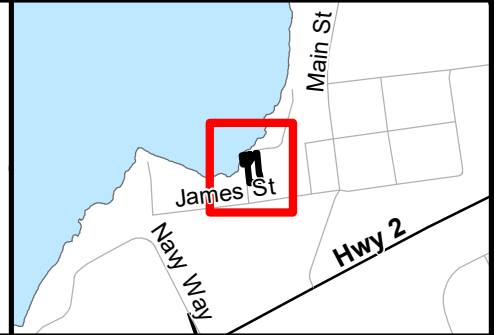
Exhibit I Final Comments from Heritage Kingston



Heritage Kingston Committee Key Map

Address: 214 Green Bay Road
File Number: P18-047-2021

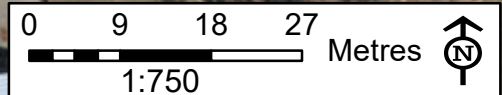
 Subject Lands





Heritage Kingston Committee
Neighbourhood Context (2021)
Address: 214 Green Bay Road
File Number: P18-047-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels




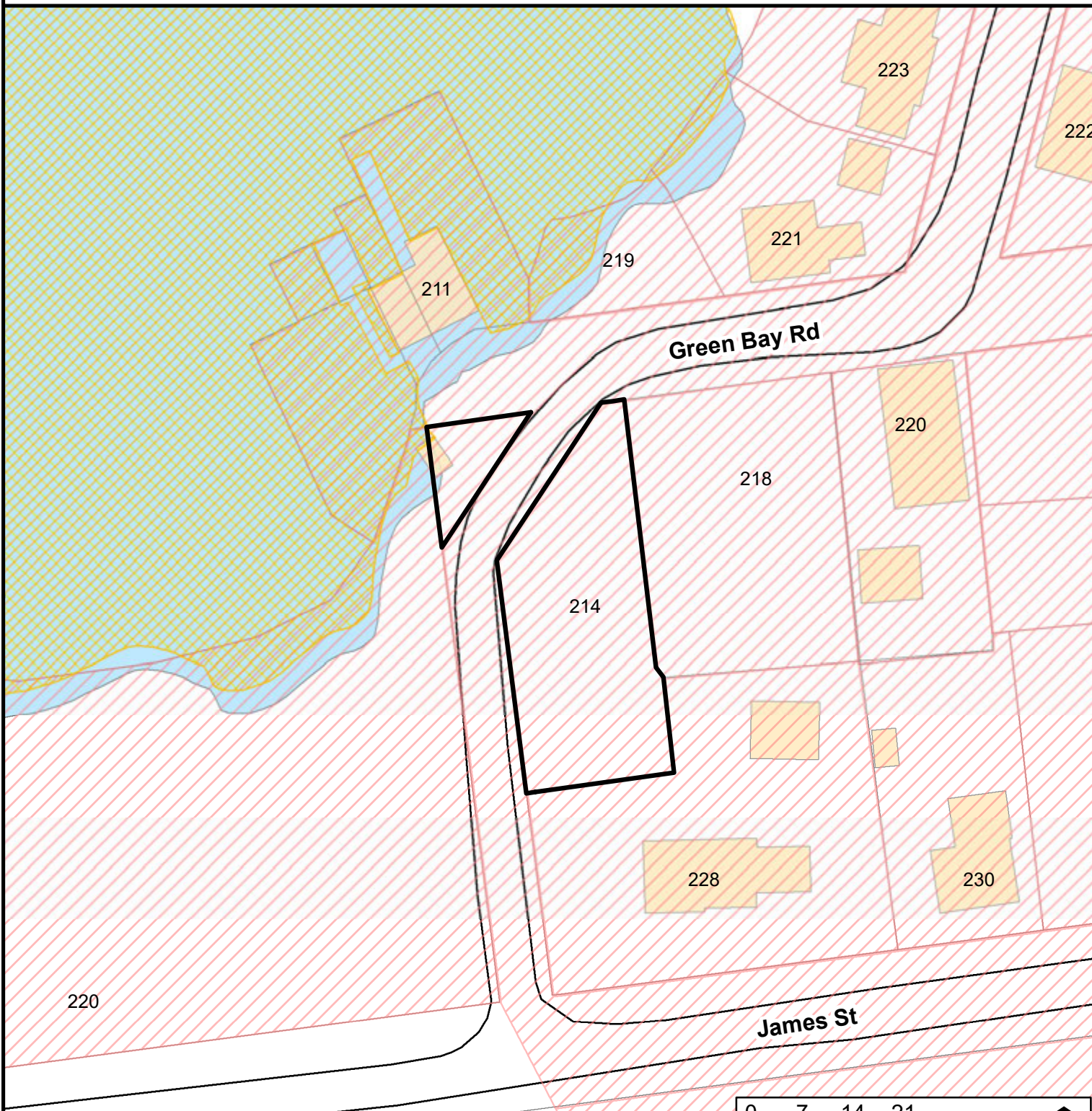


Planning Services

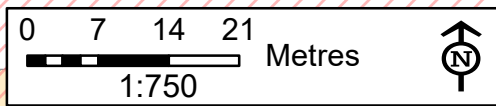
Heritage Kingston Committee City of Kingston Heritage Register

Address: 214 Green Bay Road
File Number: P18-047-2021

-  Subject Lands (Barriefield Heritage Conservation District)
-  UNESCO World Heritage Site
-  National Historic Site
-  Designated Property



Prepared By: Ichu
Date: Aug-24-2021



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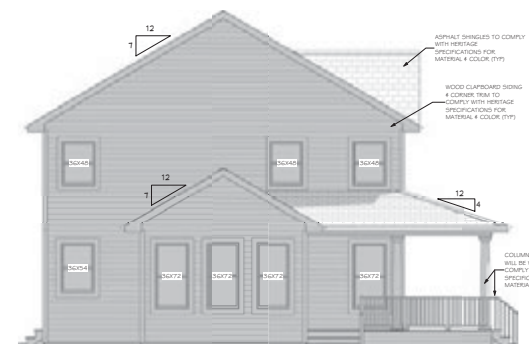


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- GENERAL NOTES:
1. DRAWINGS AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR FILL (SAND) & TO BE LIFTED & LIFTED AND COMPACTED TO 95% STD. PROCCES.
 2. SET 2" MIN. CONCRETE WITH MAXIMUM SLURRY OF 4" AND REINFORCED W/ #3'S FOR CONCRETE FOOTINGS AND FOUNDATION WALLS.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE SET WITH OVERLAP OF #3'S.
 4. FOOTING SHALL BE A MINIMUM OF 4" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND TO BELOW GRADE, ENGINEERED DESIGN OF APPROPRIATE PROTECTIVE IS REQUIRED.
 5. ALL FOOTINGS ARE @ DEPT. UNLESS NOTED OTHERWISE.
 6. CONNECT ALL GABLES AND CARSON MEMBER DETECTORS TO ALARM. ANY DETECTOR WILL SOUND ALL ALARMS.
 7. SAVE PROTECTION TO COMPLY WITH SECTION 9.2.6.1 & 9.2.6.2.
 8. ALL UNFINISHED ARE @ UNLESS NOTED OTHERWISE.
 9. RETAIN ATTIC VENTILATION TO COMPLY WITH SECTION 9.19.1 & 9.2.6.2.
 10. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17" TO ANY COMBUSTIBLE MATERIAL AT FINISH FLOOR OF THE EXTERIOR FINISH FLOOR AS WELL AS 30" CLEAR HEIGHT ABOVE THE FINISH UNLESS OTHERWISE PROTECTED.
 11. ALL UNFINISHED ARE @ UNLESS NOTED OTHERWISE.
 12. STRUCTURAL CONCRETE THAT BUILDING OFFICIAL MAY HAVE AND REQUIRE REINFORCEMENT FROM A PROFESSIONAL ENGINEER. MUST BE REINFORCED WITH THE PROVISIONAL ENGINEER AND UNDER THE SUPERVISION. THE CONTRACTOR CAN EXPECT TO SUBMIT ANY REINFORCEMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
 13. ALL GABLES MUST BE SUPPORTED BY A MINIMUM NUMBER OF STUDS FORMING A COLUMN UNDER THE STUDS. ALL STUDS SHALL BE AT LEAST 10" DIA. UNLESS OTHERWISE NOTED OTHERWISE.
 14. ALL UNFINISHED ARE @ UNLESS NOTED OTHERWISE.
 15. IF THE GABLES ARE TO BE PLACED ABOVE THE GARAGE, THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY WITH PANEL.
 16. IF THE GABLES ARE TO BE PLACED ABOVE THE GARAGE, THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY WITH PANEL.
 17. BUILDING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AS PER CODE.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY MATERIALS.
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1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/ EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN FLOOR
MAIN FLOOR AREA = 1,691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1,304 FT² (121.25M²)
TOTAL = 2,995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)
TOTAL = 833 FT² (77.45M²)

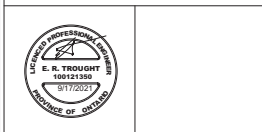


3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
SCALE: 3/16" = 1'-0"

No.	DATE	DESCRIPTION	BY



DRAWINGS MUST NOT BE SCALED
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND SHALL REPORT ANY DIS-
CREPANCY TO THE ENGINEER BEFORE PROCEEDING
WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE
WITH THE ONTARIO BUILDING CODE. THESE PLANS
FORM THE BASIS FOR PERMIT ISSUANCE AND ANY
DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEM, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
ELEVATIONS

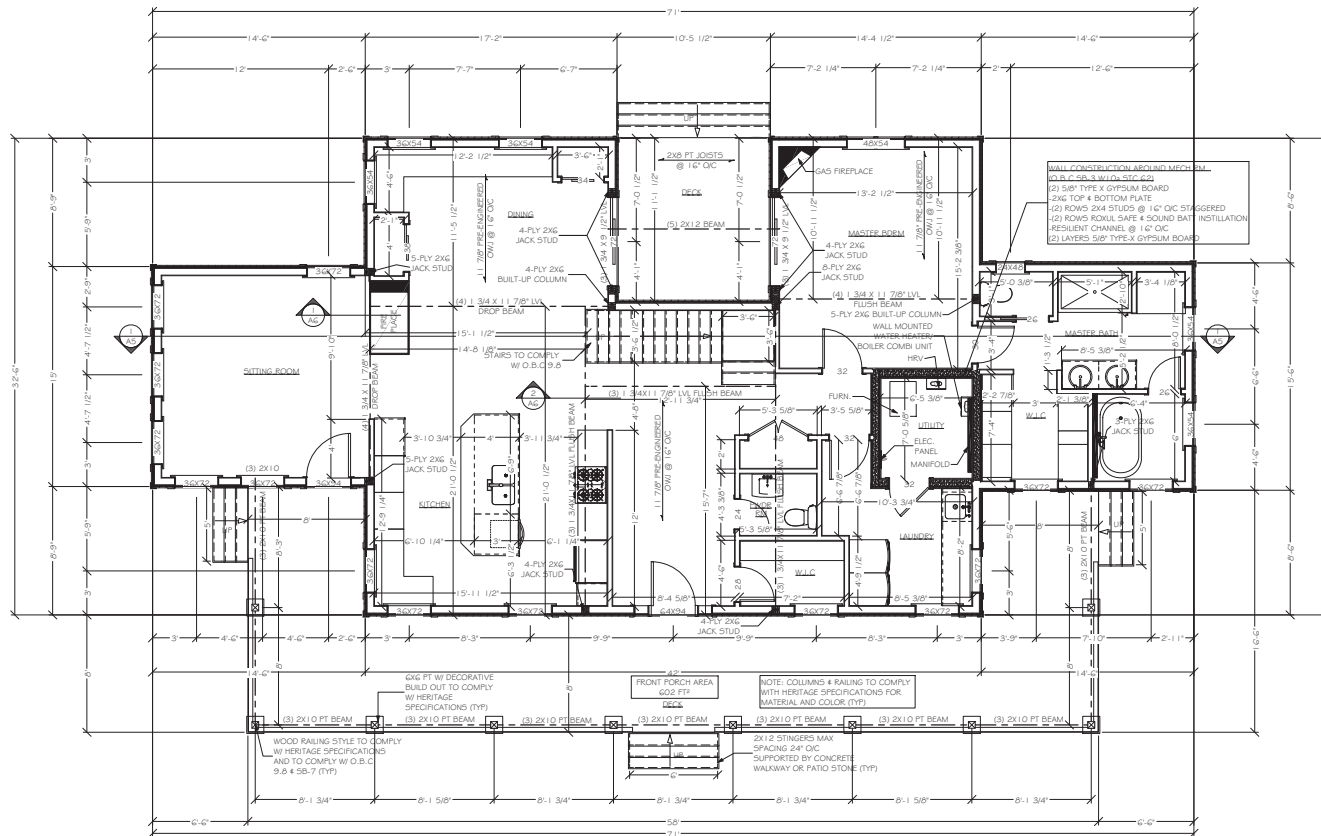
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JOB #: 20176	SHEET: 1 of 6	20176



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KINGSTON, ONTARIO
K4M 1S2
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- GENERAL NOTES:**
1. EXISTING WORK AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR FILL.
 2. GRANULAR FILL TO BE LAYED IN 2' LIFTS AND COMPACTED TO 95% S.D. PROCC.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE FOOTINGS AND FOUNDATION WALLS.
 4. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE FOOTINGS AND FOUNDATION WALLS.
 5. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE FOOTINGS AND FOUNDATION WALLS.
 6. FOOTING SHALL BE A MINIMUM OF 4" BELOW GRADE OR DOWN TO BEDROCK, IF FOOTINGS DO NOT EXTEND TO BELOW GRADE, ENHANCED DESIGN OF APPROVED DESIGN PROFESSIONAL IS REQUIRED.
 7. ALL FOOTINGS ARE 4" DEEP, UNLESS NOTED OTHERWISE.
 8. CONNECT ALL GABLES AND CARSON MEMBERS TO DECKING TO ALUMINUM. ANY DETECTION WILL BE REPAIR TO DECKING.
 9. SAVE PROTECTION TO COMPLY WITH SECTION 9.2.6.5.1 O.B.C.
 10. RETAIN ATTC VENTILATION TO COMPLY WITH SECTION 9.19.1 O.B.C.
 11. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17.5" TO ANY COMBUSTIBLE MATERIAL, AT ALL TIMES, FROM THE EXTERIOR SURFACE OF THE GARAGE, AS WELL AS 18" CLEAR HEIGHT ABOVE THE GARAGE SLAB, UNLESS OTHERWISE NOTED.
 12. ALL GABLES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUDS PERMANENTLY BOLTED TO THE STRUCTURE.
 13. STRUCTURAL CONCERNING THAT BUILDING OFFICIAL MAY HAVE AND REQUIRE HORIZONTAL FROM A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL VERIFY WITH THE PROFESSIONAL ENGINEER AND MAKE THE APPROPRIATE. THE CONTRACTOR CAN REFER TO SECTION 9.19.1 O.B.C. FOR MORE INFORMATION.
 14. ALL GABLES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUDS PERMANENTLY BOLTED TO THE STRUCTURE.
 15. ALL GABLES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUDS PERMANENTLY BOLTED TO THE STRUCTURE.
 16. IF THE GABLE IS TO BE PLACED ABOVE THE ROOFLINE, INSURE THE GABLE IS RESISTANT TO WINDING AND TO BE PROTECTED BY THE REQUIREMENTS OF THE O.B.C.
 17. BUILDING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GIBBS BATH AS PER O.B.C.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING OVERLAYS.
 19. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING OVERLAYS.
 20. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING OVERLAYS.
 21. SHARP PT TO BE COVERED AND STAINED TO COMPLY W/ O.B.C. 9.14.2.2
 22. SHARP POINTS ARE TO COMPLY TO THE REQUIREMENTS OF 9.14.2.2, 9.14.2.3, 9.14.2.4 AND 9.14.2.5 O.B.C.



NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/ EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN HOUSE
MAIN FLOOR AREA = 1 691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1 304 FT² (121.25M²)

TOTAL = 2 995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)

TOTAL = 833 FT² (77.45M²)

No.	DATE	DESCRIPTION	BY
REVISIONS			



DRAWINGS MUST NOT BE SCALED
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
MAIN FLOOR PLAN

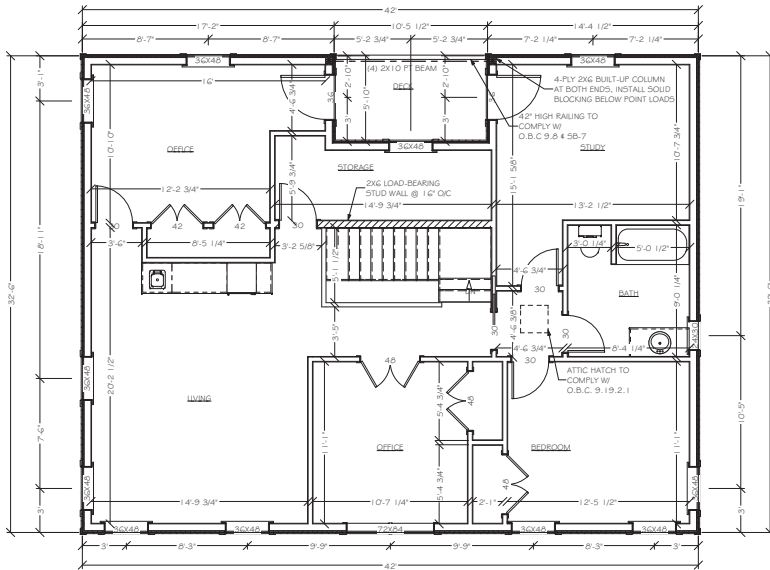
REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A2
ARCH. N/A		
STR. ET		
MEC. N/A		
ELE. N/A		
DATE:	Friday, September 17, 2021	
JOB #:	20176	SHEET: 2 of 6
		20176



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- GENERAL NOTES:
1. DRAWINGS SHALL BE CONSTRUCTED ON COMPACT GRANULAR FILL OR GRAVEL IF TO BE Laid IN DIRT AND COMPACTED TO ONE SIDE. PROTECT.
 2. 200 # MESH CONCRETE WITH MINIMUM SLAB OF 4" AND REINFORCED W/ #3 OR 4.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE 3000 PSI WITH 200 # MESH OF #3.
 4. FOOTING SHALL BE A MINIMUM OF 8" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND TO THIS GRADE, ENGINEERED DESIGN OF APPROVED PROFESSIONAL IS REQUIRED.
 5. ALL FOOTINGS ARE 4' DEEP, UNLESS NOTED OTHERWISE.
 6. CONTACT ALL GARAGE AND CARPORT MONITOR DETECTORS TO ALARM. ANY DETECTOR WILL SOUND ALL ALARMS.
 7. SAVE PROTECTION TO COMPLY WITH SECTION 9.2 & 5.1 O.B.C.
 8. SAVE PROTECTION TO COMPLY WITH SECTION 9.2 & 5.1 O.B.C.
 9. UNLESS NOTED OTHERWISE, ALL ROOFING SHALL BE 18" O.B.C.
 10. RETAIN ATTIC VENTILATION TO COMPLY WITH SECTION 9.18 O.B.C.
 11. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17.5" TO ANY COMBUSTIBLE MATERIAL AT THE POINT OF CONTACT WITH THE ROOFING.
 12. THE USE OF THE ROOFING SHALL BE AS NOTED OR W/ 18" O.B.C. TEST. ALL GARAGES SHOULD REQUIRE A MINIMUM DRAINAGE DITCH OF 1" WITH UNFINISHED GRANITE BY THE PROPOSED OWNER.
 13. STRUCTURAL CONCERNS THAT BUILDING OFFICIALS MAY HAVE AND REQUIRE HORIZONTAL FROM A PROFESSIONAL ENGINEER. MAKE REPAIRS TO EXIST. THE PROFESSIONAL ENGINEER SHALL MAKE THE REPAIRS. THE CONTRACTOR SHALL VERIFY TO SUSTAIN ANY DAMAGE AND MAKE THE REPAIRS. THE CONTRACTOR SHALL VERIFY TO SUSTAIN ANY DAMAGE AND MAKE THE REPAIRS.
 14. ALL GARAGE TRUSSES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUBS FORMING A SQUARE UNDER THE TRUSS WALL AS INDICATED ON W/ 18" O.B.C. TEST. ALL GARAGES SHOULD REQUIRE A MINIMUM DRAINAGE DITCH OF 1" WITH UNFINISHED GRANITE BY THE PROPOSED OWNER.
 15. IF AN AIR PERMEABLE BARRIER IS TO BE INSTALLED, THE CONTRACTOR MUST CONTACT PROFESSIONAL DESIGNER TO VERIFY WITH PANEL.
 16. IF TO BE PLACED ABOVE FLOOR/ROOF LEVELS, ENSURE MOISTURE RESISTANT BARRIERS ARE PROVIDED PER THE REQUIREMENTS OF THE B.C.C.
 17. BUILDING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AS PER B.C.C.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING WALLS/ROOF.
 19. ALL ELECTRICAL TO BE COMPLETED BY OWNER PRIOR TO COVERING ELECTRICAL COMPONENTS AND TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE B.C.C. & S.C.C.
 20. STAFF PUT TO BE COVERED AND STABLE TO COMPLY W/ O.B.C. 9.14.2.2.
 21. STAFF PUT TO BE COVERED AND STABLE TO COMPLY W/ O.B.C. 9.14.2.2.
 22. STAFF PUT TO BE COVERED AND STABLE TO COMPLY W/ O.B.C. 9.14.2.2.



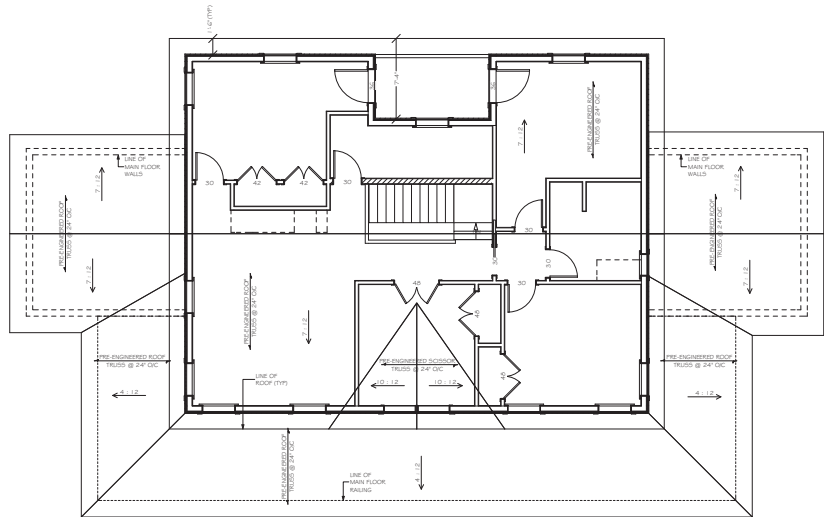
NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN HOUSE
MAIN FLOOR AREA = 1 691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1 304 FT² (121.25M²)
TOTAL = 2 995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 4 16.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 4 16.5 FT² (38.72M²)
TOTAL = 8 33 FT² (77.45M²)

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 ROOF PLAN
SCALE: 3/16" = 1'-0"

No.	DATE	DESCRIPTION	BY
REVISIONS			



DRAWINGS MUST NOT BE SCALED
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE
FOR ALL DIMENSIONS AND SHALL REPORT ANY DIS-
CREPANCY TO THE ENGINEER BEFORE PROCEEDING
WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH
THE ONTARIO BUILDING CODE. THESE PLANS
FORM THE BASIS FOR PERMIT ISSUANCE AND ANY
DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEMS, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
**SECOND FLOOR PLAN
ROOF PLAN**

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	as shown	A3
ARCH. N/A		
STR. ET		
MEC. N/A	DATE:	
ELE. N/A	Friday, September 17, 2021	
JOB #: 20176	SHEET: 3 of 6	20176



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TEL 613 531-7873
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NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/
EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

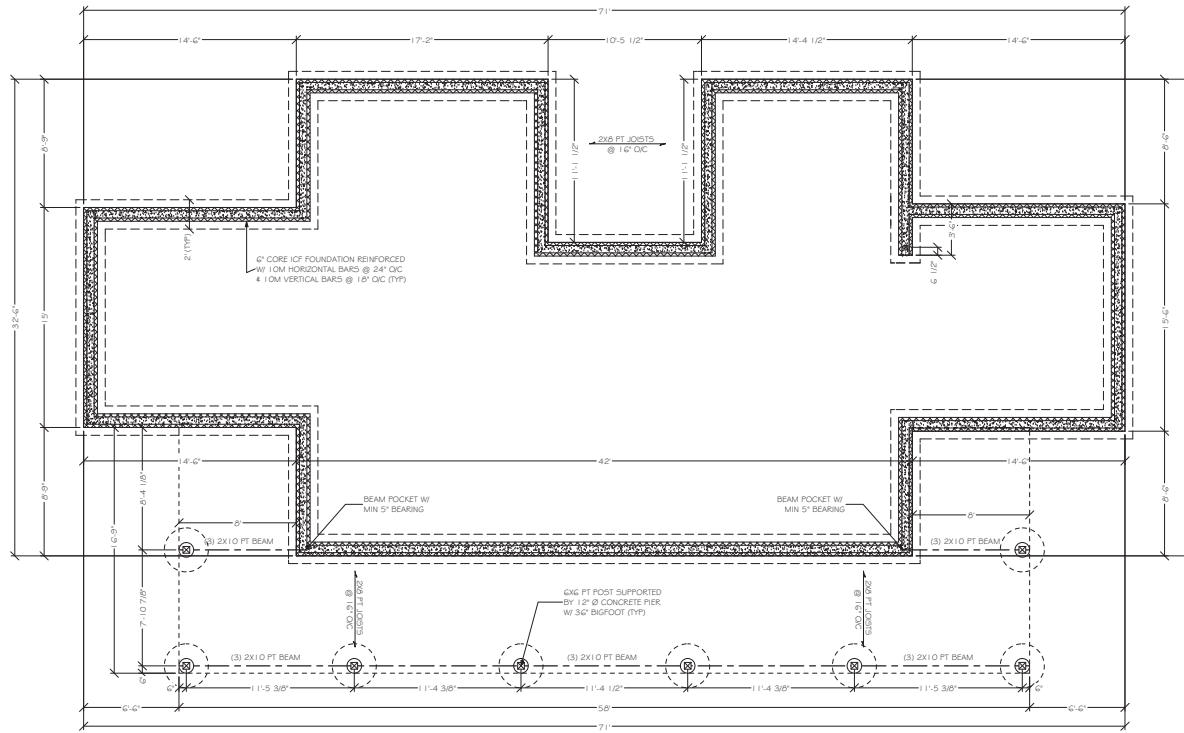
MAIN HOUSE
MAIN FLOOR AREA = 1691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1324 FT² (123.123M²)

TOTAL = 2995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF
FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)

TOTAL = 833 FT² (77.45M²)

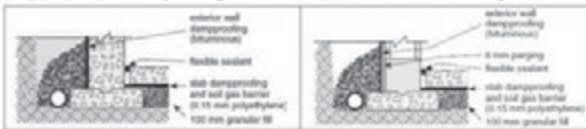


- Option 2**
1. A soil gas barrier on the foundation walls (bituminous dampproofing) in conformance with Division B, 9.13.4.2 (3), and
 2. under the basement floor slab using 6 mil polyethylene lapped not less than 300mm in conformance with Figures SB-9A or SB-9B of SB-9, and
 3. sealing along the perimeter of the basement floor slab and at all penetrations using flexible sealant (polyurethane caulking) in conformance with Division B, 9.13.4.2.(4)(a) and SB-9.

Please note: spray foam can be substituted as a radon gas barrier under basement floor slabs where installed in conformance with CCMC Evaluation Report 14073-R.

Please note: where an ICF foundation is being used, and radon option 2 or 3 is chosen, replace "bituminous dampproofing" with "waterproofing membrane" approved for installation over ICF foundations.

Option 2 and 3: Dampproofing and Soil Gas Control at floor and wall junctions



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- GENERAL NOTES:
1. FOUNDATION WALL AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR FILL (GENERAL) TO BE LAYED UP TO AND COMPACTED TO ONE SIDE. (PROVIDE)
 2. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE FOOTINGS AND FOUNDATION WALLS.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE WITH 2% AIR.
 4. FOOTING SHALL BE A MINIMUM OF 6" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND TO BED GRADE, DAMPPROOFING SHALL BE APPLIED TO THE EXTERIOR OF THE FOOTING.
 5. ALL FOOTINGS ARE 6" DEEP, UNLESS NOTED OTHERWISE.
 6. CONTACT ALL TRADES AND CARPENTERS WORKERS TO AVOID ANY INTERFERENCE WITH FOUNDATION WALLS.
 7. STAIRS SHALL BE CONFORM TO DIVISION B SECTION 9.13.5.1.0.8.C.
 8. SAVE PROTECTION TO COMPLY WITH SECTION 9.13.5.1.0.8.C.
 9. ALL UNFINISHED AREAS SHALL BE FINISHED TO THE FINISH.
 10. INTERNAL A/C VENTILATION TO COMPLY WITH SECTION 9.13.5.1.0.8.C.
 11. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17.5mm TO ANY QUANTIFIABLE MATERIAL AT THE FINISH LINE OF THE EXTERIOR FINISH GRADE, AS WELL AS ANY GYPSUM BOARD, THE FINISH GRADE SHALL BE A MINIMUM OF 17.5mm ABOVE FINISH GRADE.
 12. ALL UNFINISHED AREAS SHALL BE FINISHED TO THE FINISH.
 13. STRUCTURAL CONCRETE THAT A BUILDING OFFICIAL MAY HAVE AND REQUIRE REINFORCING FROM A PROFESSIONAL ENGINEER, SHALL BE MARKED WITH THE PROFESSIONAL ENGINEER'S NAME AND MADE THE REINFORCING. THE CONTRACTOR CAN REFER TO DIVISION B SECTION 9.13.5.1.0.8.C. FOR MORE INFORMATION.
 14. ALL GARAGE FLOORS TO BE SUPPORTED BY A MINIMUM NUMBER OF STILES FORMING A SQUARE UNDER THE FLOOR SLAB AS INDICATED ON DRAWING. ALL STILES SHALL BE 4" X 4" UNLESS OTHERWISE SPECIFIED.
 15. ALL UNFINISHED AREAS SHALL BE FINISHED TO THE FINISH.
 16. IF THE G.I. IS TO BE PLACED AROUND FIBERGLASS INSULATION, INSURE INSULATION RESISTANT DAMPPROOFING IS USED TO PROTECT THE G.I. FROM THE INSULATION.
 17. REINFORCING SHALL BE PROVIDED IN BASEMENTS FOR FUTURE INSTALLATION OF GROUND BARS AS PER CODE.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COMMENCING WORK.
 19. ALL ELECTRICAL TO BE COMPLETED BY OWNER PRIOR TO COMMENCING ELECTRICAL COMPONENTS.
 20. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COMMENCING WORK.
 21. SLAB FT TO BE COVERED AND SEALED TO COMPLY WITH CODE 9.14.2.2.
 22. THESE DRAWINGS ARE TO COMPLY TO THE REQUIREMENTS OF SECTION 9.13.4.2.2 AND 9.13.4.2.2(4)(a).

No.	DATE	DESCRIPTION	BY
REVISIONS			



DRAWINGS MUST NOT BE SCALED
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WITH ANY WORK.

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WITH THE ONTARIO BUILDING CODE. THESE PLANS
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DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEM, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
FOUNDATION PLAN

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A4
ARCH. N/A		
STR. ET	DATE:	
MEC. N/A	Friday, September 17, 2021	
ELE. N/A		
JOB #: 20176	SHEET: 4 of 6	20176



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- GENERAL NOTES:
1. DRAWINGS SHALL BE AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR FILL GENERAL 4" TO BE LAYED IN 2" LIFTS AND COMPACTED TO 95% STD. PROCCES.
 2. ALL 4" MIN. CONCRETE SHALL BE MINIMUM SLAB OF 4" AND REINFORCED WITH #3 BARS FOR CONCRETE FOOTINGS AND FOUNDATION WALLS.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE 4" MIN. WITH REINFORCED #3 BARS.
 4. FOOTING SHALL BE A MINIMUM 6" BELOW GRADE OR DOWN TO BEDROCK, IF FOOTINGS DO NOT EXCEED 18" BELOW GRADE, ENGINEERED DESIGN OF APPROVED PROFESSIONAL IS REQUIRED.
 5. ALL FOOTINGS ARE @ DEPT. UNLESS NOTED OTHERWISE.
 6. CONNECT ALL GROUND AND CATHODIC MONITORING DETECTORS TO AN earth DETECTION WIRE.
 7. SHOW ALL NUMBERED NOTES TO DRAWINGS WITH SECTION B & 5.1 O.B.C.
 8. SAVE PROTECTION TO COMPLY WITH SECTION B & 5.1 O.B.C.
 9. DETAIL WITH VENTILATION TO COMPLY WITH SECTION B & 5.1 O.B.C.
 10. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17" TO ANY OBSTACLES MATERIAL AT ALL LEVELS UNLESS OTHERWISE NOTED OTHERWISE.
 11. UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS, ALL UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS, UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS, UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS.
 12. UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS, UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS, UNLESS OTHERWISE PROVIDED WITHIN THESE DRAWINGS.
 13. STRUCTURAL CONCERNS THAT BUILDING OFFICIALS MAY HAVE AND REQUIRE NOTIFICATION FROM A PROFESSIONAL ENGINEER, SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR AND ENGINEER AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND CONFIRM WITH THE BUILDING OFFICIALS.
 14. ALL GROUND PROTECT TO BE SUPPORTED BY A MINIMUM NUMBER OF STUPE FORMING A MINIMUM SPACING LENGTH OF 140MM UNLESS OTHERWISE PROVIDED BY THE BUILDING OFFICIALS.
 15. ALL GROUND PROTECT SHALL BE A MINIMUM 18" BELOW GRADE UNLESS OTHERWISE PROVIDED BY THE BUILDING OFFICIALS.
 16. IF THIS IS TO BE PLACED ABOVE FLOOR/CEILING LEVELS, ENSURE ADEQUATE RESISTANT BARRIERS ARE PROVIDED TO MEET THE REQUIREMENTS OF THE O.B.C.
 17. BUILDING SHALL BE PROVIDED IN BASEMENTS FOR FUTURE INSTALLATION OF GRADE BASED AS PER O.B.C.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS OTHERWISE NOTED OTHERWISE.
 19. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS OTHERWISE NOTED OTHERWISE.
 20. MAKE ALL BRACKETS AND STAYS TO COMPLY WITH O.B.C. S. 14.1.2.
 21. STAFF PUT TO BE COVERED AND STAYS TO COMPLY WITH O.B.C. S. 14.1.2.
 22. MAKE ALL BRACKETS AND STAYS TO COMPLY WITH THE REQUIREMENTS OF O.B.C. S. 14.1.2 AND S. 14.1.3 UNLESS OTHERWISE NOTED OTHERWISE.

No.	DATE	DESCRIPTION	BY

REVISIONS			
No.	DATE	DESCRIPTION	BY

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THESE PLANS WERE DESIGNED IN ACCORDANCE WITH
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FORM THE BASIS FOR PERMIT ISSUANCE AND ANY
DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEMS, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

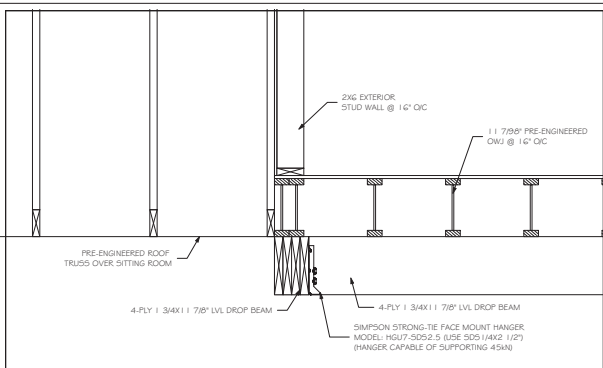
PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

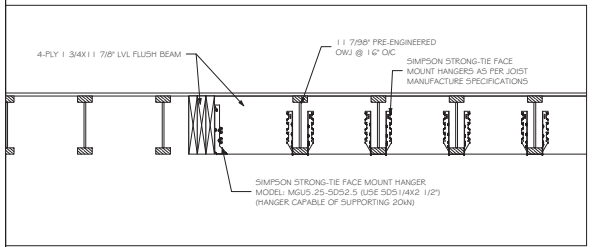
FOR:
BRIAN LACHINE

DRAWING:
**DETAILS
ELECTRICAL PLANS**

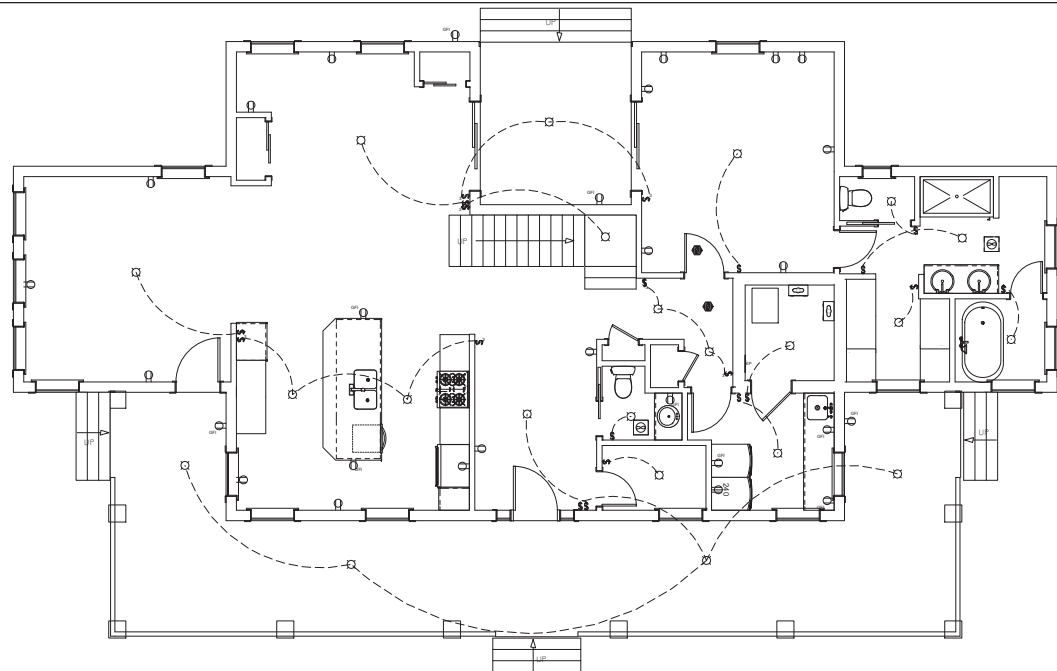
REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A6
ARCH. N/A		
STR. ET	DATE:	
MEC. N/A	Friday, September 17, 2021	
ELE. N/A	SHEET: 6 of 6	
JOB #: 20176		20176



1 LVL DROP BEAM TO DROP BEAM CONNECTION
SCALE: 1" = 1'-0"

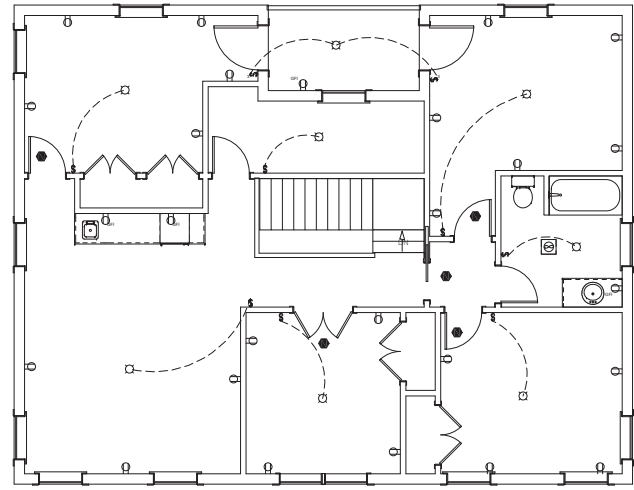


2 LVL FLUSH BEAM TO FLUSH BEAM CONNECTION
SCALE: 1" = 1'-0"



3 MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

SYMBOL	ELECTRICAL LEGEND
(Symbol)	DESCRIPTION
(Symbol)	110 CFM EXHAUST FAN MODEL QTXE 110C
(Symbol)	Ceiling Mounted Light Fixtures: Surface/Pendant
(Symbol)	Wall Mounted Light Fixtures: Flush Mounted
(Symbol)	240V Receptacle
(Symbol)	110V Receptacles: Duplex
(Symbol)	GFI: Ground Fault Receptacles
(Symbol)	Single Pole Switch
(Symbol)	3-Way Switch
(Symbol)	Smoke Alarms w/ visual signaling component as per O.B.C. 9.10.19.1.1.2) and CO2 detector



4 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



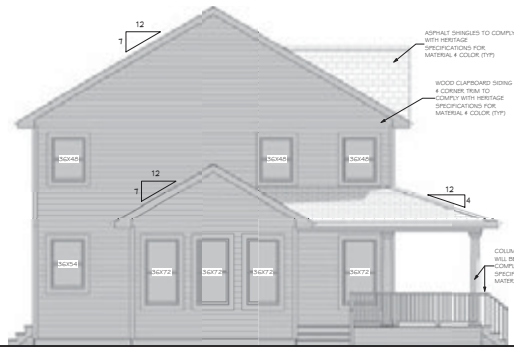
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- GENERAL NOTES:
1. DRAWINGS SHALL BE CONSTRUCTED ON COMPACTED GRANULAR FILL (G-1) TO BE LAYED UP TO AND COMPACTED TO 95% STD. PROCCES.
 2. SEE 2016 CONCRETE WITH MINIMUM SLAB OF 4" AND REINFORCED W/ #3 FOR CONCRETE FOOTINGS AND FOUNDATION WALLS.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE SET WITH SLOPED GRAD OF 1%.
 4. FOOTING SHALL BE A MINIMUM OF 4" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND TO BED GRADE, ENGINEERED DESIGN OF APPROPRIATE PROTECTIVE IS REQUIRED.
 5. ALL FOOTINGS ARE 6" DEEP, UNLESS NOTED OTHERWISE.
 6. CONTACT ALL LOCAL AND CANTON MUNICIPAL DEPARTMENTS TO OBTAIN ANY PERMITS AND TO OBTAIN ALL NECESSARY APPROVALS.
 7. SAVE PROTECTION TO COMPLY WITH SECTION 9.2.6.1.1 O.B.C.
 8. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH SECTION 9.2.6.1.1 O.B.C.
 9. METALLIC VENTILATION TO COMPLY WITH SECTION 9.1.8.1 O.B.C.
 10. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17" TO ANY COMBUSTIBLE MATERIAL AT THE POINT OF ENTRY OF THE VENTILATION RANGE, AS WELL AS 30" CLEAR HEIGHT ABOVE THE RANGE UNLESS OTHERWISE PROVIDED.
 11. ALL WELDED JOINTS FOR STEEL, EXCEPT STAINLESS STEEL, SHALL BE WELDED TO BE PRESSURE WELDED.
 12. STRUCTURAL CONDITIONS THAT BUILDING OFFICIALS MAY HAVE AND REQUIRE NOTIFICATION FROM A PROFESSIONAL ENGINEER, ARCHITECT OR PROFESSIONAL DESIGNER AND MAKE THE CONTRACTOR RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND APPROVALS FROM THE BUILDING DEPARTMENT.
 13. ALL GARAGE FLOORS TO BE SUPPORTED BY A MINIMUM NUMBER OF STILES FORMING A SQUARE UNDER THE STILES SHALL BE REINFORCED WITH #4 BARS AT 18" O.C. EVERY 4' UNLESS OTHERWISE PROVIDED.
 14. IF ANY GARAGE FLOOR IS TO BE PLACED ON A LEVEL OR TRANSFER THE FINISHED FLOOR FROM THE GARAGE FLOOR DOWN TO A LEVEL, THE CONTRACTOR MUST CONTACT PROFESSIONAL DESIGNER TO VERIFY WITH PANEL.
 15. IF TO BE PLACED ABOVE BATHROOMS, ENSURE MODULAR RESISTANT BATHING PROTECTED TO THE REQUIREMENTS OF THE O.B.C.
 16. BUILDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF GRADE BASED AS PER O.B.C.
 17. BUILDING SHALL BE COVERED BY CONTRACTOR PRIOR TO COVERING MATERIALS.
 18. ALL ELECTRICAL TO BE COVERED BY OWNER PRIOR TO COVERING MATERIALS.
 19. IF BATHROOM GRABBAR IS TO BE INSTALLED TO COMPLY WITH SECTION 9.1.4.2.
 20. STAIR FET TO BE COVERED AND STAIRS TO COMPLY WITH O.B.C. 9.1.4.2.
 21. STAIR NUMBER ARE TO COMPLY TO THE REQUIREMENTS OF O.B.C. 9.1.4.2 WITH T2 AND 9.1.10.10 O.B.C.



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/ EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN FLOOR
MAIN FLOOR AREA = 1691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1304 FT² (121.25M²)
TOTAL = 2995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)
TOTAL = 833 FT² (77.45M²)



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
SCALE: 3/16" = 1'-0"

No.	DATE	REVISION	BY

REVISIONS

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FOR ALL DIMENSIONS AND SHALL REPORT ANY DIS-
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WITH ANY WORK.

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WITH THE ONTARIO BUILDING CODE. THESE PLANS
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DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEMS, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
ELEVATIONS

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A1
ARCH. N/A		
STR. ET		
MEC. N/A	DATE:	
ELE. N/A	Friday, September 17, 2021	
JOB #: 20176	SHEET: 1 of 6	20176

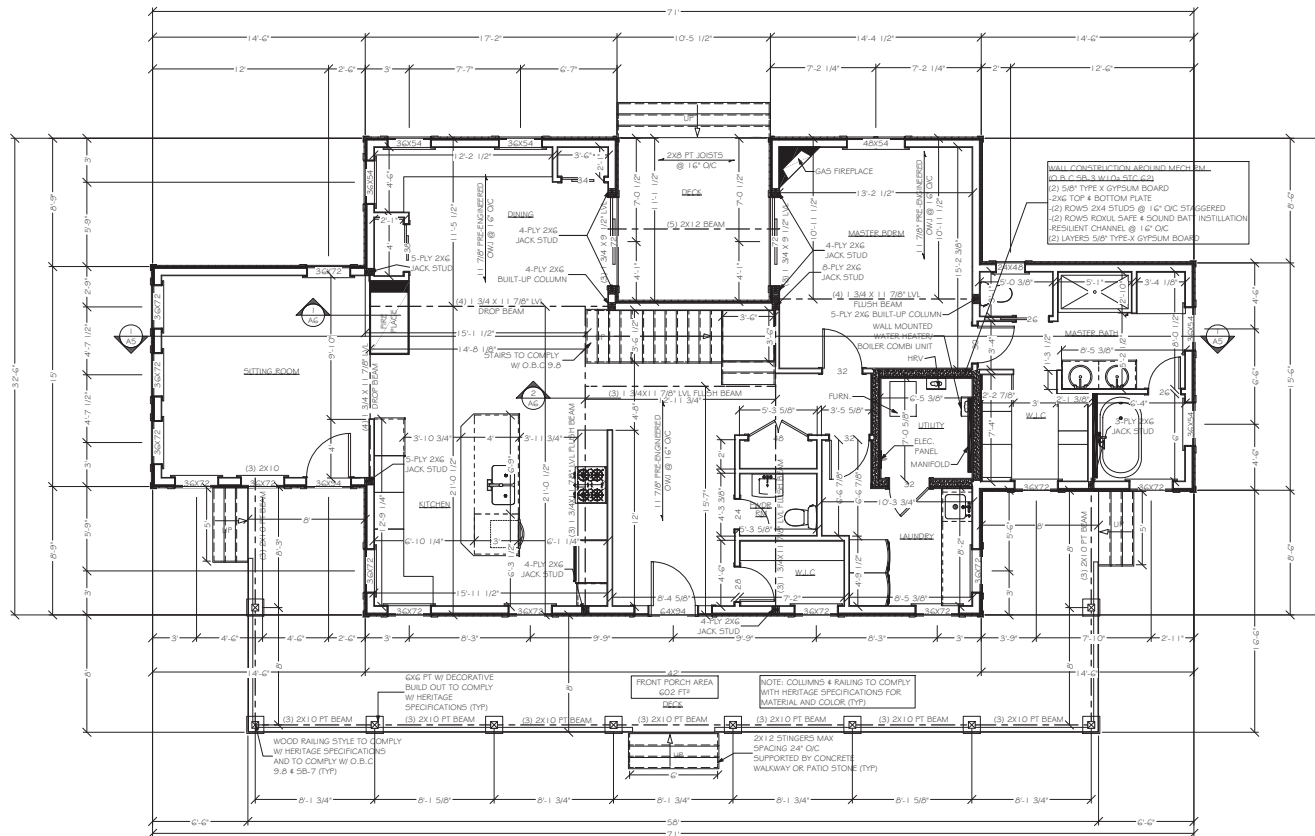


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- GENERAL NOTES:**
- FOUNDATION WALL AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR FILL (GENERAL) & TO BE LAPPED UP AND COMPACTED TO ONE SIDE. PROTECT.
 - 200 TO 300 MPa CONCRETE WITH MINIMUM SLAB OF 4" AND REINFORCED W/ #3 @ 12" O.C. CONCRETE FOOTINGS AND FOUNDATION WALLS.
 - ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE 200 MPa WITH REINFORCED W/ #3 @ 12" O.C.
 - FOOTING WALLS TO BE A MINIMUM OF 8" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND TO BELOW GRADE, ENHANCED DESIGN OF APPROVED PROFESSIONAL ENGINEER IS REQUIRED.
 - ALL FOOTINGS ARE 4" DEEP, UNLESS NOTED OTHERWISE.
 - CONNECT ALL GABLES AND CARSON MEMBERS TO DETACH TO ALARM. ANY DETECTION WILL SOUND ALL ALARMS.
 - SAVE PROTECTION TO COMPLY WITH SECTION 9.2 & 5.1 O.B.C.
 - ALL UNFINISHED AREAS UNLESS NOTED OTHERWISE.
 - MINIMUM ATTIC VENTILATION TO COMPLY WITH SECTION 9.19 - O.B.C.
 - INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17.3" TO ANY COMBUSTIBLE MATERIAL AT THE POINT OF ENTRY OF THE DUCT THROUGH THE ROOF AS WELL AS 30" CLEAR HEIGHT ABOVE THE RANGE UNLESS OTHERWISE PROTECTED.
 - ALL UNFINISHED AREAS UNLESS NOTED OTHERWISE.
 - STRUCTURAL CONCRETE THAT IS BUILDING OFFICIAL MAY HAVE AND REQUIRE HORIZONTAL FROM A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL VERIFY WITH THE PROFESSIONAL ENGINEER AND MAKE THE APPROPRIATE. THE CONTRACTOR CAN REFER TO SECTION 9.19 - O.B.C. FOR MORE INFORMATION. THE CONTRACTOR SHALL VERIFY WITH THE PROFESSIONAL ENGINEER.
 - ALL GABLES MUST BE SUPPORTED BY A MINIMUM NUMBER OF STUDS FORMING A SQUARE UNDER THE STUDS. ALL STUDS SHALL BE AT LEAST 10" DIA. UNLESS OTHERWISE NOTED. UNLESS OTHERWISE PROTECTED.
 - IF ALL GABLES REQUIRING STUDS AS ABOVE, THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY WITH ROOF.
 - IF TO BE PLACED ABOVE FLOOR/ROOF LEVELS, INSURE MOISTURE RESISTANT BARRIERS ARE PROVIDED AS PER THE REQUIREMENTS OF THE B.C.C.
 - BUILDING SHALL BE COVERED BY CONTRACTOR PRIOR TO INSTALLATION OF GROUND BARS AS PER O.B.C.
 - ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING OVERLAYS.
 - 30" DIA. RAIN WATER DRAINAGE AND PIPES TO COMPLY WITH SECTION 9.19 - O.B.C.
 - SLAB FTG TO BE COVERED AND STAYS TO COMPLY WITH O.B.C. 9.14 & 9.2.
 - SLAB BARS ARE TO COMPLY TO THE REQUIREMENTS OF 9.2.3, 9.2.4, 9.2.5, 9.2.6, 9.2.7 AND 9.2.10 TO 10.0.0 O.B.C.



NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/ EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN HOUSE
MAIN FLOOR AREA = 1 691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1 304 FT² (121.25M²)
TOTAL = 2 995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)
TOTAL = 833 FT² (77.45M²)

No.	DATE	DESCRIPTION	BY
REVISIONS			



DRAWINGS MUST NOT BE SCALED
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
MAIN FLOOR PLAN

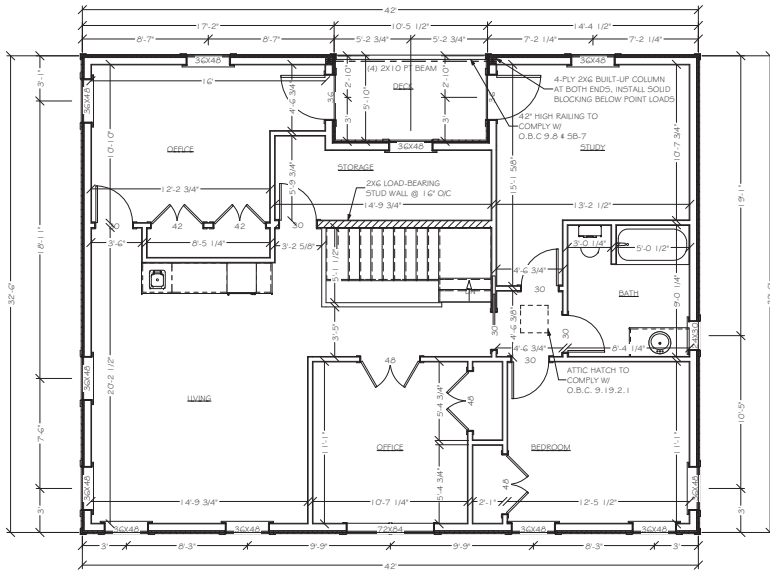
REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A2
ARCH. N/A		
STR. ET		
MEC. N/A		
ELE. N/A		
DATE:		
Friday, September 17, 2021		
JOB #:	SHEET: 2 of 6	20178



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- GENERAL NOTES:
1. DRAWINGS AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR FILL OR GRANULAR FILL TO BE LIFTED AND COMPACTED TO 95% PRODD.
 2. 200 EPS CONCRETE WITH MINIMUM SLAB OF 4" AND REINFORCED W/ #3 @ 18" OC.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE 4" MIN WITH REINFORCED #3 @ 18".
 4. FOOTING SHALL BE A MINIMUM OF 6" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND TO BELOW GRADE, ENGINEERED DESIGN OF APPROVED PROFESSIONAL IS REQUIRED.
 5. ALL FOOTINGS ARE 4' DEEP, UNLESS NOTED OTHERWISE.
 6. CONTACT ALL GARAGE AND CARPORT MONITOR DETECTORS TO ALARM. ANY DETECTOR WILL SOUND ALL ALARMS.
 7. SAVE PROTECTION TO COMPLY WITH SECTION 9.2 & 5.1 O.B.C.
 8. SAVE PROTECTION TO COMPLY WITH SECTION 9.2 & 5.1 O.B.C.
 9. ALL GARAGE AND CARPORT MONITOR DETECTORS TO BE INSTALLED IN ACCORDANCE WITH SECTION 9.2 & 5.1 O.B.C.
 10. RETAIN ATTIC VENTILATION TO COMPLY WITH SECTION 9.19.1 O.B.C.
 11. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17.5" TO ANY COMBUSTIBLE MATERIAL AT THE POINT OF ENTRY TO THE ATTIC FROM THE GARAGE, AS WELL AS AT EACH POINT ABOVE THE GARAGE UNLESS OTHERWISE SPECIFIED.
 12. ALL WOOD USED FOR DECK, TRUSS, STAIRS, STAIRS AND ATTIC RAILING TO BE PRESSURE TREATED.
 13. STRUCTURAL CONCERNS THAT BUILDING OFFICIALS MAY HAVE AND REQUIRE HORIZONTAL FROM A PROFESSIONAL ENGINEER WITH A MINIMUM OF 20% OVER THE VERTICAL. THE CONTRACTOR SHALL VERIFY AND MAKE THE NECESSARY CORRECTIONS TO THE DRAWINGS AND MAKE THE NECESSARY CORRECTIONS TO THE DRAWINGS AND MAKE THE NECESSARY CORRECTIONS TO THE DRAWINGS AND MAKE THE NECESSARY CORRECTIONS TO THE DRAWINGS.
 14. ALL GARAGE TRUSSES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUCCO WALLS. ALL GARAGE TRUSSES REQUIRE A MINIMUM DEPTHS LENGTH OF 140mm UNLESS OTHERWISE SPECIFIED BY THE PROFESSIONAL ENGINEER.
 15. IF AN AIR CURTAIN IS REQUIRED FROM A GARAGE TO PREVENT THE SPREAD OF FIRE FROM THE GARAGE TRUSS DOWN TO A LEVEL, THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY WITH CODE.
 16. IF TRUSSES TO BE PLACED ABOVE FLOOR/ROOF LEVELS, ENSURE MODULAR RESISTANT BASKING IS PROVIDED FOR THE REQUIREMENTS OF THE B.C.C.
 17. BUILDING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AS PER B.C.C.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING WALLS/CEILING.
 19. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO COVERING ELECTRICAL COMPONENTS AND TO BE INSTALLED TO COMPLY WITH SECTION 9.14.2 O.B.C.
 20. STAIR FLOOR TO BE COVERED AND STAIRS TO COMPLY WITH SECTION 9.14.2 O.B.C.
 21. STAIR FLOOR TO BE COVERED AND STAIRS TO COMPLY WITH SECTION 9.14.2 O.B.C.
 22. STAIR BALUNES ARE TO COMPLY TO THE REQUIREMENTS OF SECTION 9.14.2 O.B.C. WITH 7.2 AND 9.10 TO 10.0 O.B.C.



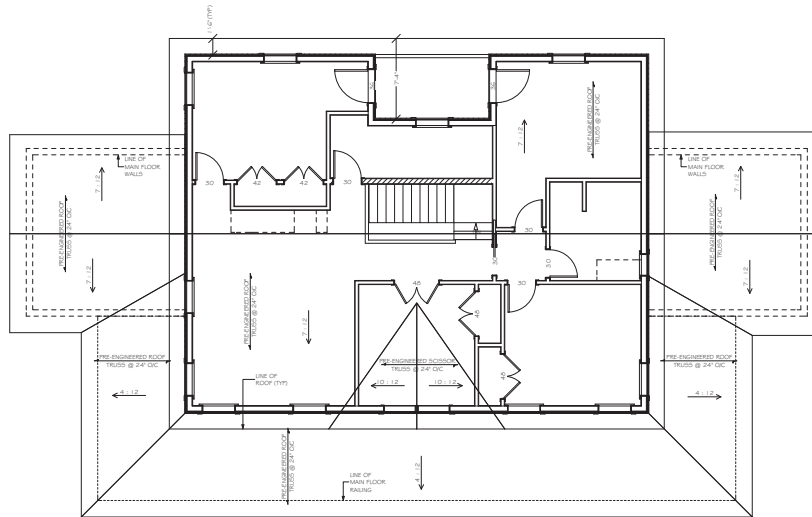
NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN HOUSE
MAIN FLOOR AREA = 1 691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1 304 FT² (121.25M²)
TOTAL = 2 995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 4 16.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 4 16.5 FT² (38.72M²)
TOTAL = 8 33 FT² (77.45M²)

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 ROOF PLAN
SCALE: 3/16" = 1'-0"

No.	DATE	DESCRIPTION	BY
REVISIONS			



DRAWINGS MUST NOT BE SCALED
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CREPANCY TO THE ENGINEER BEFORE PROCEEDING
WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH
THE ONTARIO BUILDING CODE. THESE PLANS
FORM THE BASIS FOR PERMIT ISSUANCE AND ANY
DEVIATIONS FROM THESE PLANS AND DETAILS,
INCLUDING THE VENTILATION SYSTEMS, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
**SECOND FLOOR PLAN
ROOF PLAN**

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	as shown	A3
ARCH. N/A		
STR. ET		
MEC. N/A	DATE:	
ELE. N/A	Friday, September 17, 2021	
JOB #: 20176	SHEET: 3 of 6	20176



31 HILLDALE AVE
KINGSTON, ONTARIO
K7M 1S2
TEL: 613 531-7873
CEL: 613 561-3428
FAX: 613 531-0602

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/
EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

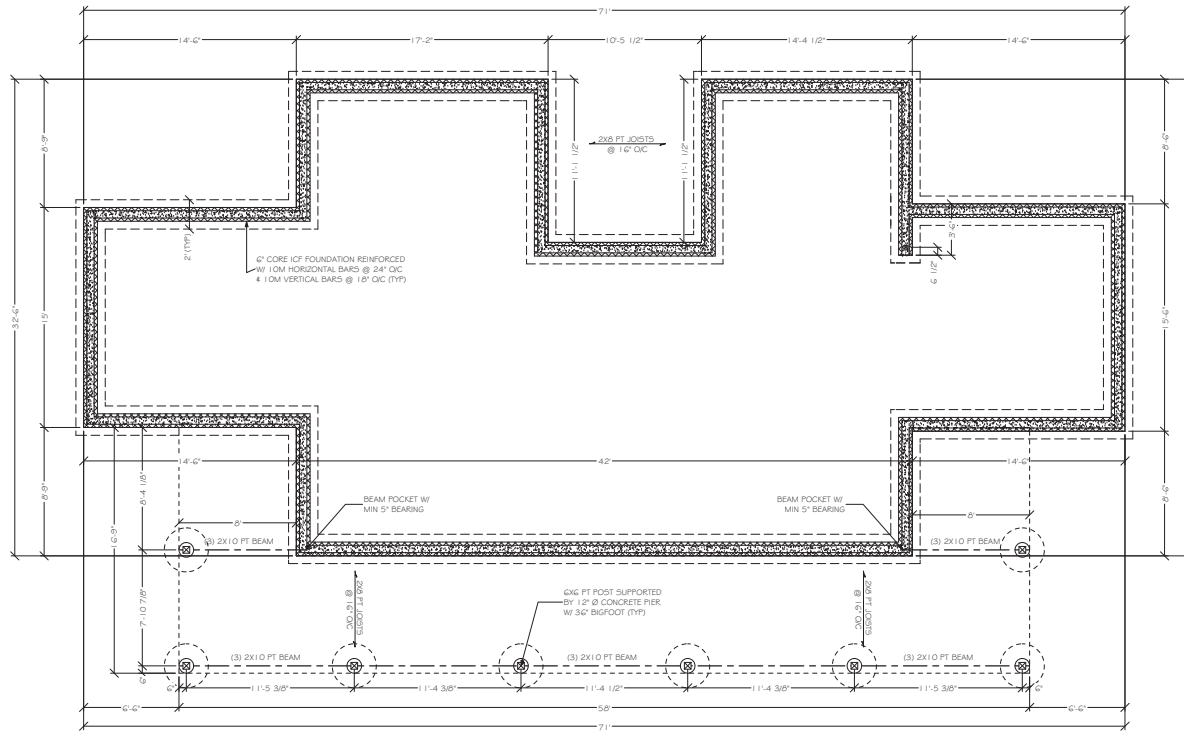
MAIN HOUSE
MAIN FLOOR AREA = 1691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1324 FT² (123.123M²)

TOTAL = 2995 FT² (278.50M²)

NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF
FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)

TOTAL = 833 FT² (77.45M²)

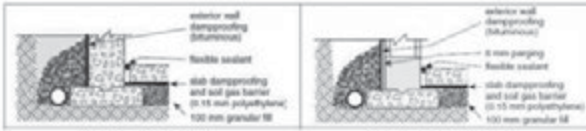


- Option 2**
1. A soil gas barrier on the foundation walls (bituminous damproofing) in conformance with Division B, 9.13.4.2 (3), and
 2. under the basement floor slab using 6 mil polyethylene lapped not less than 300mm in conformance with Figures SB-9A or SB-9B of SB-9, and
 3. sealing along the perimeter of the basement floor slab and at all penetrations using flexible sealant (polyurethane caulking) in conformance with Division B, 9.13.4.2.(4)(a) and SB-9.

Please note: spray foam can be substituted as a radon gas barrier under basement floor slabs where installed in conformance with CCMC Evaluation Report 14073-R.

Please note: where an ICF foundation is being used, and radon option 2 or 3 is chosen, replace "bituminous damproofing" with "waterproofing membrane" approved for installation over ICF foundations.

Option 2 and 3: Damproofing and Soil Gas Control at floor and wall junctions



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- GENERAL NOTES:
1. DRAWINGS SHALL BE CONSTRUCTED ON COMPACTED GRANULAR FILL AS SHOWN AND TO BE LIFTED AND COMPACTED TO 95% PRODD.
 2. ALL EXTERIOR CONCRETE SHALL BE FINISHED TO A FINISH GRADE AS SHOWN AND TO BE LIFTED AND COMPACTED TO 95% PRODD.
 3. ALL EXTERIOR CONCRETE SHALL INCLUDE STEEL FLOOR SLABS, AND GARAGE SLABS TO BE LIFTED AND COMPACTED TO 95% PRODD.
 4. FOOTING SHALL BE A MINIMUM OF 6" BELOW GRADE OR DOWN TO BEDROCK, IF FOOTINGS DO NOT EXCEED THE FINISH GRADE, FINISHED GRADE SHALL BE AT LEAST 6" BELOW FINISH GRADE.
 5. ALL FOOTINGS SHALL BE 6" DEEP, UNLESS NOTED OTHERWISE.
 6. CONNECT ALL STEEL AND CONCRETE MEMBERS TO NORMAL ANY DETECTION WILL BE REPAIRED.
 7. STAIRS SHALL BE CONFORM TO DIVISION B SECTION 9.13.5.1.0.8.C.
 8. SAVE PROTECTION TO COMPLY WITH SECTION 9.13.5.1.0.8.C.
 9. ALL UNLESS NOTED OTHERWISE.
 10. ALL UNLESS NOTED OTHERWISE.
 11. INTERNAL ATTIC VENTILATION TO COMPLY WITH SECTION 9.13.5.1.0.8.C.
 12. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17.5mm TO ANY COMBUSTIBLE MATERIAL AT THE END OF THE INSULATION FROM THE FINISH GRADE AS WELL AS ANY LIGHT ABOVE THE FINISH GRADE.
 13. ALL UNLESS NOTED OTHERWISE.
 14. ALL UNLESS NOTED OTHERWISE.
 15. ALL UNLESS NOTED OTHERWISE.
 16. IF THE G.I. TO BE PLACED AROUND TUBES/PIPELINES, INSURE SUFFICIENT RESISTANT DAMPING IS PROVIDED TO MEET THE REQUIREMENTS OF THE B.C.C.
 17. BUILDING SHALL BE PROVIDED IN BASEMENTS FOR FUTURE INSTALLATION OF GRADE BASED AIR CONDITIONING.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS NOTED OTHERWISE.
 19. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS NOTED OTHERWISE.
 20. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS NOTED OTHERWISE.
 21. SLAB FTG TO BE COVERED AND SEALED TO COMPLY WITH SECTION 9.13.4.2.
 22. THESE DRAWINGS ARE TO COMPLY TO THE REQUIREMENTS OF SECTION 9.13.4.2.1.0.8.C. AND 9.13.4.2.1.0.8.C.

No.	DATE	DESCRIPTION	BY
REVISIONS			



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INCLUDING THE VENTILATION SYSTEM, HEATING
SYSTEM, WOODSTOVE, FIREPLACES, DECKS,
BALCONIES AND FINISHED BASEMENTS WILL REQUIRE
A REVISED DRAWING AND CLEARANCE BY THE
BUILDING DEPARTMENT.

PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

FOR:
BRIAN LACHINE

DRAWING:
FOUNDATION PLAN

REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A4
ARCH. N/A		
STR. ET	DATE:	
MEC. N/A	Friday, September 17, 2021	
ELE. N/A		
JOB #: 20176	SHEET: 4 of 6	20176



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 2. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE FOOTINGS AND FOUNDATION WALLS.
 3. ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE CONCRETE.
 4. FOOTING SHALL BE A MINIMUM 6" BELOW GRADE OR DOWN TO BEDROCK, IF FOOTINGS DO NOT EXTEND TO BELOW GRADE, ENGINEERED DESIGN OF APPROVED PROFESSIONAL IS REQUIRED.
 5. ALL FOOTINGS ARE @ DEEP, UNLESS NOTED OTHERWISE.
 6. CONNECT ALL SAGRETS AND CARBON MONOXIDE DETECTORS TO ALARM. ANY DETECTION WILL SOUND ALL ALARMS.
 7. SAGRETS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.2.6.5.1.0.8.C.
 8. SAGRETS PROTECTED TO COMPLY WITH SECTION 9.2.6.5.1.0.8.C.
 9. DETAIL WITH VENTILATION TO COMPLY WITH SECTION 9.19.1.0.8.C.
 10. INSURE THAT THERE IS A MINIMUM CLEARANCE OF 17" TO ANY COMBUSTIBLE MATERIAL AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 11. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD UNLESS NOTED OTHERWISE.
 12. UNLESS OTHERWISE PROVIDED WITHIN THESE AND OTHER DRAWINGS TO BE PREPARED BY THE ENGINEER.
 13. STRUCTURAL CONCERNS THAT A BUILDING OFFICIAL MAY HAVE AND REQUIRE NOTIFICATION FROM A PROFESSIONAL ENGINEER, SHALL REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER AND SHALL BE NOTED. THE CONTRACTOR SHALL NOTIFY THE BUILDING OFFICIAL AND SHALL BE SUPPORTED BY A MINIMUM NUMBER OF STUDIES FORMING A SOUND ENGINEERING OPINION AS REQUIRED BY THE BUILDING OFFICIAL. UNLESS OTHERWISE PROVIDED WITHIN THESE AND OTHER DRAWINGS TO BE PREPARED BY THE ENGINEER.
 14. ALL SAGRETS SHALL BE A MINIMUM 6" BELOW GRADE OR DOWN TO BEDROCK, IF SAGRETS DO NOT EXTEND TO BELOW GRADE, ENGINEERED DESIGN OF APPROVED PROFESSIONAL IS REQUIRED TO VERIFY WITH FOUNDATION.
 15. IF THE SAGRETS ARE TO BE PLACED ABOVE FLOOR/CEILING LEVELS, INSURE ADEQUATE RESISTANT BACKING IS PROVIDED TO MEET THE REQUIREMENTS OF THE O.B.C.
 16. BACKING SHALL BE PROVIDED IN BASEMENTS FOR FUTURE INSTALLATION OF SAGRETS AS PER O.B.C.
 17. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS OTHERWISE NOTED.
 18. ALL ELECTRICAL TO BE COMPLETED BY CONTRACTOR PRIOR TO OCCUPANCY UNLESS OTHERWISE NOTED.
 19. SAGRETS SHALL BE COVERED AND SEALED TO COMPLY WITH O.B.C. 9.14.2.2.
 20. SAGRETS SHALL BE COVERED AND SEALED TO COMPLY WITH O.B.C. 9.14.2.2.
 21. SAGRETS SHALL BE COVERED AND SEALED TO COMPLY WITH O.B.C. 9.14.2.2.
 22. SAGRETS SHALL BE COVERED AND SEALED TO COMPLY WITH O.B.C. 9.14.2.2.

No.	DATE	DESCRIPTION	BY
REVISIONS			



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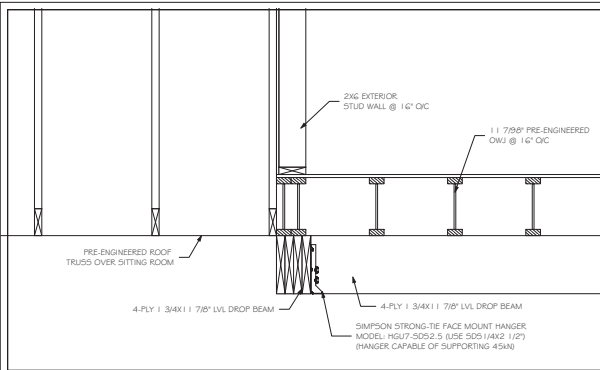
PROJECT:
PROPOSED RESIDENCE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

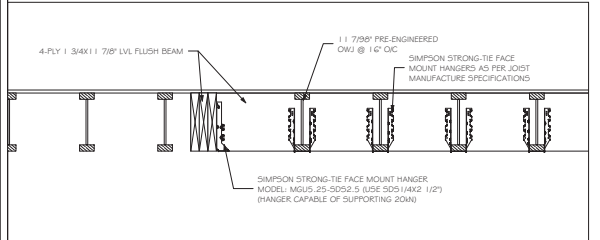
FOR:
BRIAN LACHINE

DRAWING:
DETAILS ELECTRICAL PLANS

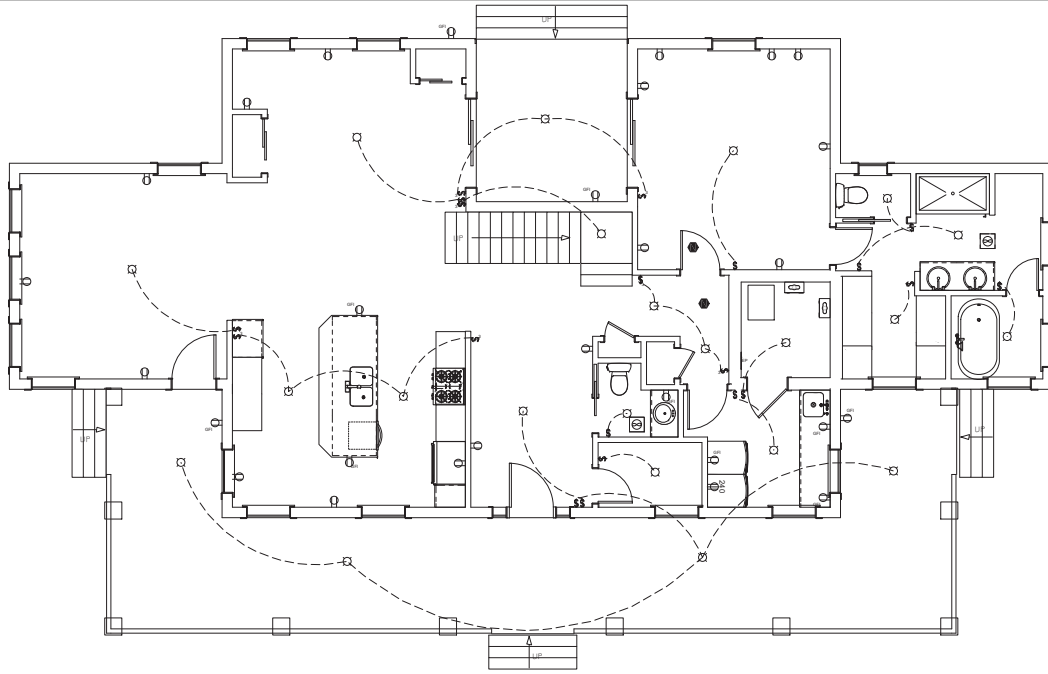
REVIEWED BY:	SCALE	DRAWING No.
DEPT. NAME	1/4" = 1'-0"	A6
ARCH. N/A		
STR. ET	DATE:	
MEC. N/A	Friday, September 17, 2021	
ELE. N/A		
JOB #: 20176	SHEET: 6 of 6	20176



1 LVL DROP BEAM TO DROP BEAM CONNECTION
SCALE: 1" = 1'-0"

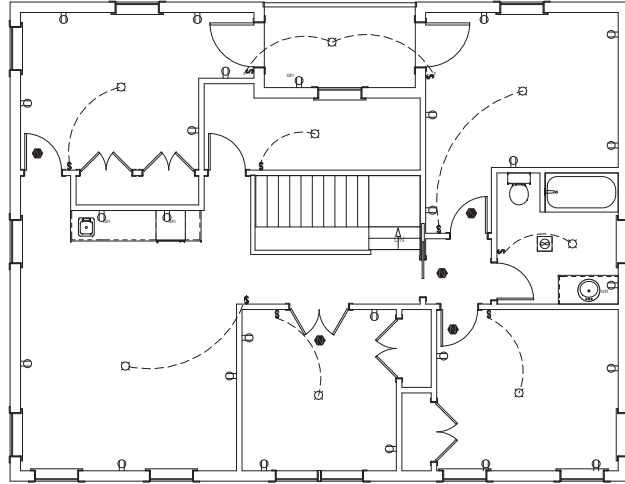


2 LVL FLUSH BEAM TO FLUSH BEAM CONNECTION
SCALE: 1" = 1'-0"



3 MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

SYMBOL	ELECTRICAL LEGEND
Ⓢ	DESCRIPTION
Ⓢ	110 CFM EXHAUST FAN MODEL QTXE 110C
Ⓢ	Ceiling Mounted Light Fixtures: Surface/Pendant
Ⓢ	Wall Mounted Light Fixtures: Flush Mounted
Ⓢ	240V Receptacle
Ⓢ	110V Receptacles: Duplex
Ⓢ	GFI: Ground Fault Receptacles
Ⓢ	Single Pole Switch
Ⓢ	3-Way Switch
Ⓢ	Smoke Alarms w/ visual signaling component as per O.B.C. 9.19.1.1(2) and CO2 detector

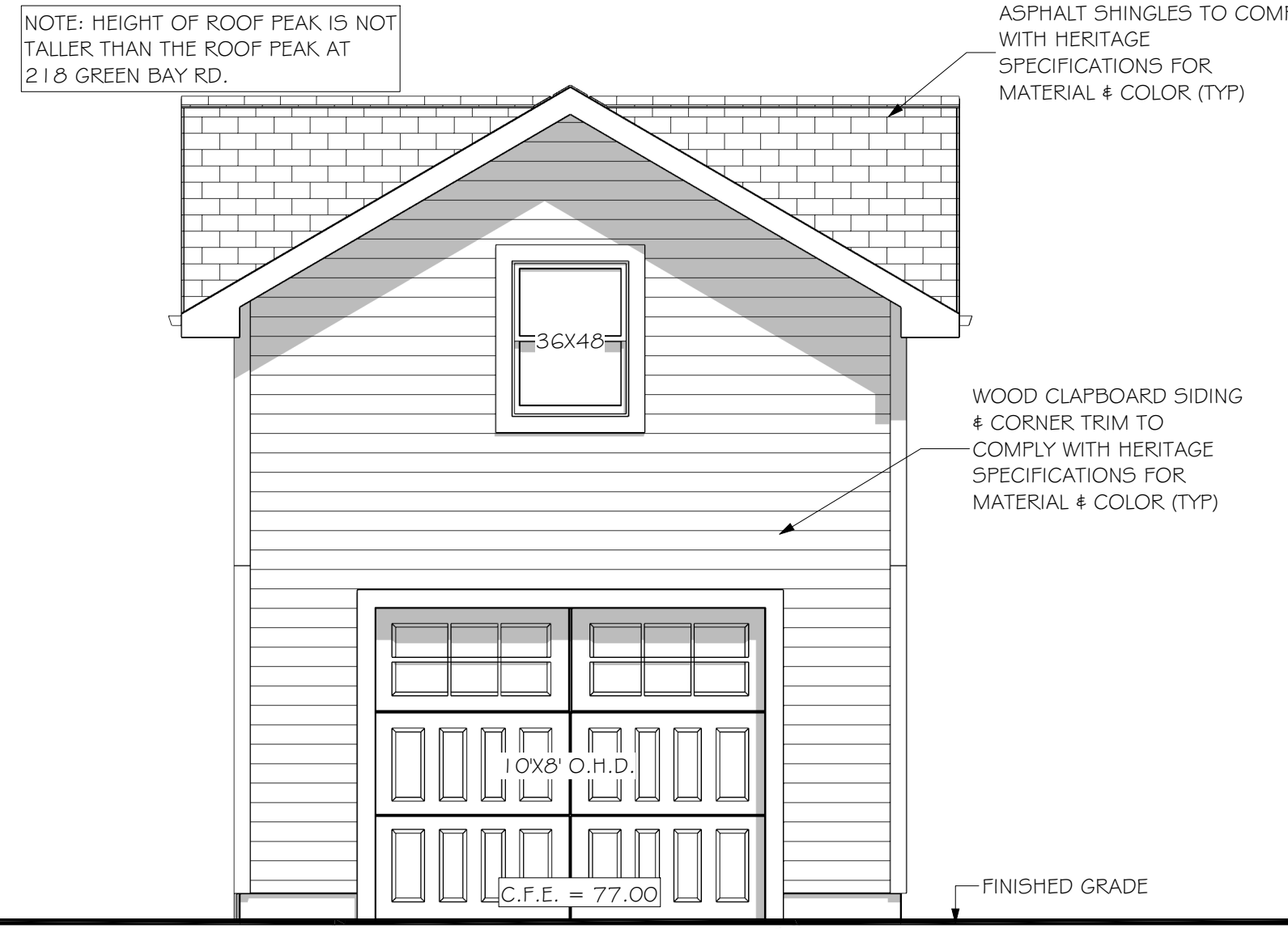


4 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

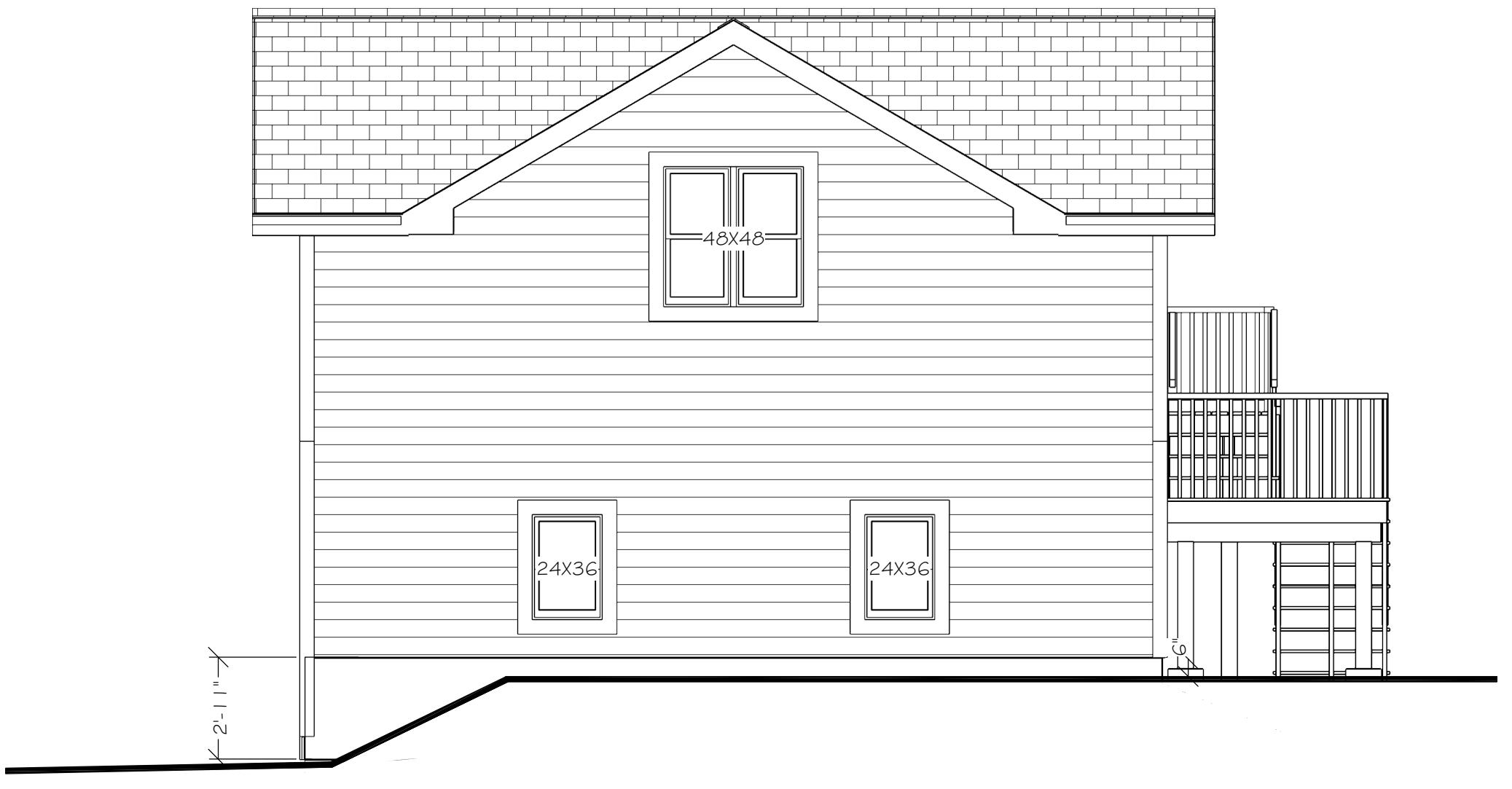


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- GENERAL NOTES:**
- BASEMENT SLAB AND ALL FOOTINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR 'A' GRANULAR 'A' TO BE Laid IN 4" LIFTS AND COMPACTED TO 98% STD. PROCTOR.
 - USE 25 MPa CONCRETE WITH MAXIMUM SLUMP OF 4" AND ENTRAINED AIR OF 5-7% FOR CONCRETE FOOTINGS AND FOUNDATION WALLS.
 - ALL EXTERIOR CONCRETE WORK INCLUDING STEPS, PORCH SLABS, AND GARAGE SLABS TO BE 32 MPa WITH ENTRAINED AIR OF 5-8%.
 - FOOTINGS MUST BE A MINIMUM OF 4" BELOW GRADE OR DOWN TO BEDROCK. IF FOOTINGS DO NOT EXTEND 4" BELOW GRADE, ENGINEER DESIGN OF APPROPRIATE PROST FOOTING IS REQUIRED.
 - ALL FOOTINGS ARE 6" DEEP, UNLESS NOTED OTHERWISE.
 - CONNECT ALL SMOKE AND CARBON MONOXIDE DETECTORS TO ALARM. ANY DETECTION WILL SOUND ALL ALARMS.
 - STAIRS AND HANDRAILS TO CONFORM WITH SECTION 9.4. O.B.C.
 - RAVE PROTECTION TO CONFORM WITH SECTION 9.26.5.1 O.B.C.
 - ALL LINTES ARE 20" O.C. UNLESS NOTED OTHERWISE.
 - INSTALL ATTIC VENTILATION TO CONFORM WITH SECTION 9.19.1. O.B.C.
 - ENSURE THAT THERE IS A MINIMUM CLEARANCE OF 17" FROM ANY COMBUSTIBLE MATERIAL AT EITHER SIDE OF THE KITCHEN STOVE RANGE, AS WELL AS 30" CLEAR HEIGHT ABOVE THE RANGE UNLESS OTHERWISE PROTECTED.
 - ALL WOOD USED FOR DECKS, EXTERIOR STAIRS AND EXTERIOR RAILINGS TO BE PRESSURE TREATED.
 - STRUCTURAL CONCRECS THAT A BUILDING OFFICIAL MAY HAVE AND REQUIRE INSPECTION FROM A PROFESSIONAL ENGINEER, MUST REMAIN EXPOSED UNTIL THE PROFESSIONAL ENGINEER HAS MADE THE INSPECTION. THE CONTRACTOR CAN EXPECT TO DEMOLISH ANY MATERIAL THAT PREVENTS A ADEQUATE INSPECTION OF THE STRUCTURAL ELEMENTS.
 - ALL GIRDER TRUSSES TO BE SUPPORTED BY A MINIMUM NUMBER OF STUDS FORMING A COLUMN HOSE THE STUD WALL AS INDICATED ON TABLE A-35 O.B.C. 7287. ALL GIRDER TRUSSES REQUIRE A MINIMUM BEARING LENGTH OF 140mm UNLESS SPECIFIED OTHERWISE BY THE TRUSS MANUFACTURER.
 - IF ANY GIRDER TRUSSES BEAR ON A LINTEL OR TRANSFER THE APPLIED LOAD FROM THE GIRDER TRUSS DOWN TO A LINTEL. THE CONTRACTOR MUST CONTACT PROFESSIONAL ENGINEER TO VERIFY LINTEL SIZING.
 - IF TILE IS TO BE PLACED AROUND TUBSHOWER UNITS, ENSURE MOISTURE RESISTANT BACKING IS PROVIDED AS PER THE REQUIREMENTS OF THE O.B.C.
 - BLOCKING SHALL BE PROVIDED IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C.
 - ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING MATERIALS.
 - ALL ELECTRICAL TO BE COMPLETED BY OWNER PRIOR TO ORDERING ELECTRICAL COMPONENTS.
 - 20" x 4" DRIP TRAP SEALED AND PRIMED TO COMPLY W/ O.B.C. 9.14.5.2
 - SMALL PIT TO BE COVERED AND SEALED TO COMPLY W/ O.B.C. 9.14.5.2
 - SMOKE ALARMS ARE TO CONFORM TO THE REQUIREMENTS 1.8.5.3, OF NFPA 72 AND 9.10.19.1(2) O.B.C



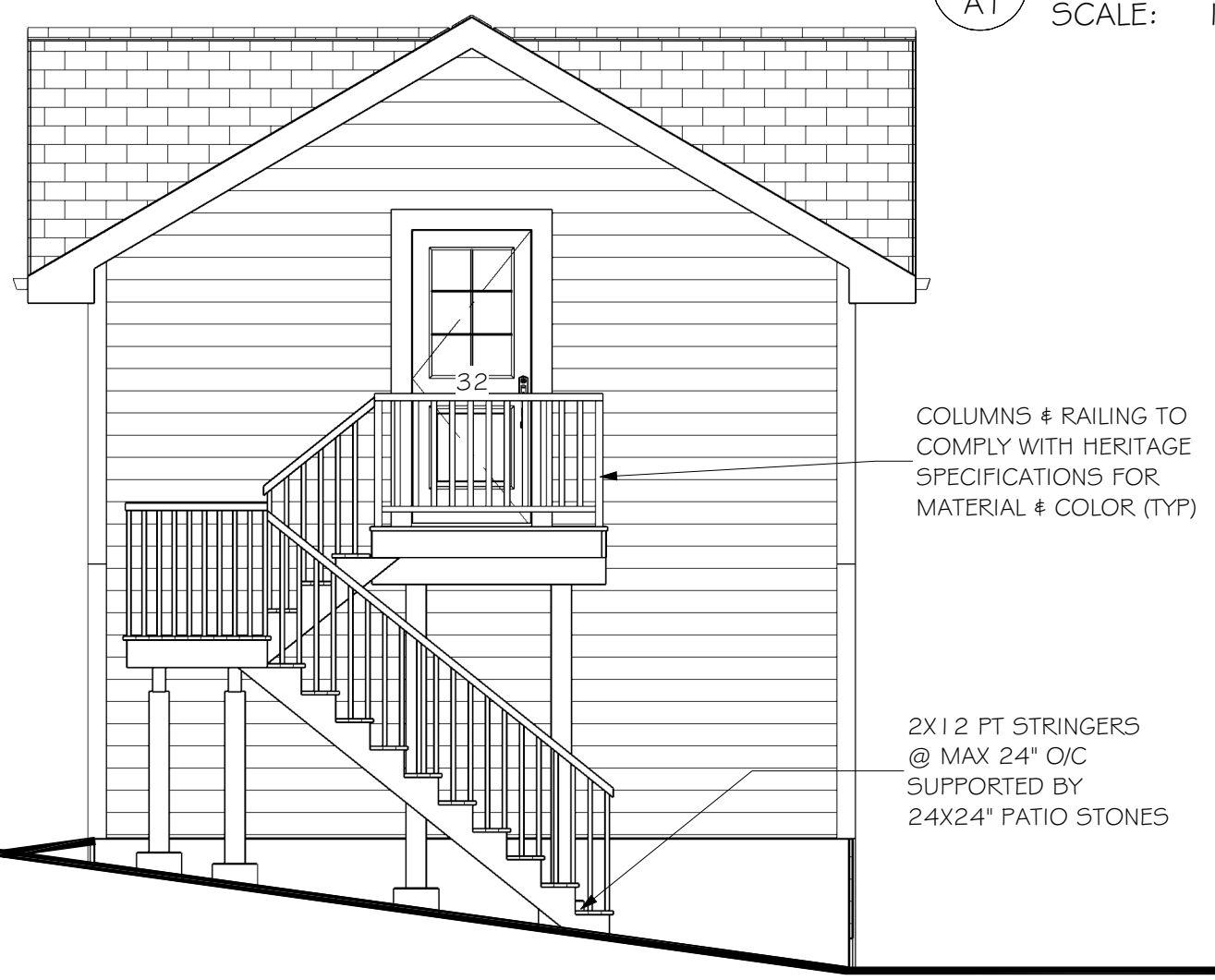
1 WEST ELEVATION
A1 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A1 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
A1 SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
A1 SCALE: 1/4" = 1'-0"

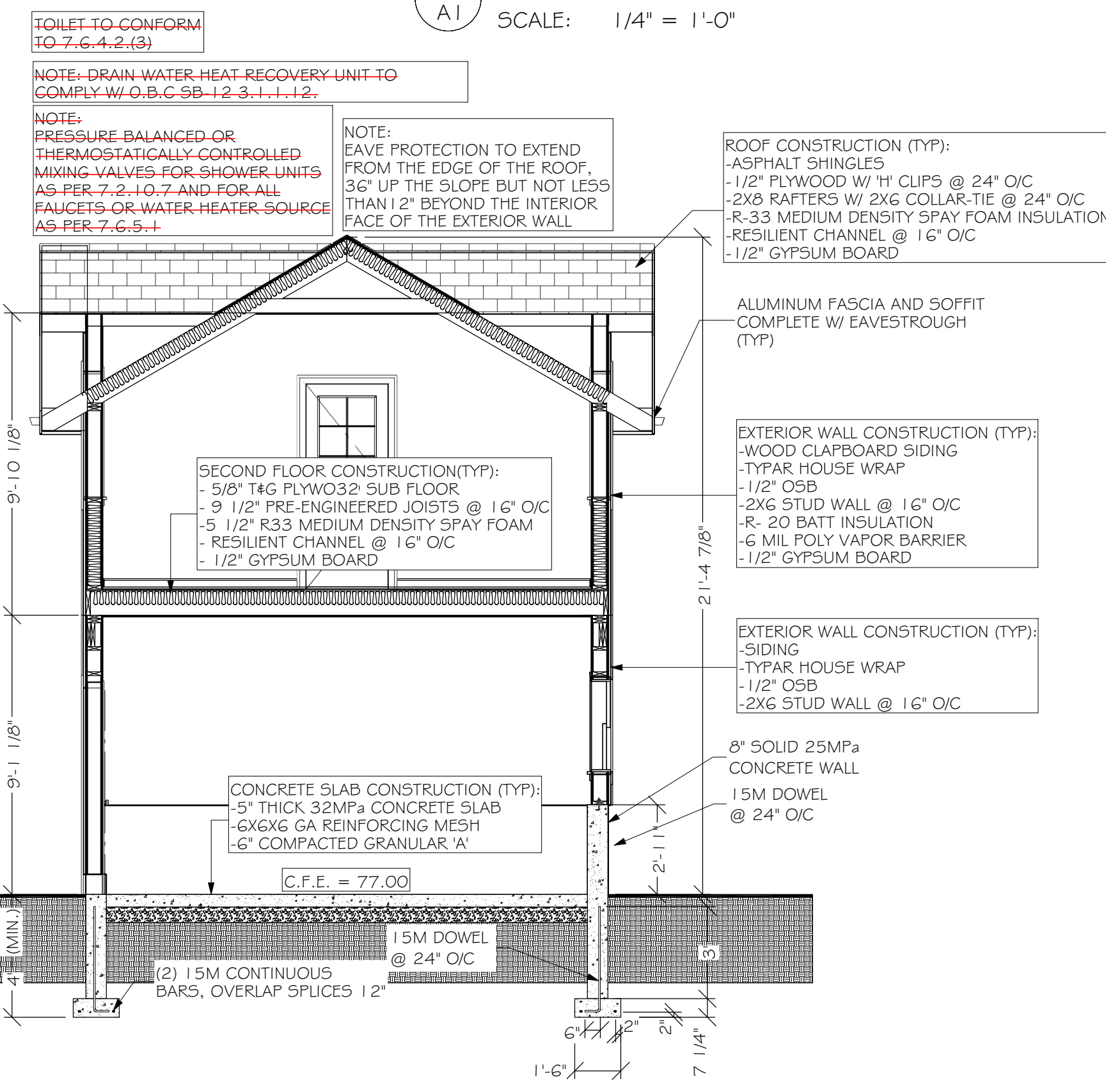
NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF RIGID INSULATION/ EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

MAIN HOUSE
MAIN FLOOR AREA = 1691 FT² (157.23M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 1304 FT² (121.25M²)
TOTAL = 2995 FT² (278.50M²)

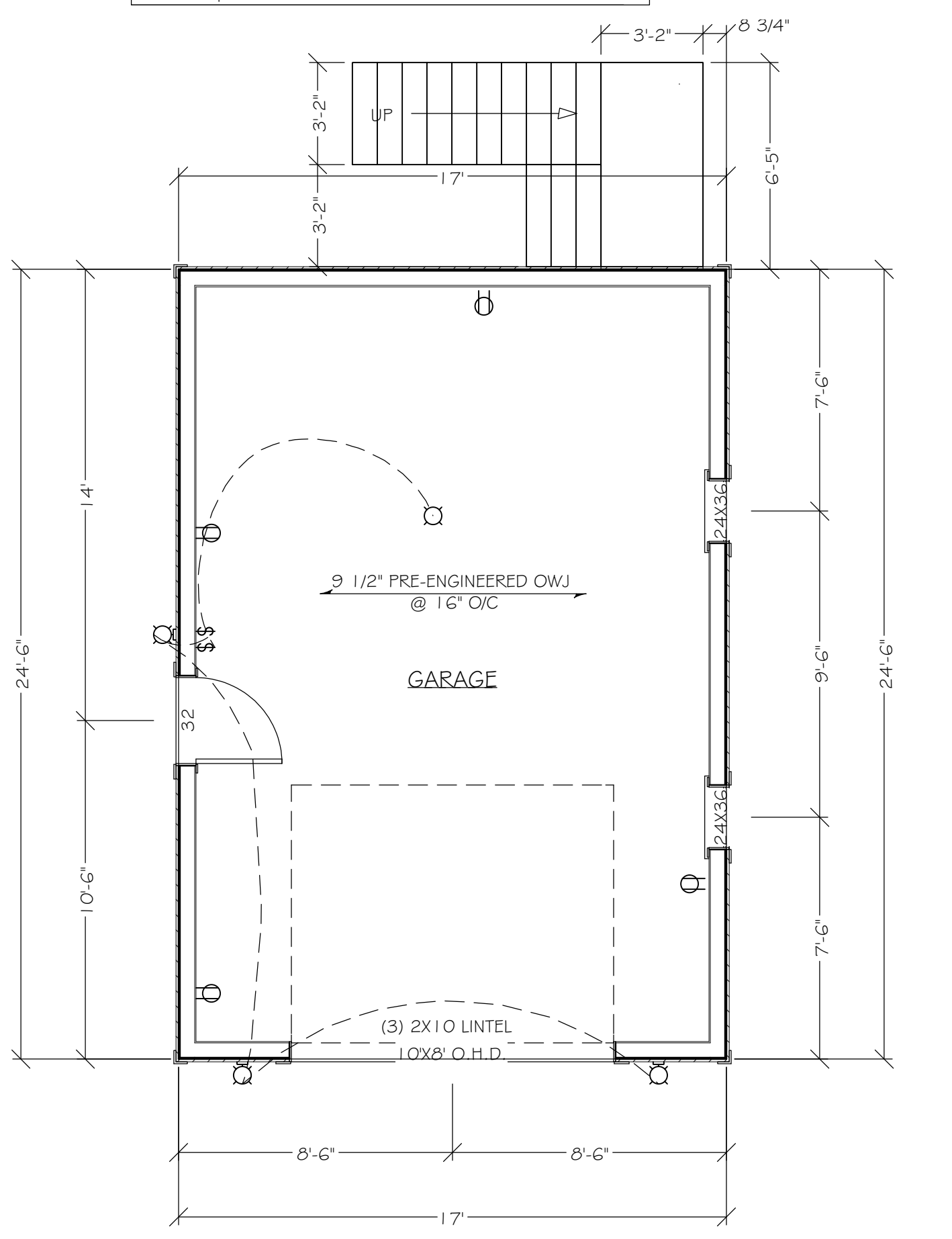
NOTE: ALL AREAS ARE TAKEN FROM EXTERIOR OF SHEATHING/EXTERIOR OF FOUNDATION WALL, AND DO NOT INCLUDE DECKS OR PORCHES

GARAGE
GARAGE FLOOR AREA = 416.5 FT² (38.72M²) (BUILDING FOOTPRINT)
SECOND FLOOR AREA = 416.5 FT² (38.72M²)
TOTAL = 833 FT² (77.45M²)

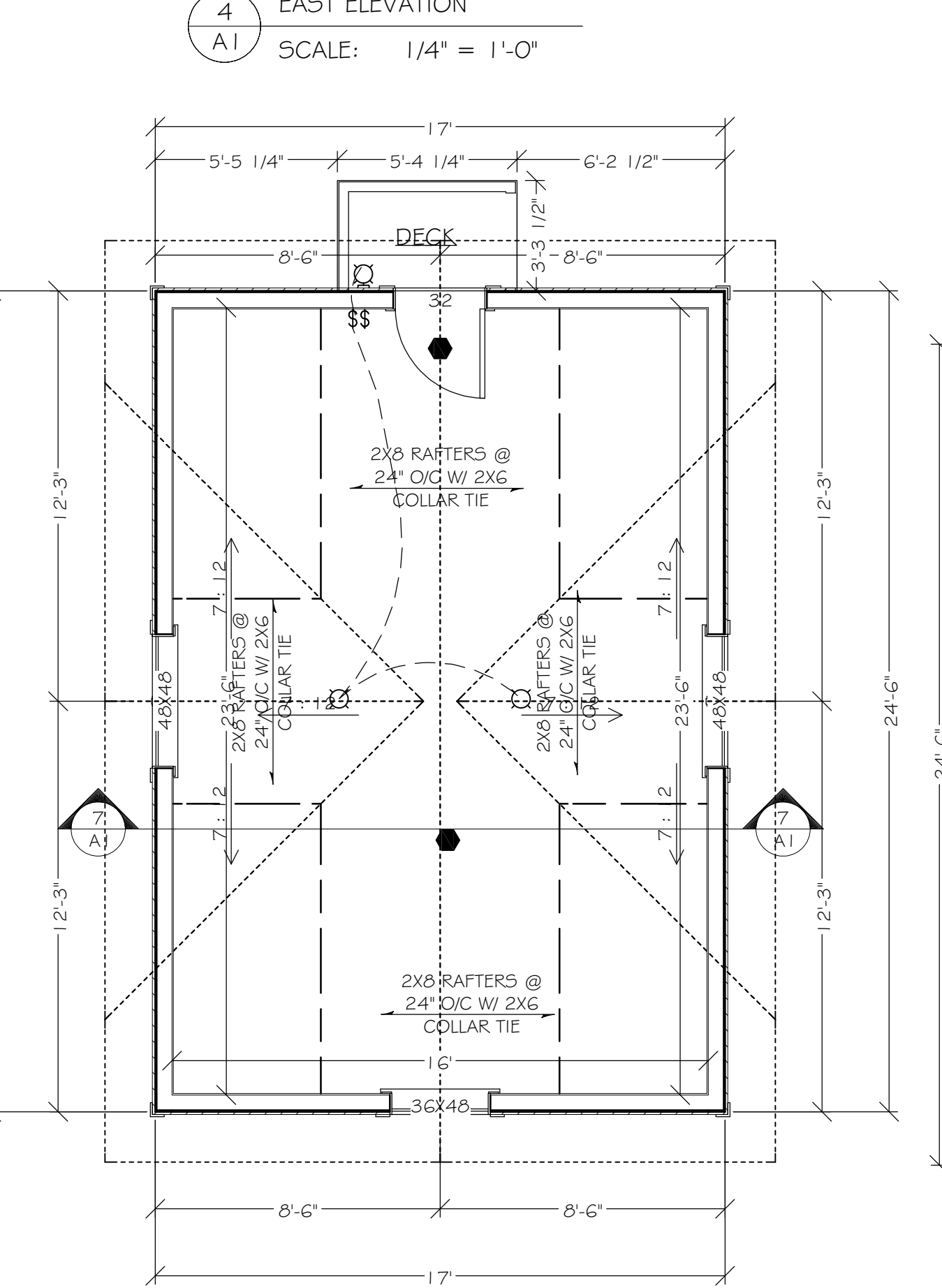
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	BROAN 110 CFM EXHAUST FAN MODEL: QTXE110C
	Ceiling Mounted Light Fixtures: Surface/Pendant
	Wall Mounted Light Fixtures: Flush Mounted,
	240V Receptacle
	110V Receptacles: Duplex,
	GFI: Ground Fault Receptacles
	Single Pole Switch
	3-Way Switch
	Smoke Alarms w/ visual signaling component as per O.B.C. 9.10.19.1.(2) and CO2 detector



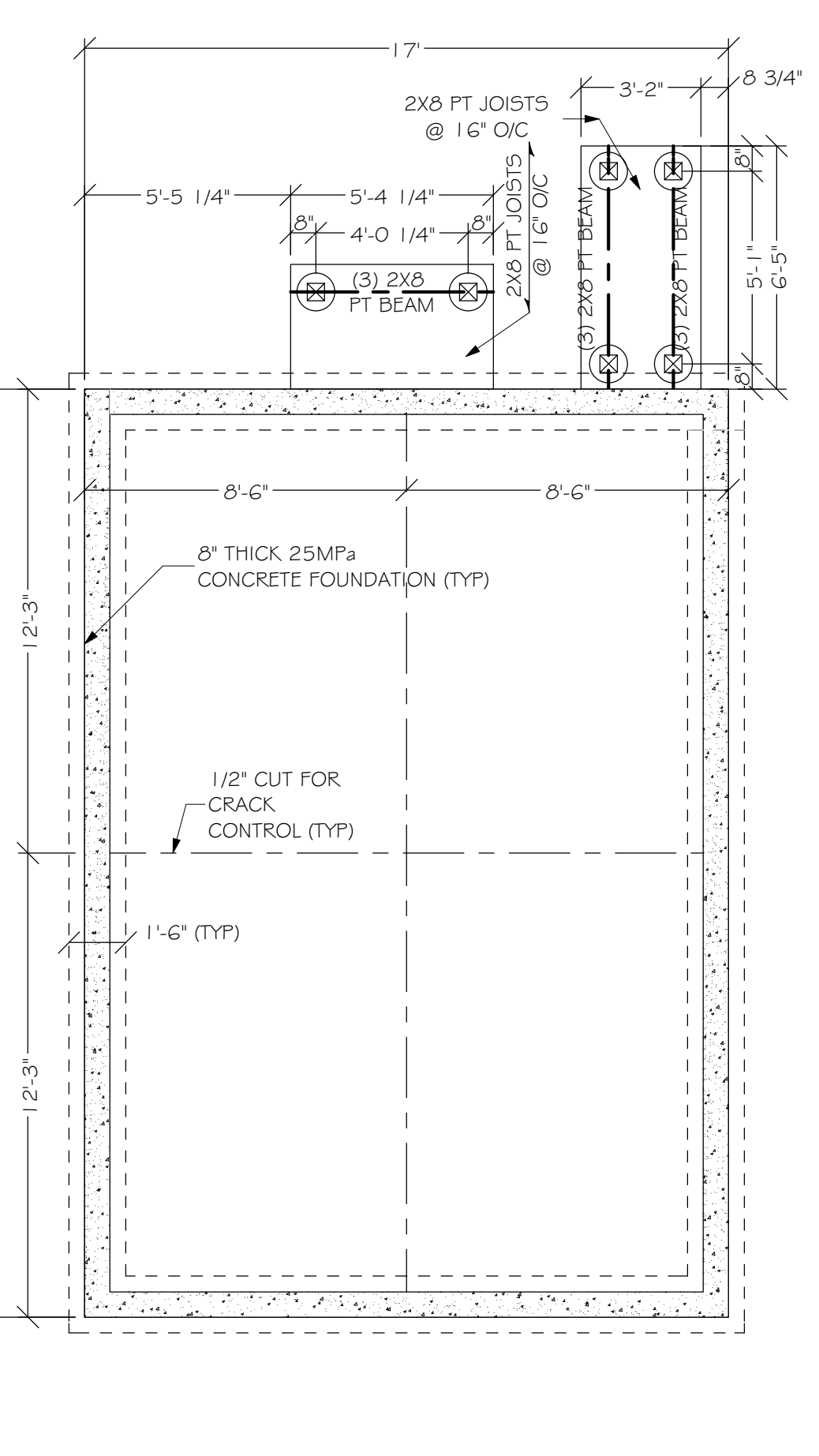
8 GARAGE PLAN
A1 SCALE: 1/4" = 1'-0"



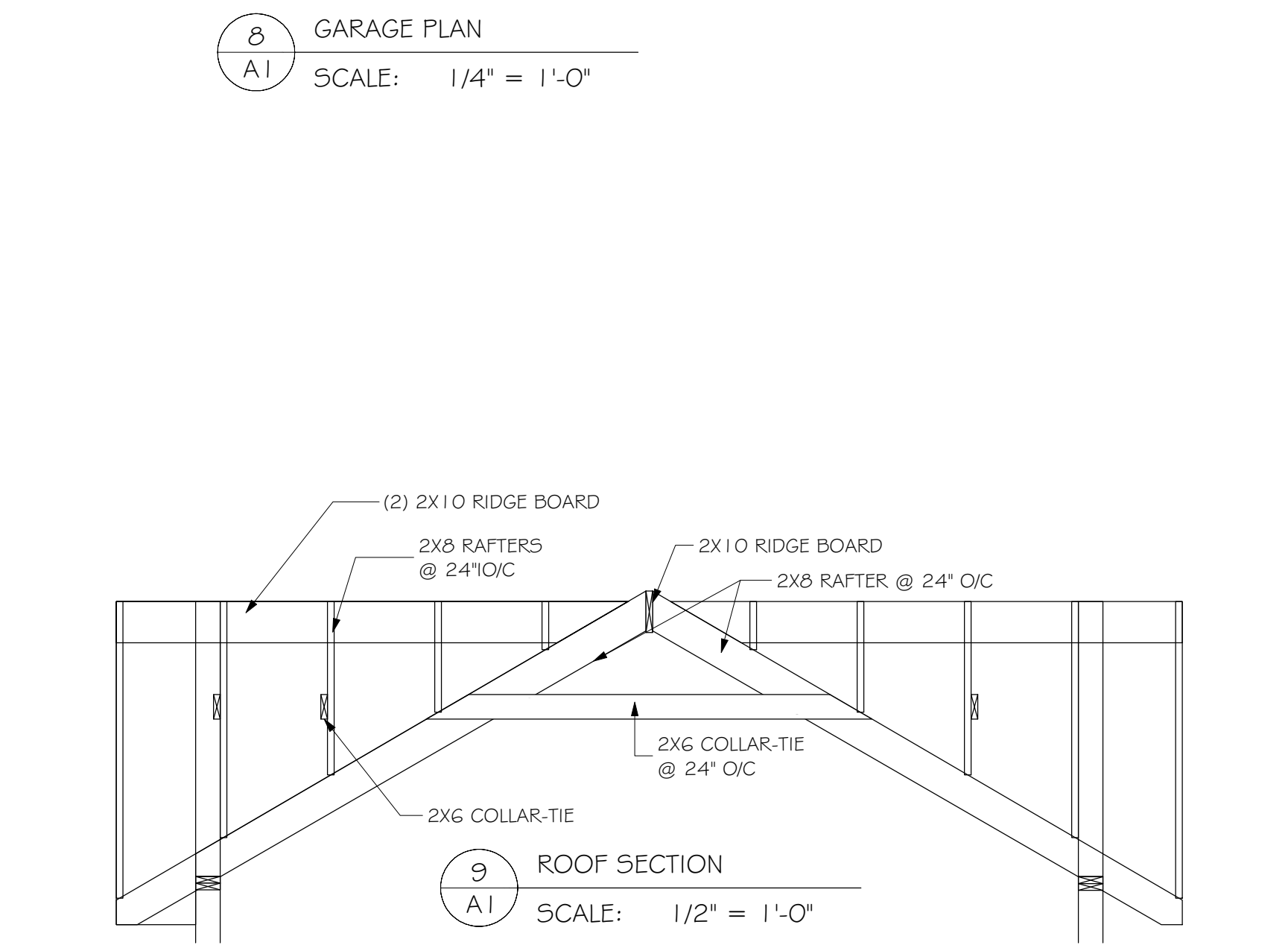
5 GARAGE PLAN
A1 SCALE: 1/4" = 1'-0"



6 GARAGE PLAN
A1 SCALE: 1/4" = 1'-0"



7 GRADE BEAM PLAN
A1 SCALE: 1/4" = 1'-0"



9 ROOF SECTION
A1 SCALE: 1/2" = 1'-0"

No.	DATE	DESCRIPTION	BY
REVISIONS			



DRAWINGS MUST NOT BE SCALED
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL REPORT ANY DISCREPANCY TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. THESE PLANS FORM THE BASIS FOR PERMIT ISSUANCE AND ANY DEVIATIONS FROM THESE PLANS AND DETAILS, INCLUDING THE VENTILATION SYSTEM, HEATING SYSTEM, WOODSTOVE, FIREPLACES, DECKS, BALCONIES AND FINISHED BASEMENTS, WILL REQUIRE A REVISED DRAWING AND CLEARANCE BY THE BUILDING DEPARTMENT.

PROJECT:
PROPOSED GARAGE

LOCATION:
214 GREEN BAY RD., KINGSTON, ON

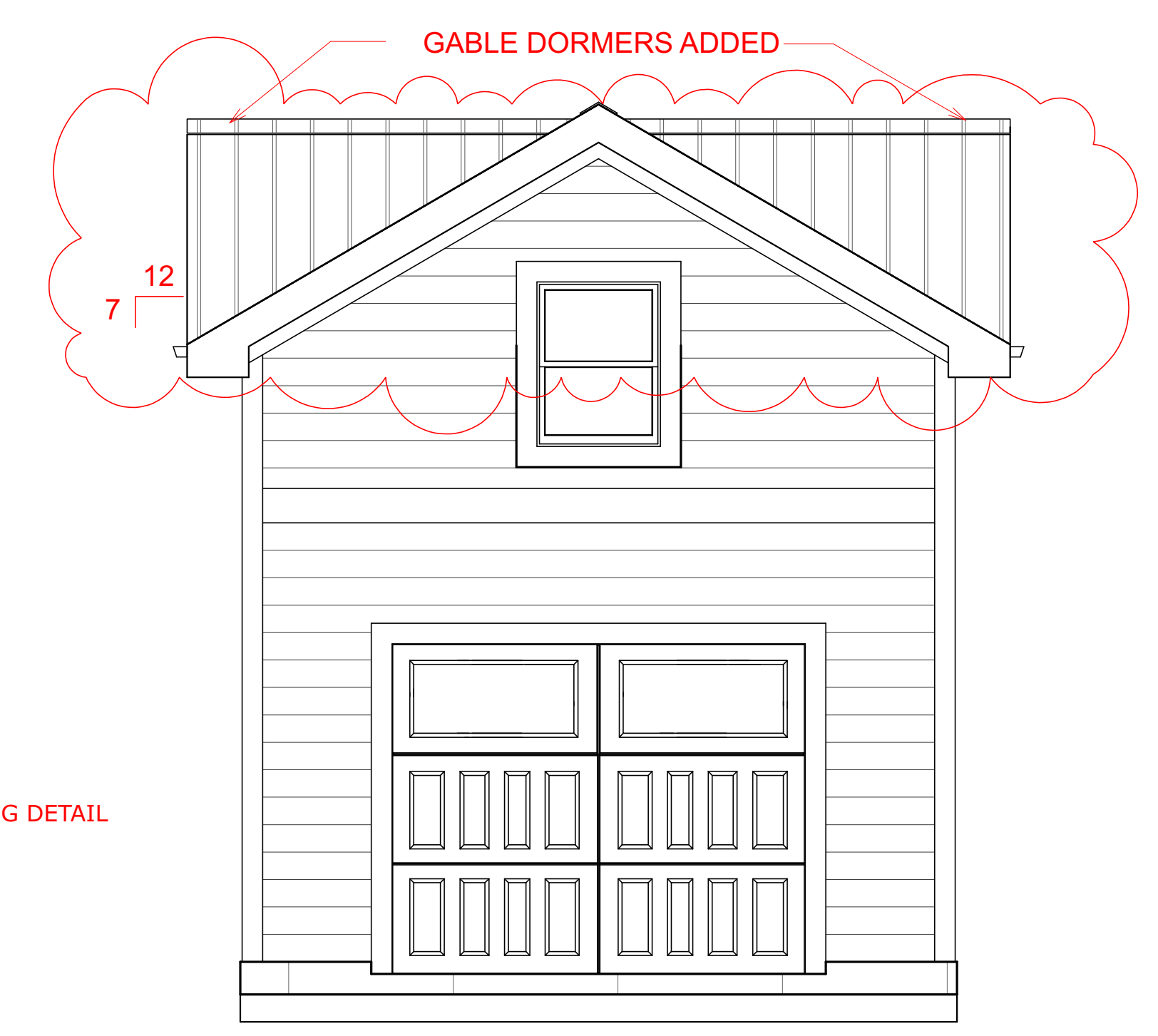
FOR:
BRIAN LACHINE

DRAWING:
**ELEVATIONS
GARAGE PLANS
GARAGE SECTION & DETAILS**

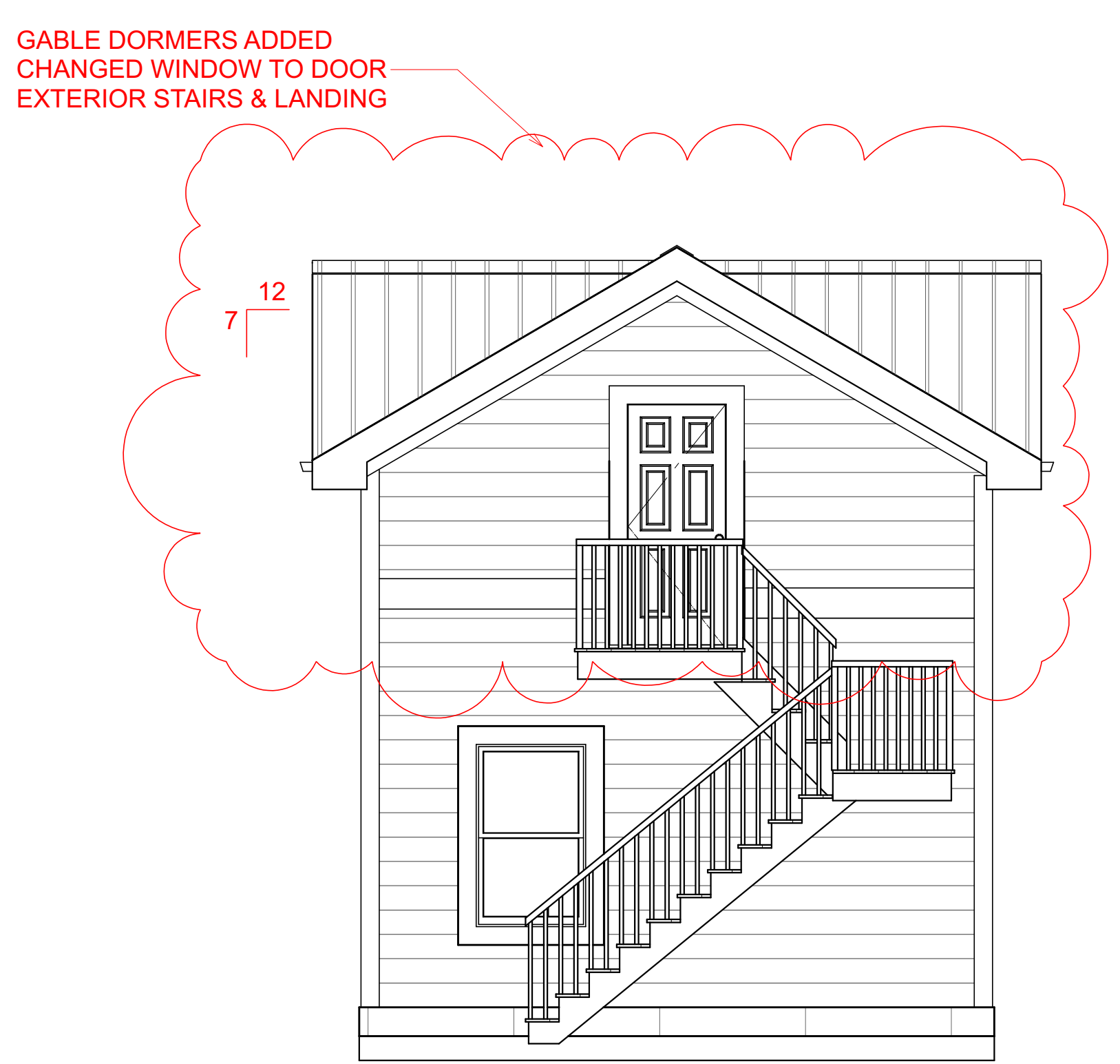
REVIEWED BY:		SCALE	DRAWING No.
DEPT.	NAME	AS SHOWN	A1
ARCH.	N/A		
STR.	ET		
MEC.	N/A	DATE:	
ELE.	N/A	Friday, September 17, 2021	
JOB #:	20176	SHEET: 1 of 1	20176



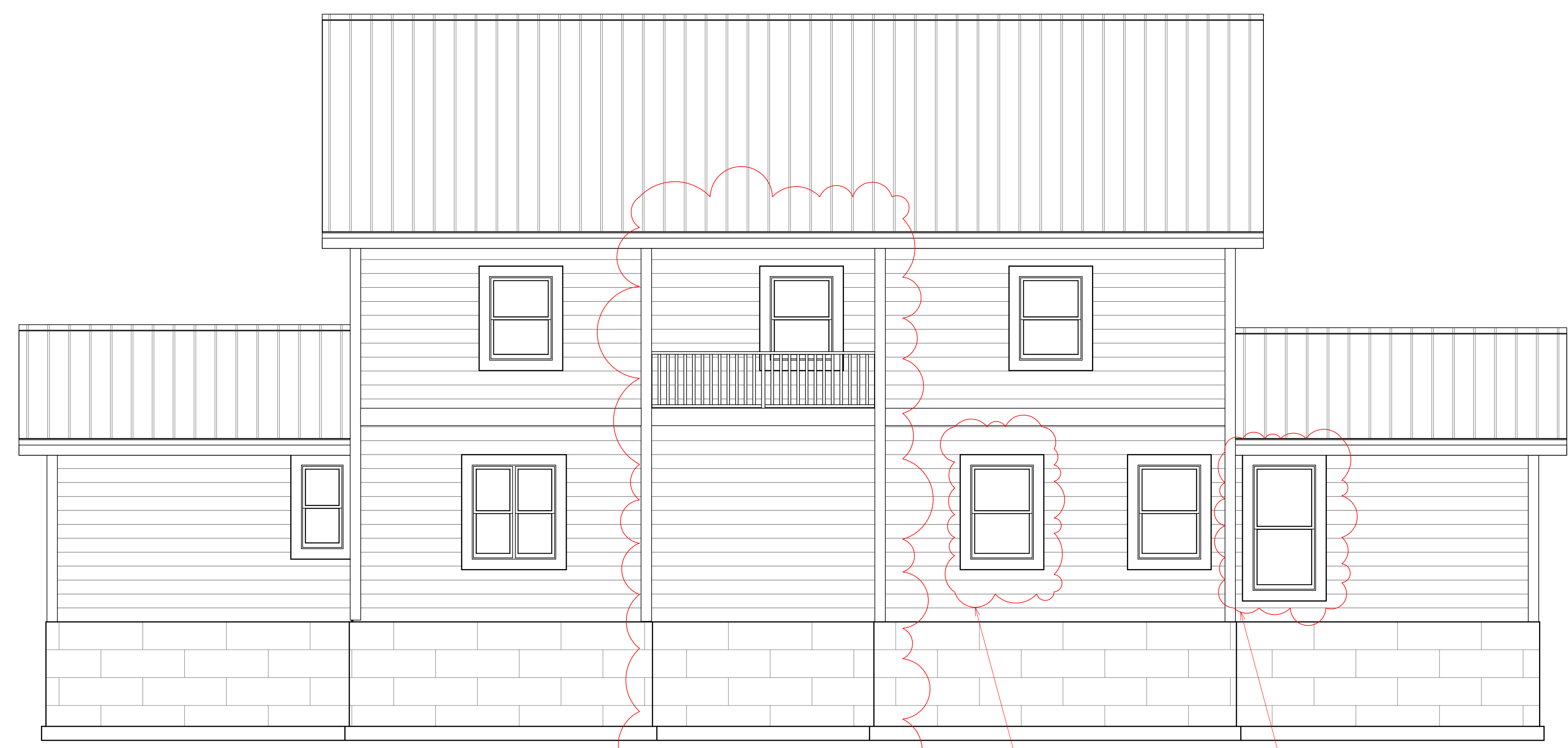
FRONT ELEVATION



FRONT ELEVATION GARAGE



REAR ELEVATION GARAGE



REAR ELEVATION

PROPOSED PLAN CHANGES
214 GREEN BAY ROAD
KINGSTON

PROJECT DESCRIPTION:
Lachine Plan Change
Comparisons- Nov 26 Post
Heritage Comments

DRAWINGS PROVIDED BY:
Home Valley Builders
12-745 Development Drive
Kingston, Ontario K7L 4W6
613-542-5330

DATE:
2019-11-28

SCALE:
N/A

SHEET:
A-1

LOWERED EXISTING WINDOW TO PROVIDE LIGHT INTO 2ND FLOOR HALLWAY



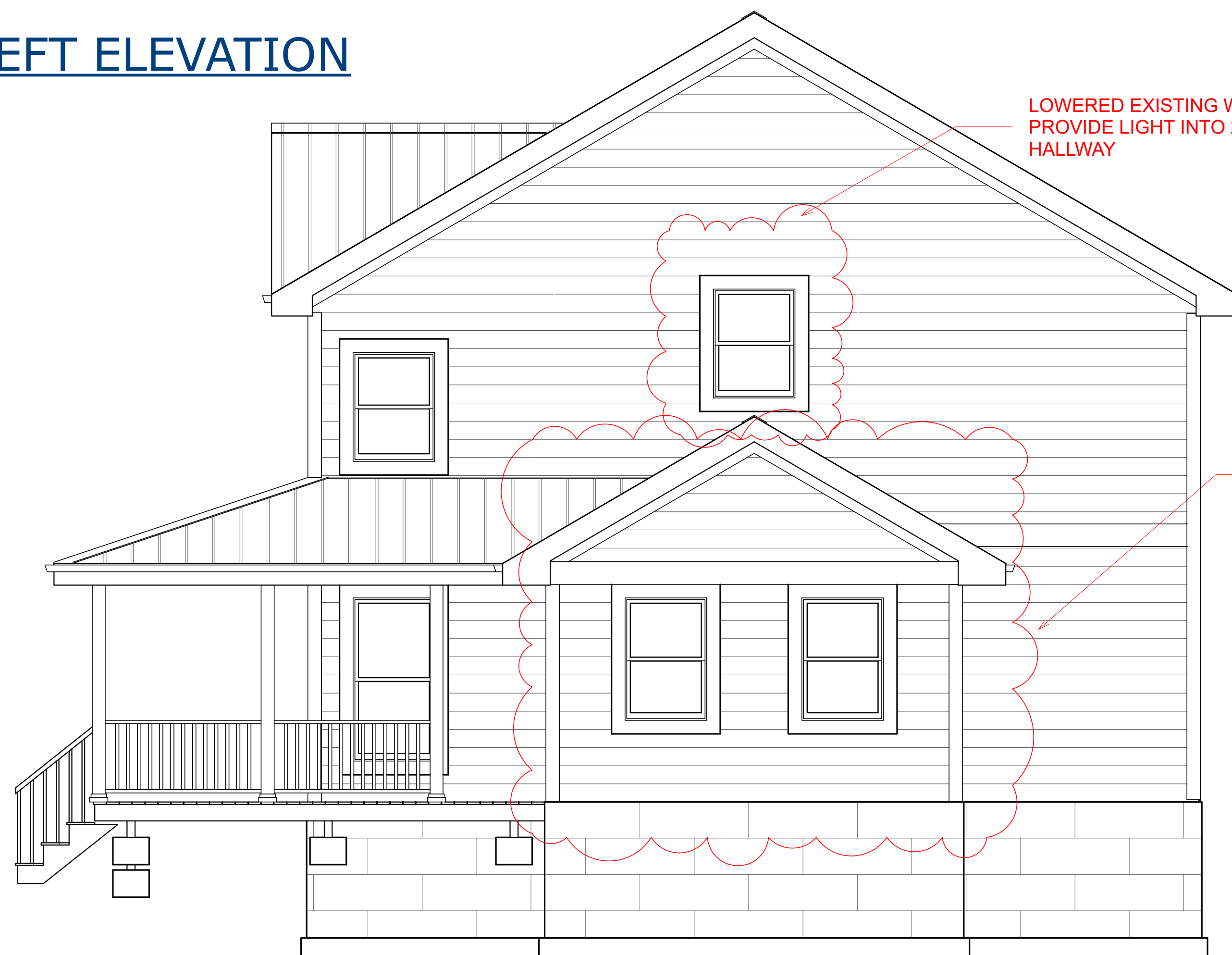
LEFT ELEVATION

ADDED GABLE DORMER & WINDOW



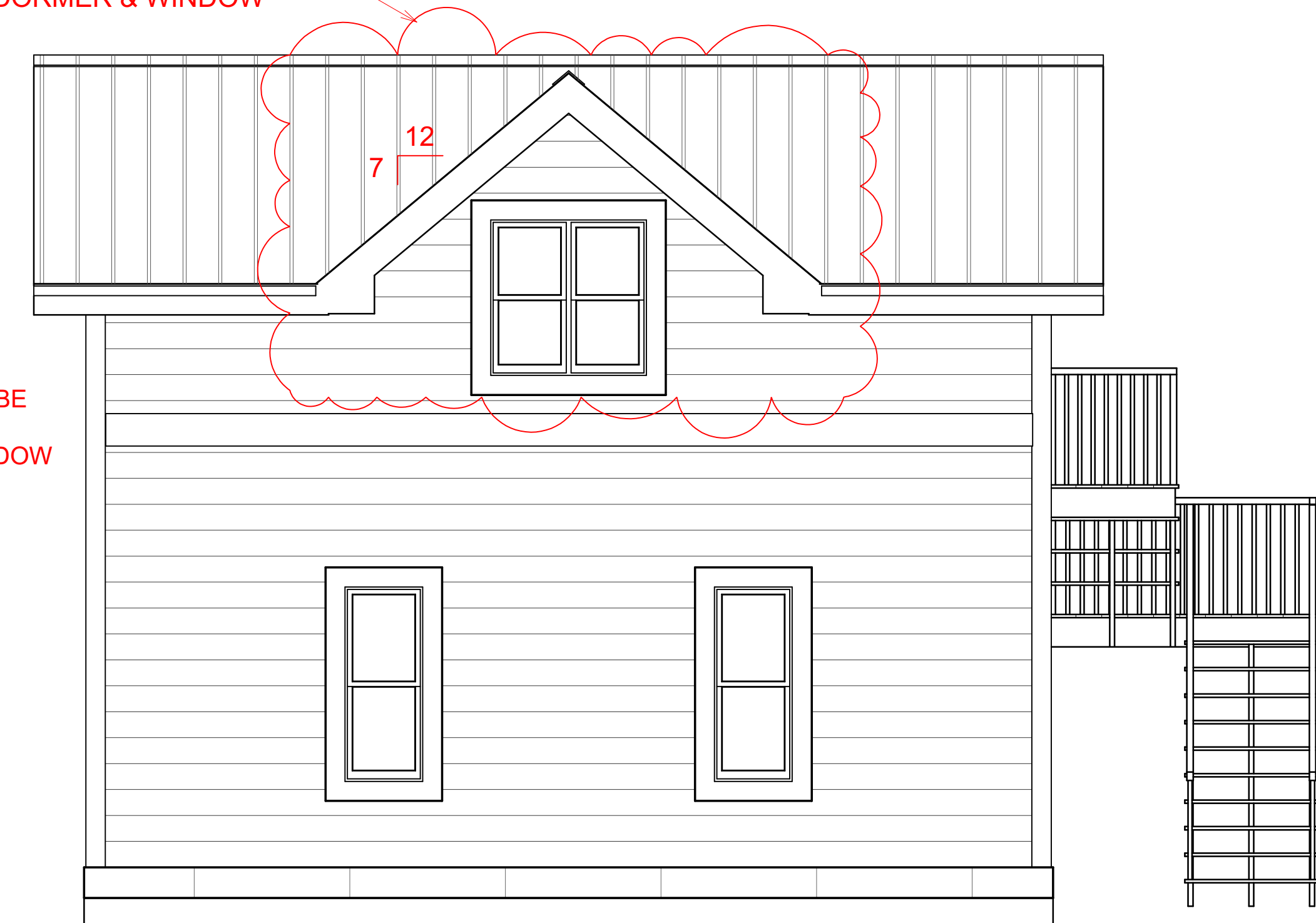
LEFT ELEVATION GARAGE

LOWERED EXISTING WINDOW TO PROVIDE LIGHT INTO 2ND FLOOR HALLWAY



RIGHT ELEVATION

ADDED GABLE DORMER & WINDOW



RIGHT ELEVATION GARAGE

PROPOSED PLAN CHANGES
214 GREEN BAY ROAD
KINGSTON

PROJECT DESCRIPTION:
Lachine Plan Change
Comparisons- Nov 26 Post
Heritage Comments

DRAWINGS PROVIDED BY:
Home Valley Builders
12-745 Development Drive
Kingston, Ontario K7L 4W6
613-542-5330

DATE:

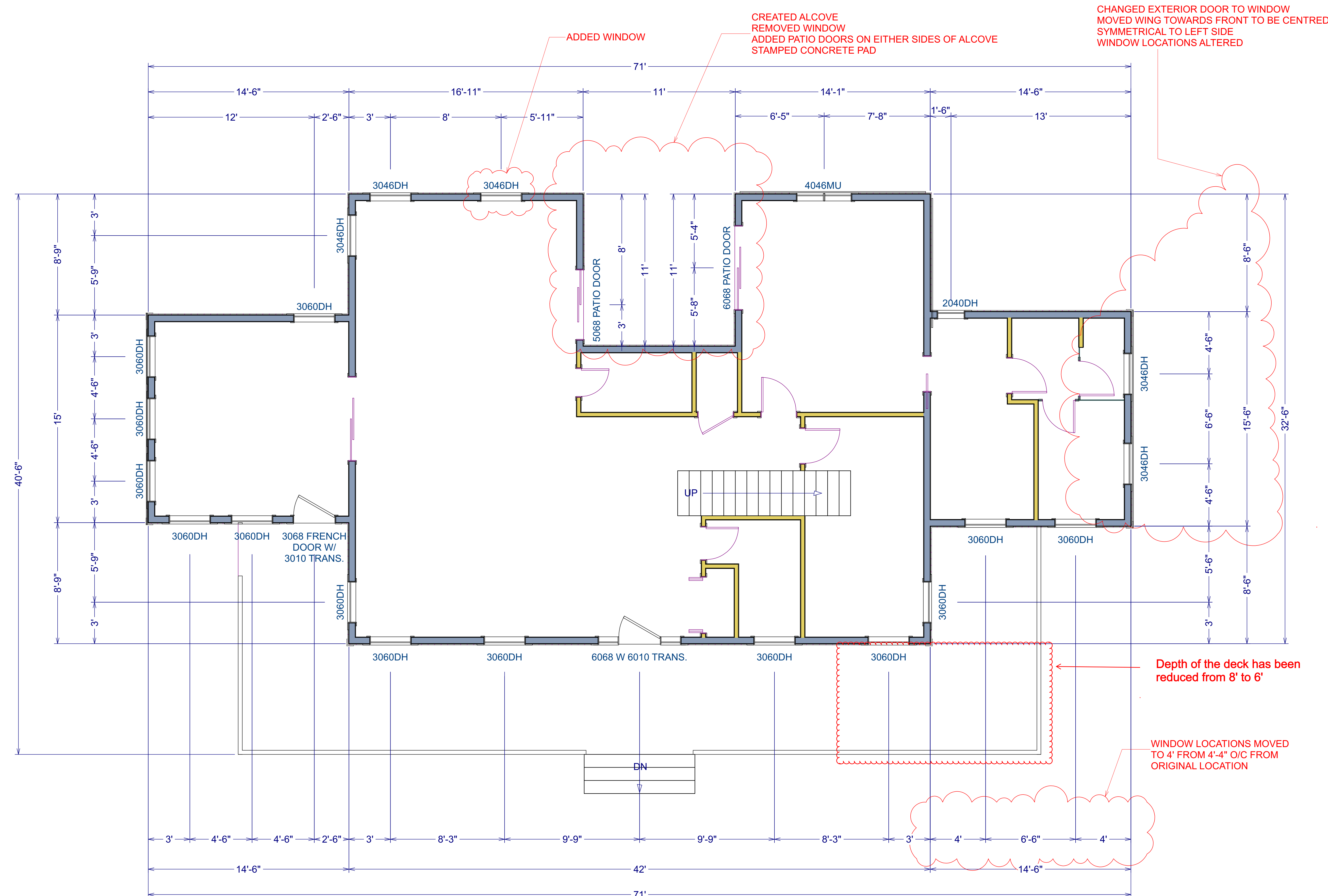
2019-11-28

SCALE:

N/A

SHEET:

A-2



MAIN FLOOR PLAN
 MAIN FLOOR AREA = 1686 SQ.FT.
 TOTAL FLOOR AREA = 2952 SQ.FT.

PROPOSED PLAN CHANGES
 214 GREEN BAY ROAD
 KINGSTON

PROJECT DESCRIPTION:
 Lachine Plan Change
 Comparisons- Nov 26 Post
 Heritage Comments

DRAWINGS PROVIDED BY:
Home Valley Builders
 12-745 Development Drive
 Kingston, Ontario K7L 4W6
 613-542-5330

DATE:
 2019-11-28

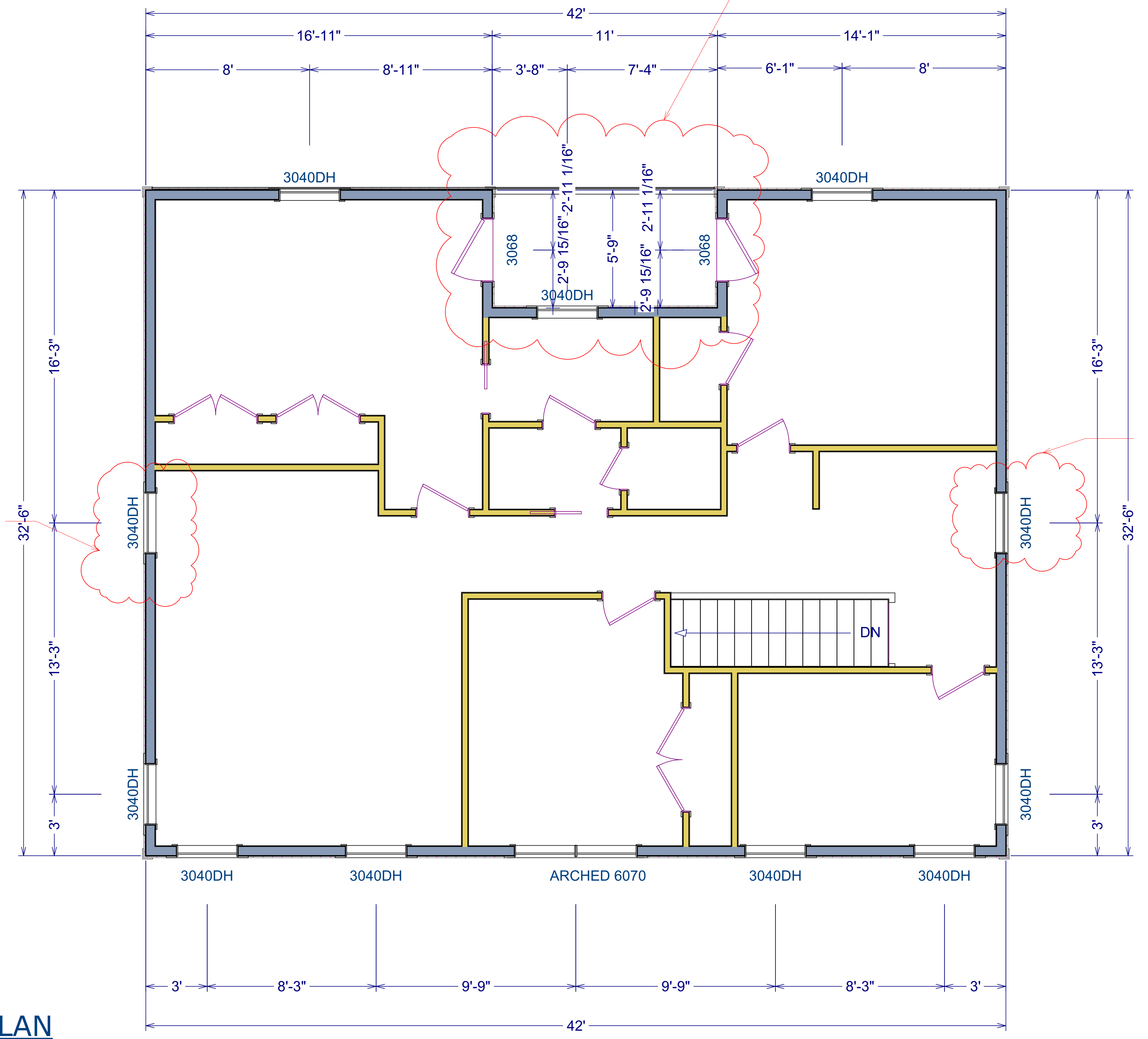
SCALE:
 N/A

SHEET:
A-3

LOWERED EXISTING
ATTIC WINDOW TO
PROVIDE LIGHT TO
HALLWAY

BALCONY ADDED
OVER ALCOVE BELOW
TWO DOORS ADDED

LOWERED EXISTING
ATTIC WINDOW TO
PROVIDE LIGHT TO
HALLWAY



UPPER FLOOR PLAN
UPPER FLOOR AREA = 1266 SQ.FT.

PROPOSED PLAN CHANGES
214 GREEN BAY ROAD
KINGSTON

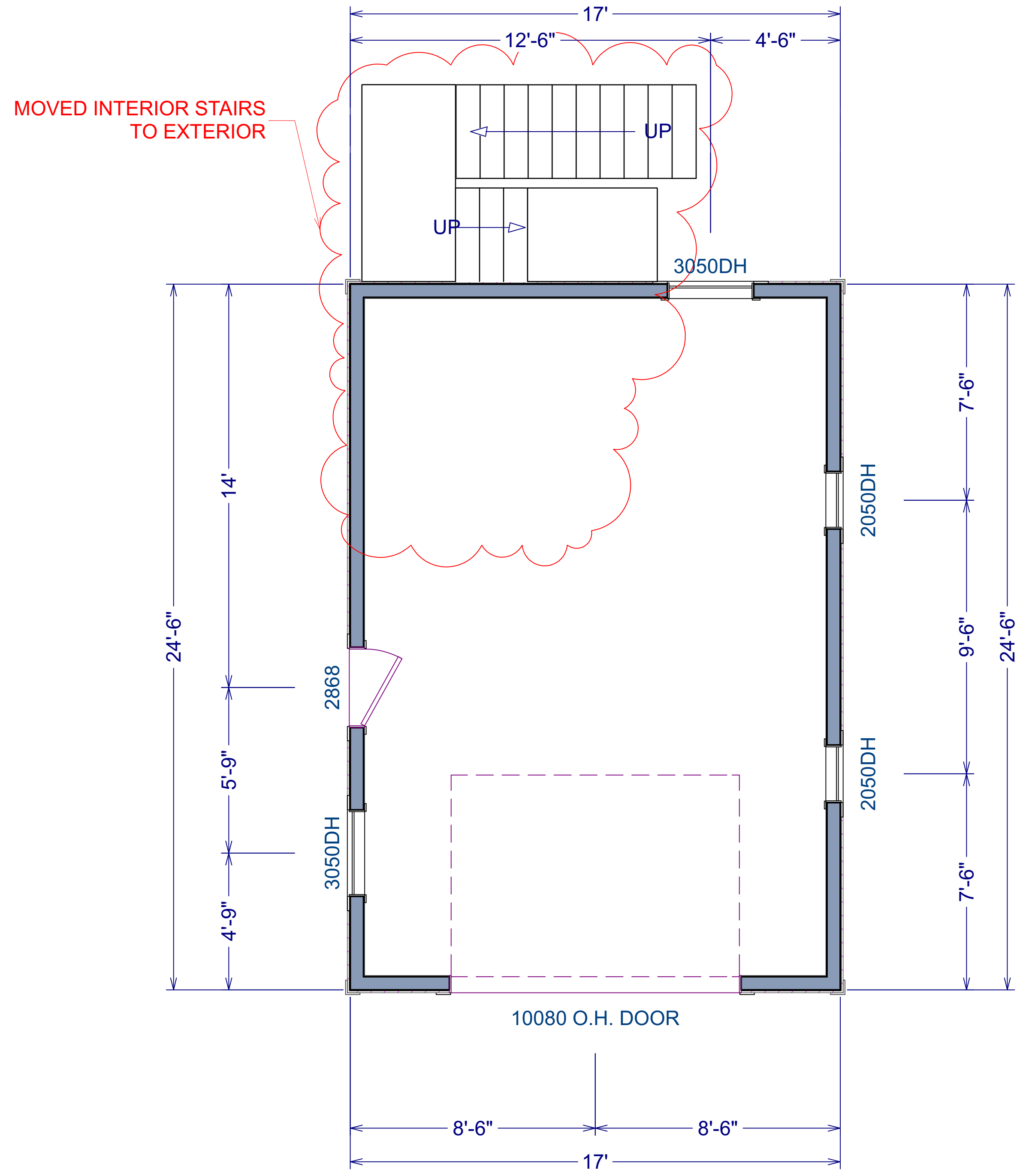
PROJECT DESCRIPTION:
Lachine Plan Change
Comparisons- Nov 26 Post
Heritage Comments

DRAWINGS PROVIDED BY:
Home Valley Builders
12-745 Development Drive
Kingston, Ontario K7L 4W6
613-542-5330

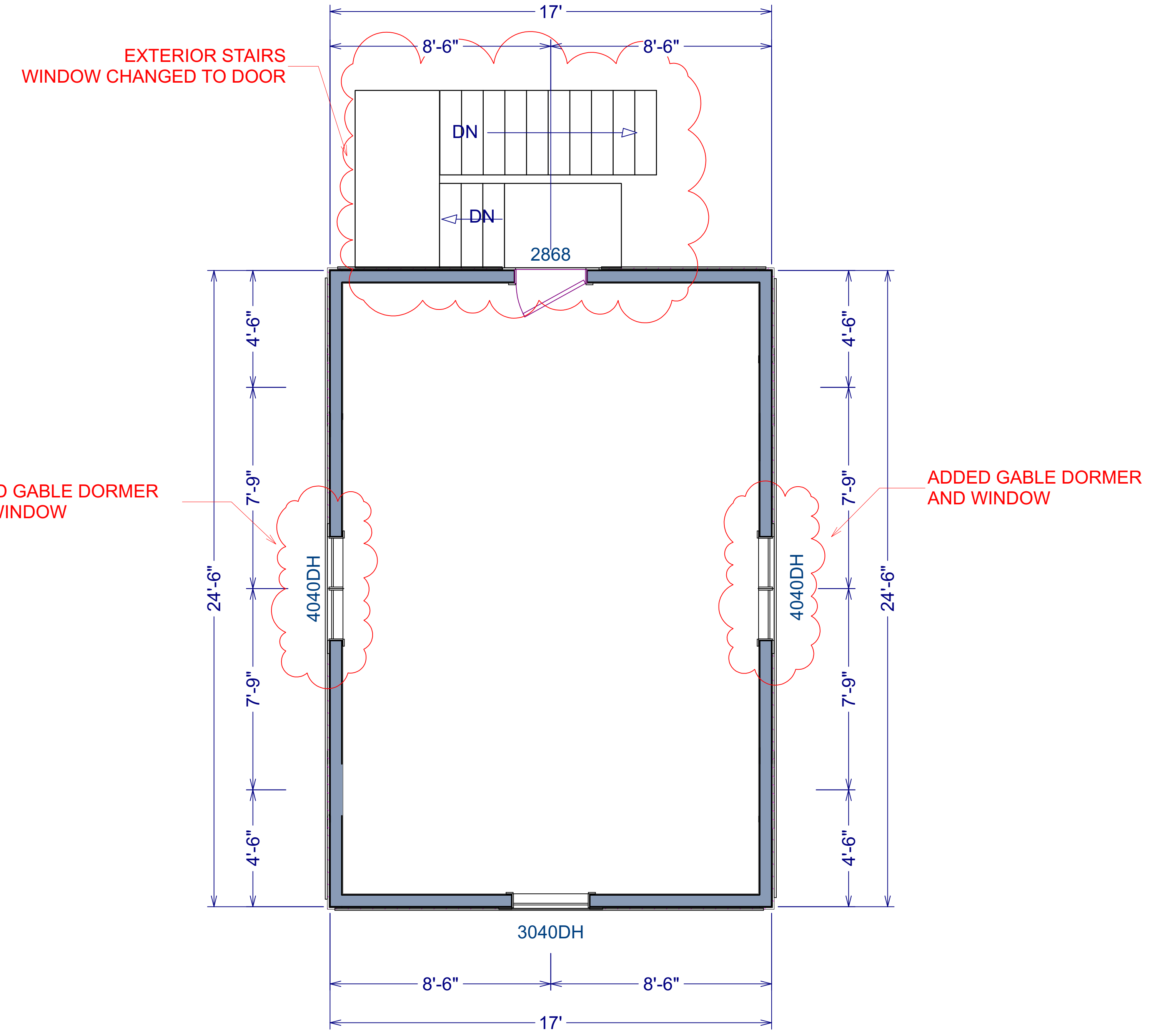
DATE:
2019-11-28

SCALE:
N/A

SHEET:
A-4



GARAGE PLAN
FLOOR AREA = 417 SQ.FT.



UPPER GARAGE PLAN
FLOOR AREA = 417 SQ.FT.
TO BE HEATED & PLUMBED FOR
ADULT CHILDREN TEMP. LIVING SPACE

PROPOSED PLAN CHANGES
214 GREEN BAY ROAD
KINGSTON

PROJECT DESCRIPTION:
Lachine Plan Change
Comparisons- Nov 26 Post
Heritage Comments

DRAWINGS PROVIDED BY:
Home Valley Builders
12-745 Development Drive
Kingston, Ontario K7L 4W6
613-542-5330

DATE:
2019-11-28

SCALE:
N/A

SHEET:
A-5



- 42" RAIL HEIGHT 2X6 WOOD (STAINED OR PAINTED WHITE TOP TBD)
- 6" x 6" x 108" SQUARE POSTS (WOOD- PAINTED WHITE)
- 1 1/2" x 1 1/2" SQUARE WHITE WOOD BALUSTERS
- 2X4 BOTTOM RAIL WOOD (PAINTED WHITE)

WOOD PORCH RAILING



- FIBRE CEMENT- WOOD GRAIN LAP SIDING
- COLOUR TBD
- *BLUE OR YELLOW CONFORMING TO HERITAGE COLOURS

HOUSE & GARAGE EXTERIOR CLADDING



METAL ROOF

- COLOUR TBD
- *MID TO DARK GREY CONFORMING TO HERITAGE COLOURS

PROPOSED PLAN CHANGES
214 GREEN BAY ROAD
KINGSTON

PROJECT DESCRIPTION:
Lachine Plan Change
Comparisons- Nov 26 Post
Heritage Comments

DRAWINGS PROVIDED BY:
Home Valley Builders
12-745 Development Drive
Kingston, Ontario K7L 4W6
613-542-5330 -

DATE:

2019-11-28

SCALE:

N/A

SHEET:

A-6



The Corporation of the City of Kingston

Planning, Building & Licensing Services
216 Ontario Street
Kingston, Ontario K7L 2Z3

Scope of Work

For a Heritage Permit under the *Ontario Heritage Act*
Application: P18-071-2019
Location of work: 214 Green Bay Road

Pursuant to the *Ontario Heritage Act*, the following works were approved by Kingston City Council on January 7, 2020 by resolution (Clause 2i, Report 14). Please note that the permit is in effect for three (3) years from the date of Council approval.

That the erections to the property at 214 Green Bay Road, be approved in accordance with the details described in the application (File Number P18-071-2019), which was deemed complete on November 19, 2019, with said erections to include the following:

1. Construction of a two-storey, five bay single-detached dwelling with flanking one-storey wings and a one-storey covered porch. The dwelling is to have a pitched roof and is to be clad in wood clapboard siding with standing seam metal roofing; and
2. Construction of a one-and-a-half-storey detached garage, clad in wood clapboard siding with a metal clad pitched roof and gable dormers; and

That the approval of the alterations be subject to the following conditions:

1. The proposed works are required to be undertaken in accordance with the Village of Barriefield Heritage Conservation District Plan;
2. The applicant demonstrate to the satisfaction of Planning staff that the peak of the roof of the new dwelling is no taller than the peak of the roof of the adjacent heritage building at 218 Green Bay Road;
3. A Building Permit shall be obtained;
4. All necessary permits from the Cataraqui Region Conservation Authority shall be obtained;
5. All *Planning Act* applications, including Site Plan Control approval, as necessary, shall be completed;
6. The applicant shall ensure utility locates are completed before any excavation;
7. The use of one-over-one patterned windows shall be an option in place of the multi-paned windows proposed;

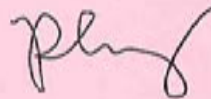
Post this Notice in a conspicuous place

This notice must be displayed in a prominent place during the work in progress. All works must adhere to the works approved above. Once completed, the Heritage Planner must be notified at 613-546-4291, extension 3180 or heritage@cityofkingston.ca

- 8. The detached garage may be located further east of its' proposed location (away from road), provided it is in compliance with all zoning requirements;
- 9. Details related to the colour(s) of the new siding, trim and roofing shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the District;
- 10. The construction plans, submitted as part of the Building Permit application, shall be amended to reflect the use of wooden railings and decking on the main house and gable roofed dormers on the garage; and
- 11. Drawings and specifications submitted as part of the Building Permit process be provided to Planning staff for review to ensure consistency with the Heritage Permit and the Barriefield Heritage Conservation District Plan.

January 9, 2020

Date



Ryan J. Leary
Senior Planner, Heritage

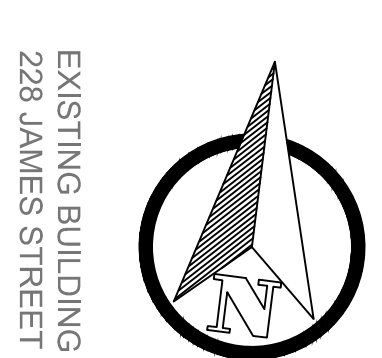
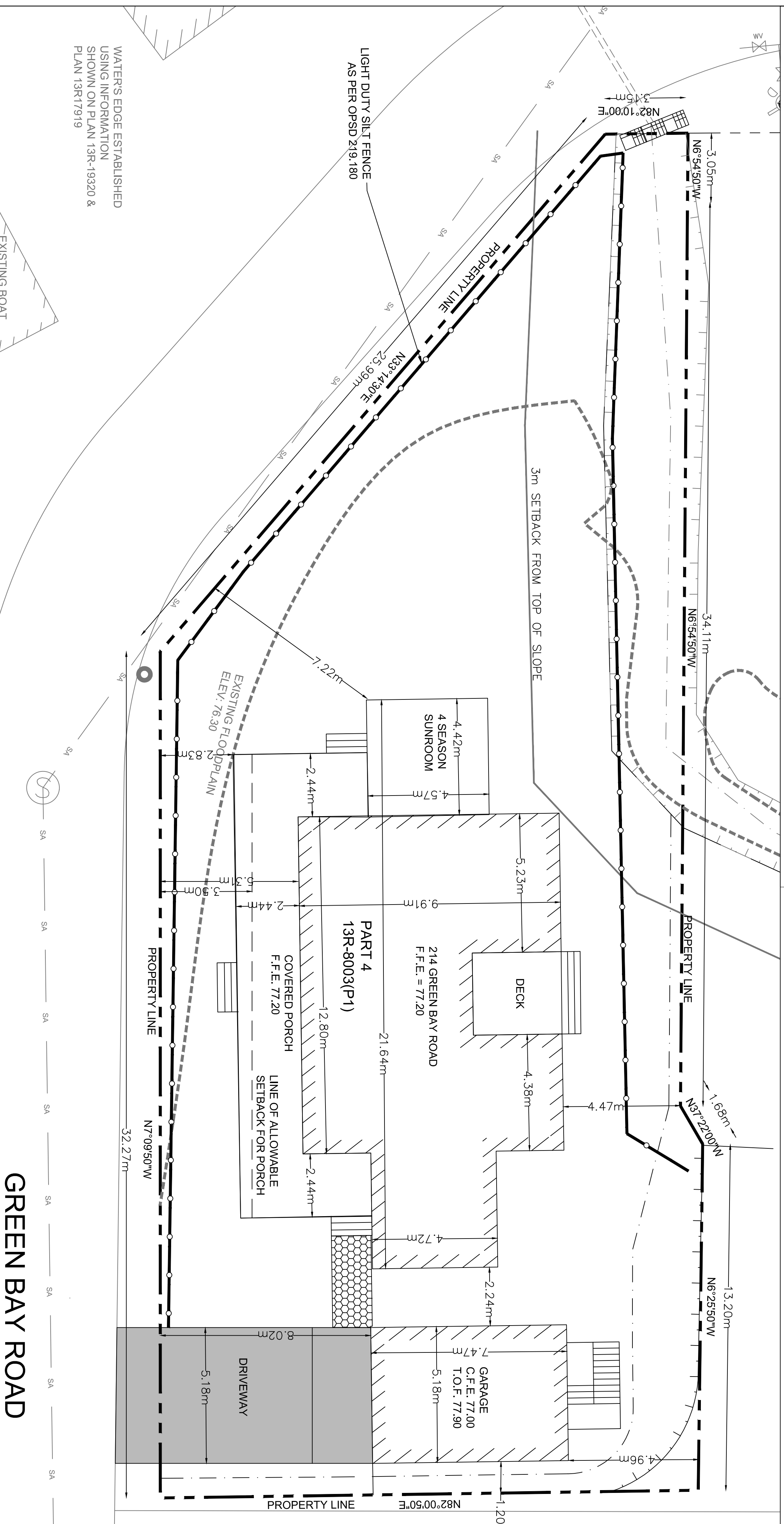
214 GREEN BAY ROAD
KINGSTON, ON
ZONING BY-LAW ANALYSIS

BASIC SITE STATISTICS
 LOT LOCATION 214 GREEN BAY ROAD
 ZONING R2-3 - SPECIAL RESIDENTIAL
 TYPE Z ZONE
 LOT AREA 877.4 m² - (0.08774 Ha)

SITE STATISTICS (ZONING COMPLIANCE)				
DESCRIPTION	BY-LAW NO. 32-74	PERMITTED BY BY-LAW 32-74	PROPOSED USES ZONING COMPLIANCE	REMARKS
SETBACK (MINIMUM)	10(3)(i)	5m from centreline + required yard		
FRONT YARD - NORTH	10(3)(a)(iii)	1.2m	7.2m	
SIDE YARD - WEST	10(3)(a)(iv)	1.2m	2.8m	
SIDE YARD - EAST	10(3)(a)(iv)	3.04m	4.47m	RELIEF GRANTED THROUGH MINOR VARIANCE
REAR YARD - SOUTH	10(2)(f)	7.5m	1.2m	RELIEF GRANTED THROUGH MINOR VARIANCE
LOT AREA (MIN)	10(3)(a)(i)	464.5m ²	877.4m ²	
DWELLING UNIT AREA (MIN)	10(3)(a)(iv)	92.2m ² per unit	157.2m ²	
LOT COVERAGE (MAX)	10(2)(j)	35%	251.9m ² (30.5%)	
LANDSCAPED OPEN SPACE (MIN)	10(2)(h)	30%	577.3m ² (65.8%)	
PARKING SPACES		1 space	1 space	
HEIGHT OF BUILDING (MAX)	10(2)(u)	9m	9.5m	RELIEF GRANTED THROUGH MINOR VARIANCE
ACCESSORY BUILDING				
SETBACK FROM MAIN DWELLING (MIN)		2.0m	2.24m	
HEIGHT OF ACCESSORY BUILDING (MAX)		9m	6.5m	RELIEF GRANTED THROUGH MINOR VARIANCE

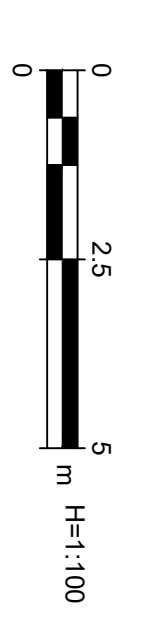


KEY PLAN
NOT TO SCALE



WATERS EDGE ESTABLISHED USING INFORMATION SHOWN ON PLAN 13R-19320 & PLAN 13R17919

GREEN BAY ROAD



LEGEND

- PROPOSED SANITARY
- PROPOSED WATERMAIN
- PROPOSED SWALE
- PROPOSED OVERHEAD HYDRO
- EXISTING SANITARY
- EXISTING STORM
- EXISTING WATER
- EXISTING SANITARY MH
- EXISTING HYDRANT VALVE
- EXISTING LIGHT STANDARD
- BENCHMARK
- PROPOSED GRADE
- EXISTING GRADE

BENCH MARK - TOP OF NUT ON FREE HYDRANT ALONG GREEN BAY ROAD - ELEV. 76.80
 No. Revision/Date Date

FOREFRONT ENGINEERING
 LICENSED PROFESSIONAL ENGINEER
 K.M. NEILSEN
 07/23/2023
 100152232
 PROVINCE OF ONTARIO

1279 Bardsen's Road, Suite 210
 Kingston, ON, Canada K7P 0L8
 5137574, 9079 fax
 1.888.884.9392 fax

Forefront Engineering Inc

Client: **BRIAN LACHINE**
 Project: **214 GREEN BAY ROAD**

Drawing: **SITE PLAN**
 Date: **JULY 2023**
 Scale: **1:100**

Prepared by: **KMM**
 Approved by: **KMM**
 Drawing title: **SP**

Photos from September 17th, 2021 Site Visit & Google Streetview:

Grade difference between 228 James Street and 214 Green Bay Road
(lower grade from south to north and from west to east):



Grade difference from 230 James Street versus 214 Green Bay Road
(September 2021 vs. April 2014):



View from south to north where maintaining the tree on the subject property (214 Green Bay Road) will mitigate roof massing impacts:



View from north to south where the trees on the neighbouring property (218 Green Bay Road) will mitigate roof massing impacts:



No Impact to the significant historic views noted in Figure 2 of the Village of Barriefield Heritage Conservation District Plan (pgs. 51 & 52)



Figure 2 from the Village of Barriefield Heritage Conservation District Plan:





where history and innovation thrive

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:		
Form:	Heritage Kingston Reviewer Form	City of Kingston
Reviewer Name:	Don Taylor	216 Ontario Street
Application Type:	New Construction	Kingston, Ontario
File Number:	P18-047-2021	Canada, K7L 2Z3
Property Address:	214 GREEN BAY RD	

Description of Proposal:

\$djustments to previously-approved plans

Comments for Consideration on the Application:

There should be no fundamental concerns with the present application, but there are some matters that need to be addressed. The changes to the main house are minor, but clarity is needed on some aspects. It should be confirmed that the porch width is 6 ft not 8 ft. According to the Barriefield guidelines, the cladding on the principal facade should be wood, and certainly not the fake-grain cement board indicated. Likewise the porch should be entirely wood. The garage is a greater concern. Because of the location of the lot, it is not placed in the rear of the property where it would appear as a subordinate structure. Being relatively close to the street and indeed containing a separate living unit in a full-size second storey it would have a prominent appearance that could detract from the main building. Earlier garage plans showed Old shed dormers that were not considered appropriate. The current design does not, as claimed, replace them with more acceptable gable dormers but instead introduces a cross-gable design that adds to the prominence of the upper storey. It is doubtful that other cross-gable buildings are present in Barriefield, and the underlying theme of the guidelines is for simple building and roof structures. A more acceptable plan would be a simple gabled roof with smaller gabled dormers set below the roof ridge. There could be more than one on each side. Finally, given the visibility of the garage from the street it may well be appropriate for the garage siding to be wood rather than a synthetic material.

The nature of the "vinyl" roofing needs to be clarified. I am aware that so-called asphalt shingles are not really asphalt but a composite material, possibly including vinyl. Various long-life composite shingles are available and would be acceptable if the colour is grey to dark grey, and if the appearance is matte rather than shiny

Recommended Conditions for the Application:

{Please enter your recommended conditions here}

City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

where history and innovation thrive

Date:	September 21, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	New Construction
File Number:	P18-047-2021
Property Address:	214 GREEN BAY RD

Description of Proposal:

Related to Permit P18-071-2019. Minor changes requires a DA to harmonize previously approved plans to current plans. Changes from the previous approval (see documents) and existing proposal are as follows: Main structure/residence: a. Second level, north and south end. Window above centre of peaked roof (above sun room and master bath on north and south end of structure) moved to the west of peaked roof. b. Wrap around porch, north and south side. Stairs to ground level were added. c. Roofing material. changed from metal to shingle roof. Garage: d. Dormers. The shed dormer indeed changed from the initial submission, but was modified to the current design in the attached. e. Window types. these were changed based on initial comments/suggestions from the Heritage committee (same for the main structure as well). f. Exterior stairs. vertically flipped so that entering was from our property, not facing the neighbours. g. Rear lower level window. was removed. h. Lower level, north side. Window was removed, only the side entrance door exists in current design.

Comments for Consideration on the Application:

The "Trought" house plans posted on DASH are generally acceptable but lacking in detail. Specifics regarding style, profile and colour of the wood siding and trim should be provided to HK. Clarification regarding the use of this on all elevations of both the house and garage is also needed. Details on the windows, which appear to be hung sash, should include material and colour. Details on the asphalt shingles, type and colour, should be specified.

The applicant should clarify depth of the front deck as 8' is indicated on the plans but 6' being previously approved by council and again provide specifics for both the house deck and garage stairs regarding material, style, profile and colour to the committee.

The design of the garage does not read as ancillary or secondary with the cross gable roof and the large massing profile it presents at the front and sides and its visibility from

both James Street and Green Bay Road. Given that this is a garage with storage and not a secondary suite a simple gable end roof design should suffice. If a little more head room is required then small gable dormers with peaks that are lower than the main roof could be considered.

Recommended Conditions for the Application:
{Please enter your recommended conditions here}

Summary of Final Comments at October 20, 2021 Heritage Kingston Meeting

Mr. Taylor stated that the application is problematic in a number of ways noting the eight-foot deep porch should not be approved just because there is an absence of limitations in the heritage district plan and stated that the covered porch is very prominent to the public view and that there is nothing similar to this porch within the district. He identified his concerns with the garage dormer stating that the drawings show a wall with a window in gable rather than a gabled dormer that pierces the roof (as noted in the Ontario Architecture Website) and disagreed that it could be defined as a dormer. He noted that the design is inconsistent with the heritage district plan given the high-visibility of the dormers from the street. He stated that the Committee should support the heritage district plan and the members of the village and defeat the recommendation.

Mr. Mitchell commented that the current application speaks to smaller changes to a prior permit approval. He noted that new infill to the district does not need to be a heritage structure but must be sensitive to the heritage district plan, as a result it should be considered differently. He placed the size of the porch in context to his own surroundings and porches that he has recently seen built and noted that the heritage district plan speaks more to structures that front close to a roadway which is less of a concern for this application. He noted his concern with the proposed dormer and unusual roof of the garage identifying that if the mitigation efforts, such as trees on the property, cannot be enforced than the location of the garage and its roof configuration is problematic.

Councillor Oosterhof stated that he believed the size of the porch is reasonable for the owner's enjoyment of living and suits the overall mass of the property. He noted that he has less concern about the proposed dormers and roof noting that the project overall is sensitive to the heritage district plan and complementary to the community.

Ms. McFarlane stated that the effects of the buildings on Barriefield Village and the heritage district is a combination of the proposed changes noting concern with the extra two feet permitted for the porch depth adding mass, the visibility of the garage from the

street and its massing, along with the fact that the trees only mitigate these views when there is foliage on them.

Councillor Doherty commented that the application does not speak to the window size on the garage and noted that the window dimensions should be increased in relation to the dormer for a more balanced appearance.



**City of Kingston
Report to Heritage Kingston
Report Number HK-21-044**

To: Chair and Members of the Heritage Kingston
From: Paige Agnew, Commissioner, Community Services
Resource Staff: Jennifer Campbell, Director, Heritage Services
Date of Meeting: October 20, 2021
Subject: Application for *Ontario Heritage Act* Approval
Address: 223 Princess Street P18-1266
File Number: P18-043-2021

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property is located on the north side of Princess Street, mid-block between Sydenham and Montreal Streets. The property contains the former movie theatre known as the Capitol Theatre and is subject to a Heritage Easement Agreement with the City of Kingston under Part IV of the *Ontario Heritage Act*.

As part of fulfilling the requirements under the Heritage Easement Agreement, application, File Number P18-043-2021 has been submitted to review the details and gain formal approval of the façade restoration plans, including the removal of the existing marquee and replication of the original 1920 marquee. The applicants are also proposing to reinstate the former sloped clay roof with parapet walls and window patterning. The applicants have submitted a heritage impact statement that includes copies of the concept plans, in support of their application.

The subject application is required through the terms of the Heritage Easement Agreement and conforms to an approval process outlined in section 37 of the *Ontario Heritage Act*. This report brings consideration of this approval forward for input from Heritage Kingston as part of the

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Director of Heritage Services' discretion under Clause 16 of the Procedural By-law for Heritage (By-law Number 2013-141), this is similar to the City's processing of Part V alteration applications under Section 42 of the *Ontario Heritage Act*.

Upon review of all the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined herein.

Recommendation:

That Heritage Kingston supports Council approval of the following:

That alterations on the property at 223 Princess Street, be approved in accordance with details described in the application (P18-043-2021), specifically those noted on the plans dated 2021-09-07, with said alteration being the restoration of the original 1920s theatre entrance as part of a larger condominium development on the property, including the:

- a. Securing and retention of the Princess Street wall during the demolition of the building;
- b. Addition of a red clay/terra cotta tile pent roof with wooden brackets, flanked by stepped stone parapet walls;
- c. Replacement of all windows and doors with bronze coloured aluminum versions;
- d. Repair of all stone walling and terra cotta detailing;
- e. Removal of the existing marquee and later ceramic wall cladding;
- f. Addition of a new marquee in the style of the original 1920 version with decorative metal chain, canopy lighting and signage;
- g. Installation of two metal poster box style signage frames; and

That the approval of the application be subject to the following conditions:

1. A Building Permit shall be obtained, as necessary;
2. An Encroachment Permit shall be obtained, as necessary;
3. All *Planning Act* approvals shall be obtained, as necessary;
4. Heritage Planning staff shall be circulated the drawings and design specifications tied to the Building Permit application for review and approval to ensure consistency with the scope of the Heritage Permit sought by this application;
5. Details/sample related to the colour(s) and design of the new siding, roofing, window trim, poster boxes and marquee shall be submitted to Heritage Planning staff, prior to installation, for review and approval, to ensure it complements the heritage character and attributes of the property;
6. Should it be discovered that the existing, currently concealed, wall cladding is not suitable for restoration and reuse, through a conservation assessment prepared by a qualified professional, Heritage Planning staff shall be provided with revised plans showing an alternative cladding option, for review and approval by the Director of Heritage Services;
7. All window and door works shall be completed in accordance with the City's Policy on Window Renovations in Heritage Buildings;
8. All masonry works shall be completed in accordance with the City's Policy on Masonry Restoration in Heritage Buildings;

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9. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property, shall be delegated to the Director of Heritage Services for review and approval; and

That receipt of the owner's intention to demolish the building, in accordance with Section 27(9) of the *Ontario Heritage Act*, be confirmed as given and no further action need be taken.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

**Paige Agnew, Commissioner,
Community Services**

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

**Lanie Hurdle, Chief
Administrative Officer**

Consultation with the following Members of the Corporate Management Team:

Craig Desjardins, Acting Commissioner, Corporate Services	Not required
Peter Huigenbos, Commissioner, Business, Environment & Projects	Not required
Brad Joyce, Commissioner, Transportation & Public Works	Not required
Jim Keech, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required

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Options/Discussion:**Description of Application/Background**

The subject property is located on the north side of Princess Street, mid-block between Sydenham and Montreal Streets (Exhibit A – Context Maps and Photographs). The property contains the former movie theatre, known as the Capitol Theatre, which opened its doors in 1920 and closed and moved to Dalton Avenue in 2012. The property recently received *Planning Act* approvals to construct a 9-storey residential tower on the property with frontage on both Princess and Queen Streets.

As a condition of the *Planning Act* approval, the owners entered into a Heritage Easement Agreement (HEA), under Part IV of the *Ontario Heritage Act*, with the City of Kingston to ensure the retention and restoration of the 1920 former theatre façade fronting Princess Street. Schedule “B” of the HEA outlines the cultural heritage value of the subject property, while Schedule “C” provides a details list of heritage conservation expectations of the owner with respect to the Princess Street façade works (Exhibit B – Statement of Significance and Conservation Works).

As part of fulfilling this requirement, Heritage Permit application, File Number P18-043-2021 has been submitted to review the details and gain formal approval of the façade restoration plans (Exhibit C – Concept Plans) as a key part of the overall redevelopment of the site. Application P18-043-2021 proposes to:

- Secure the Princess Street wall to ensure its retention and conservation during the demolition of the building on site;
- Removal of the existing marquee (built in the mid-late 20th century) and replicate the original 1920 marquee using an aluminum product with “antique bronze” coloured detailing around soft white translucent plexiglass panels. The panels are to be internally lit on all three sides, with black building name “Crown” signage on the front face. A traditional theatre-style lighting array is proposed on the ceiling of the canopy, and the original chains are to be repaired and re-installed above;
- The applicants are also proposing to reinstate the former sloped red terra cotta tile pent roof with wooden cornice brackets, flanked by capped stone parapet walls, designed to match the 1920s plan;
- The second-floor windows (likely replaced in the 1990s) are to be replaced with aluminum fixed windows, with divided lites, “antique bronze” coloured, in the original glazing pattern (24 pane central window, flanked by matching 12 pane windows) with clear glass;
- Later wall cladding is to be removed and all stone and terra cotta details are to be restored;
- New “antique bronze” coloured doors, with clear glazing, are proposed, and are to be recessed approximately 1.3 metres from the face of the building. The new entrance will

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provide access for both the residents and visitors of the new apartment building and will also provide public access to new commercial uses on the ground floor; and

- Poster-board style metal signage frames, with backlighting, are proposed on either side of the new entrance to advertise the new businesses within.

The applicants also submitted a heritage impact statement, prepared by Metropolitan Design Ltd., in support of their application (Exhibit D – Cultural Heritage Impact Assessment).

As the property is included on the City of Kingston Heritage Register as a non-designated property of cultural heritage value (listed property) Section 27(9) of the *Ontario Heritage Act* requires the owner to give Council notice of their intention to demolish the building. Through the approval of the Heritage Easement Agreement, Council has acknowledged receipt of the owner's intention to demolish the building, except for the historic front (Princess Street) wall and noted no concerns or objections.

As the subject application is required through the terms of the Heritage Easement Agreement and thereby outside of the standard heritage permit process, there is no formal role for Heritage Kingston in this matter. This report is being processed as part of the Director of Heritage Services' discretion under Clause 16 of the Procedural By-law for Heritage (By-law Number 2013-141), similar to the City's processing of Part V alterations application under Section 42 of the *Ontario Heritage Act*.

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

223 Princess Street is included on the City of Kingston Heritage Register as a non-designated property of cultural heritage value, also known as a Listed property. As part of the negotiated settlement of the *Planning Act* applications for this development, the owner agreed to enter into a Heritage Easement Agreement (HEA) under Part IV of the *Ontario Heritage Act* with the City. In lieu of a designation by-law, Schedule "B" of the HEA outlines the cultural heritage value of the property with a detailed description of the design values, historical associations and contextual values of the property. The complete Schedule "B" has been included as Exhibit B.

The 'Statement of Cultural Heritage Value' includes the following Heritage Attributes:

- Spanish Revival style two storey façade, flush with the buildings on either side;
- Recessed entrance sheltered by marquee;
- Plain coursed masonry (stone) veneer applied to a back-up wall;
- Shallow arched tripartite window on the second floor level with stylized masonry (stone) mullions, decorative window reveals with arched head panels with stylized floral and vine

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pattern, possibly glazed architectural terra cotta detailing in the frieze and surrounding the window (one of only two buildings with this decorative element in Kingston);

- Stylized frieze band with floral and vine pattern supported by stylized pendants terminating in lion-head masks each attached to the marquee by a decorative diagonally hung metal-link canopy chain; and
- The current marquee, though not original, is an integral element of the theatre's enduring history and use.

It is important to note that no interior elements are included as part of the cultural heritage value of the property, nor are any elements of the Queen Street elevation or the larger building to the rear (north) of the Princess Street wall. All heritage attributes are focused on the Princess Street elevation / existing wall of the former theatre.

Cultural Heritage Analysis

The former Capitol Theater at 223 Princess Street is significant in reflecting the evolution of the commercial development in downtown Kingston and is important in maintaining the integrity of this historic streetscape. Further it includes many representative and stylistic elements of the Spanish Revival and Mission Style of architecture and was designed by renown theatre architect Charles Howard Crane. The Capitol Theatre is important in conserving and defining the historic entertainment district portion of Princess Street.

The proposed works are required to be undertaken in accordance with Schedule "C" of the Heritage Easement Agreement (HEA) (Exhibit B) as well as the terms of the HEA itself, which specifically reference Parks Canada's 'Standards and Guidelines for the Conservation of Historic Places in Canada' and the Ministry of Heritage, Tourism, Sport and Culture Industry 'Eight Guiding Principles in the Conservation of Built Heritage Properties'. The assessment of this application is summarized below through references to the relevant sections of the HEA and the federal and provincial policies and guidelines.

Staff and members of Heritage Kingston visited the subject property on September 2nd, 2021.

The Conservation and Restoration Works, noted in Schedule "C" of the HEA, outlines the specific retention, repair and restoration works understood and agreed upon by the City and the owner. The primary objective of the HEA is to ensure the retention of the Princess Street façade and to restore and repurpose it as the primary pedestrian access to the condominium tower to the rear (north) and ground floor commercial spaces within. It is intended that the restored façade would maintain the architectural style of the former theatre and the scale of the surrounding buildings.

Schedule "C" outlines in detail the various aspects of the façade that are to be conserved and restored, including the coursed stone veneer, the shallow arched triple window opening with stylized masonry columns, reveals, frieze band, and lion busts with canopy chains, and "other existing elements including the marquee".

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The Concept Plan, dated September 7, 2021 (Exhibit C), includes details related to the repair and restoration of the stone veneer, decorative terra cotta detailing, the canopy chain, etc. Standard 8 of Parks Canada's 'Standards and Guidelines for the Conservation of Historic Place in Canada' (Standards and Guidelines) and Principle 3 of the Ministry of Heritage, Sport, Tourism and Culture Industries' Ontario Heritage Tool Kit info sheet 'Eight Guiding Principles in the Conservation of Built Heritage Properties' (Guiding Principles) directs the maintenance, conservation and repair, rather than replacement, of character-defining elements on a protected property. The proposed scope of work for the wall cladding and decorative masonry and metal elements is commendable and supportable from the heritage preservation perspective.

The current marquee is noted as a heritage attribute in Schedule "B" of the HEA (Exhibit B). Further, its "conservation and restoration" are noted in Schedule "C" of the HEA as required Conservation Works. The Cultural Heritage Impact Assessment (CHIA) (Exhibit D) notes that "the current marquee is neither historically sympathetic or structurally sound" and that it is to be replaced with a new theatre marquee that resembles a 1920s era marquee. While there is little in the CHIA to substantiate this statement, it is clear upon review of the original 1920 architectural plans (included in the CHIA, Exhibit D), that the current large, rounded marquee is not original to the building. It was added sometime in the mid-late 20th century and has become a landmark along Princess Street over the past 50 plus years.

The overriding purpose of the HEA is to conserve the cultural heritage value of the property and its heritage attributes, which include "the current marquee" as it is "an integral element of the theatre's enduring history and use." It is important to note that the cultural heritage value of the property is outlined in detail over the four-page Statement (Schedule "B") in the HEA (Exhibit B). Despite the current marquee being specifically noted in the list of Heritage Attributes, its contribution to the overall heritage value of the property is not mentioned anywhere else in the Statement. Rather the theatre character and theme, with its ornate stone wall in the Spanish Revival style, is of utmost importance from a cultural heritage perspective.

This façade has suffered the loss of many of its original elements over the years, due to deterioration, changes in taste and functional needs, including its original marquee and pent roof. The required Conservation and Restoration Works (Exhibit B) include the introduction of new elements that are intended to replicate these original 1920 features, which were lost over time. This includes a new Spanish Revival style red clay pent roof, with flanking stepped stone parapet walls, over a decorative wooden cornice brackets (Exhibit C – Concept Plans) and a new smaller metal and plexiglass marquee with illuminated sign band, decorative metal trim details and traditional light array on its ceiling.

Guidance from the Federal Standards and Guidelines and the Provincial Guiding Principles are somewhat conflicted on this particular aspect of this application. Both Standard 2 and Principle 5 discourage the removal of elements that have over time become character defining features, such as the current marquee, or to restore a historic place to one era at the expense of another. However, Standard 8 directs one to replace any extensively deteriorated or missing character-defining elements of the historic place and both Standard 8 and Principle 1 encourage the use of documentary and/or physical evidence to guide the design of the new elements.

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The most important cultural heritage aspect of the property is the original stone theatre façade facing Princess Street. As noted above, the sole purpose of the HEA is to ensure that the former theatre character and heritage detailing are conserved as part of this large development project, in order to maintain the pedestrian scale and historic character of this portion of Princess Street. The availability of the original 1920 Norman McLeod plans (Exhibit D) for this building provide a clear understanding of the original intent of the building's façade. The proponents have shown a clear intent to restore this much-altered façade to be as close to its original design as possible. This includes replicating the pitch and height of the original roof, the depth and design of the cornice and brackets, and the profile and scale of the parapet walls. The reintroduction of the lost clay tile roof and parapet walls will highlight the accompanying restoration to the terra cotta floral detailing and reinforce the Spanish Revival style.

Similarly, the new marquee will be designed based on the 1920 plans and the 1930's era photograph (Exhibit D) to resemble, as close as possible, the design, scale and detailing of the original marquee. The new marquee will have the added benefit of not only being designed to reflect the original intention of the architect and builder but will also be substantially smaller than the current marquee and thus allow improved views of the decorative features and detailing of the wall above. Standard 9 of the Federal Standards and Guidelines directs that new interventions be designed to be compatible with the character of the historic place but be identifiable as a new element upon close inspection. While designed to resemble the original marquee, the new addition with its plexiglass face, will be clearly distinguishable as a new feature.

While the current marquee may be noted in the HEA as a heritage attribute and has become a landmark along Princess Street over time, staff question its specific contribution to the heritage value and overall character of this façade. Its current size and configuration overpowers the façade and partially obscures the delicate masonry detailing of the upper storey. The lower half of the façade was substantially altered in the mid-late 20th century by the introduction of the current marquee, ceramic tiles and aluminum doors and poster boxes. This alteration, by today's heritage standards, would be considered inappropriate, having a negative impact on the cultural heritage value of the property.

It is staff's opinion that a marquee of some fashion is of paramount importance to conserve the historic theatre character of this property. Given that the current marquee both obscures and overpowers the heritage attributes of this façade and does not complement the historic character of the building; and given that the new marquee and the new pent roof will be designed to follow the original Spanish Revival design intents of the building, staff support its removal and the installation of the new version.

As noted above, the ground floor of the subject elevation has been substantially altered over time. The applicants are proposing to remove all the ceramic tile, aluminum doors and poster boxes. It is unclear of the current condition of the stone wall cladding behind these features. The intention is to restore the existing walling to match the masonry veneer on the second storey. If the walling is discovered to be so damaged or deteriorated that it cannot be restored, staff have included a condition of approval requiring the owner to submit a report outlining the condition of

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the cladding, and revised plans showing an appropriate cladding alternative for approval by the Director of Heritage Services. An appropriate cladding option could include another masonry material in a complementary tone.

The current doors and windows on this elevation are not original. The applicants are proposing to replace the second story windows with fixed anodized aluminum windows, “antique bronze” in colour, with divided lites in a pattern that matches the original plans (24 pane central window, flanked by matching 12 pane windows). The main doors will also be aluminum in a matching bronze tone and will be reorientated to include two double-doors with clear glazing above and a central opaque spandrel panel.

To advertise the proposed ground-floor commercial uses within, the applicants are proposing to install new theatre-style back-lit poster frames flanking the entrance. The new frames are to be metal in a matching bronze tone and replace the existing in the same locations. Details on the materials and colour will be reviewed and confirmed by staff as a condition of heritage approval.

Provincial Guiding Principle number 7, and the Federal Standard number 11, notes that new additions should be complementary to the heritage building in terms of scale, form, and materials, but distinguishable from the heritage building and not designed to replicate the exact style of the building. The proposed changes to the doors, windows and poster boxes will have a positive impact on the overall façade and will further the goal of conserving its cultural heritage value while also creating a functional and attractive entrance to the new condominium.

A concurrent Site Plan Control application, File Number D11-049-2019, is being processed to finalize the technical details of the new condominium development, including the design of the new nine-storey tower and Queen Street elevation. This portion of the overall development is not the subject of the Heritage Easement Agreement or this application.

As part of the Site Plan Control approval, the owners have agreed to install an interpretive/educational display within the public portion of the lobby area of the restored Princess Street entrance. This initiative will be entrenched in the site plan agreement with the City. Details on the content of the display will be provided to staff and the Heritage Properties Working Group for review and approval.

Staff are of the opinion that the proposal will uphold the heritage conservation objectives set out within the City of Kingston’s Official Plan, the Ministry of Heritage, Sport, Tourism and Culture Industries’ Eight Guiding Principles in the Conservation of Built Heritage Properties, and Parks Canada’s ‘Standards and Guidelines for the Conservation of Historic Places in Canada’. The restored theatre elevation will conserve the landmark status and cultural heritage value of this property and its contribution to the historic streetscape of Princess Street.

Previous Approvals

None

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Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Building:

1. The submitted Professional Engineer design of the detailed support for the front façade is required to be stamped;
2. Building Permit will be required for the structural support for the front façade; and
3. This Heritage Permit is required prior to issuance of a Building Permit.

Engineering:

Prior to work commencing, the Owner shall obtain an Encroachment Permit to permit the canopy to encroach into the municipal road allowance in accordance with Encroachment By-Law Number 2004-170. Please note that should temporary obstructions of municipal property be required to perform the work; the proper permit will be required.

Consultation with Heritage Kingston

Heritage Kingston was consulted on this application through the Development and Services Hub (DASH) system. The Committee's comments have been compiled and attached as Exhibit E. Responding members provided general support for the application.

Conclusion

Staff recommends approval of the application File Number (P18-043-2021), subject to the conditions outlined herein, as there are no objections from a built heritage perspective, and no concerns have been raised by internal departments.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Heritage, Sport, Tourism & Culture Industries)

City of Kingston Official Plan

By-Law Number 2013-141 Procedural By-Law for Heritage

City's Policy on Window Renovations in Heritage Buildings

City's Policy on Masonry Restoration in Heritage Buildings

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Notice Provisions:

None

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

Jennifer Campbell, Director, Heritage Services, 613-546-4291 extension 1377

Ryan Leary, Senior Planner, Heritage, 613-546-4291 extension 3233

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

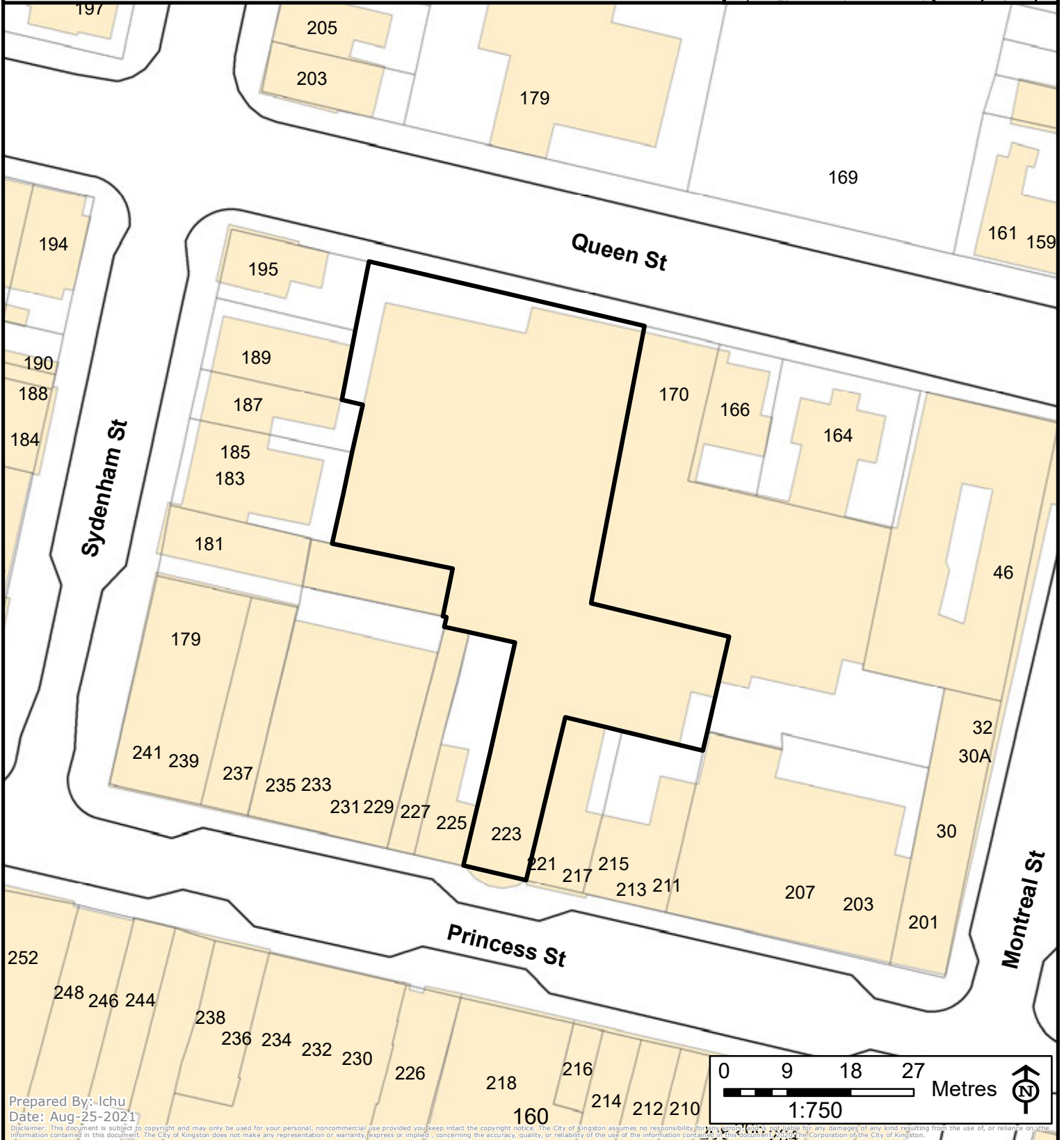
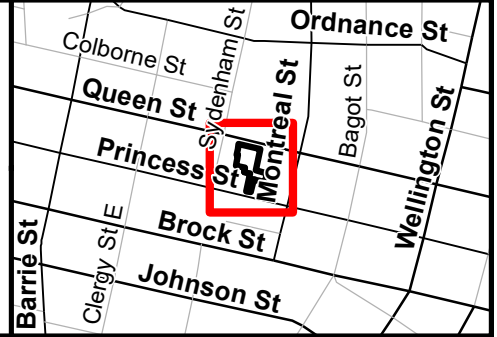
- Exhibit A Context Maps and Photographs
- Exhibit B Schedule "B" "Statement of Cultural Heritage Value" and Schedule "C" "Conservation and Restoration Works", from Heritage Easement Agreement
- Exhibit C Concept Plans, prepared by SRM Architects Inc.
- Exhibit D Cultural Heritage Impact Assessment, prepared by Metropolitan Design Ltd., revised September 2021
- Exhibit E Correspondence Received from Heritage Kingston
- Exhibit F Final Comments from Heritage Kingston October 20, 2021



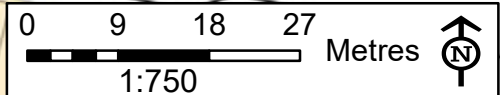
Heritage Kingston Committee Key Map

Address: 223 Princess Street
File Number: P18-043-2021

 Subject Lands



Prepared By: Ichu
Date: Aug-25-2021



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Heritage Kingston Committee Neighbourhood Context (2021)

Address: 223 Princess Street
File Number: P18-043-2021

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: Ichu
Date: Aug-25-2021

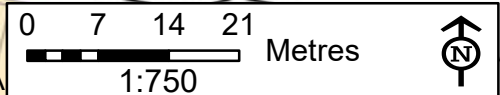
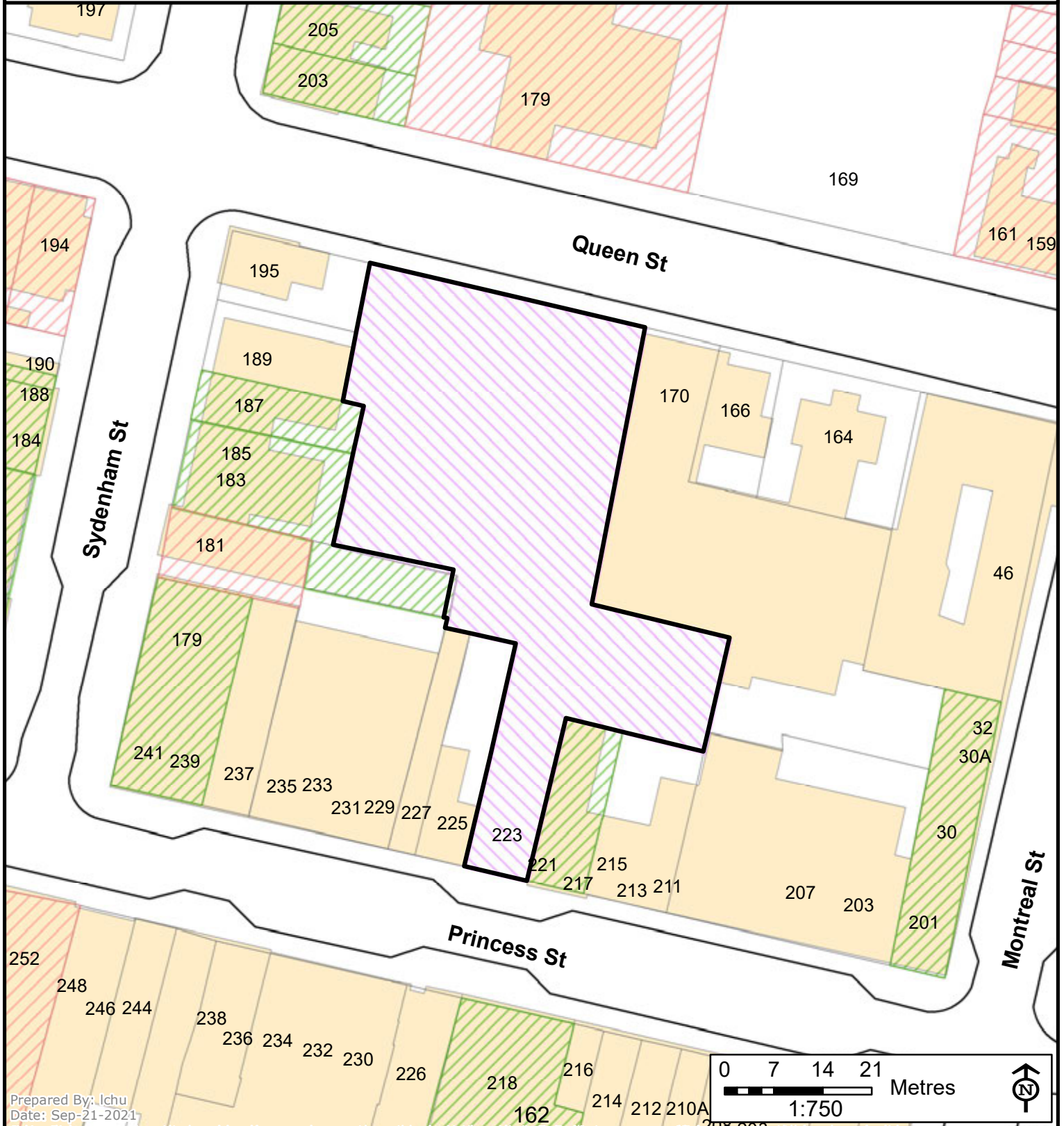
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Heritage Kingston Committee
City of Kingston Heritage Register

Address: 223 Princess Street
File Number: P18-043-2021

- Subject Lands
- Designated Property
- Easement
- Listed Property



Prepared By: lchu
Date: Sep-21-2021

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223 Princess Street – The Capitol Theatre



SCHEDULE "B" STATEMENT OF CULTURAL HERITAGE VALUE

1. Description

The Capitol Theatre is located at 223 Princess St. midblock between Sydenham and Montreal Streets in downtown Kingston. The theatre building's façade is significant in reflecting the evolution of Kingston's commercial development and maintaining the integrity of an important historic urban streetscape. It tells the story of the social and cultural importance of the entertainment industry as it evolved with new technology through the 20th Century.

The theatre building was purpose built as a modern movie theatre with stadium type seating typical of the movie palace era with a steeply raked section at the rear adjacent to the foyer. The theatre, when it opened Thursday 30 December 1920, was sold out with a capacity of 1,207 in a single auditorium comparable to a theatre in Toronto or Montreal. Sound was provided by a small orchestra.

The theatre was converted to a cineplex in 1976 when an addition was added, and the single large auditorium was split up into smaller theatres to accommodate screening more than one movie at a time.

Norman McLeod Ltd. was general contractor for the construction of the building, an engineering and building firm out of Toronto. Local masonry and specialty trades, or specialty trades from the Toronto area, would have been hired to undertake the work.

The building was commissioned by Allen Theatre Enterprises, which was one of the largest theatre chains in Canada in the 1920s, consisting of 47 operating theatres. The theatre was bought by Famous Players Canadian Corporation and renamed the Capitol Theatre in 1923. It was renamed the Odeon Theatre by 1941 and Cineplex in 1976. The theatre closed in 2012 after 92 years of operation.

The theatre was designed by the internationally renowned American architect of moving picture palaces, Charles Howard Crane (1885-1952), who designed some 250 movie theatres during his career. His theatre in London, Ontario, closely resembles the subject property's theatre building.

2. Cultural Heritage Value

The property has cultural heritage value and interest because of its physical/design values, its associative and historical values and its contextual values.

2.1 Physical/Design Values

The theatre's physical/design values are reflected in its principal façade, which must be conserved in its entirety.

The theatre façade was designed primarily in the Spanish Revival Style which reached

its apex in the 1920's and early 1930's. Stylistic elements include gentle pent roofs with red Spanish tiles, smooth stucco walls, arched fenestrations with decorated reveals extending through two floors, decorated frieze bands, and stylized brackets with heraldic figures such as medallions or lions.

There are also stylistic elements from the Mission Style, which was associated with Spanish Revival and slightly predated it in terms of popularity. This includes the cut stone stepped masonry parapets in the gables which were a feature of the building prior to a circa 1967-73 alteration.

Although a prominent feature of Spanish Revival, the use of red tile roofing was also removed in later renovations.

The theatre is a restrained or conservative expression of the escapist architecture that went hand-in-hand with the escapism of the silver screen. The entrance façade being the most visible element was adorned with eclectic elements from an assortment of architectural styles. The mixing of architectural styles with exotic or eclectic elements to create a restrained expression of architectural excess was typical of theatre design in the first quarter of the 20th Century. The well-lit marquee and canopy extending out over the street provided a visual focal point on the street and provided the theatre patron with a sense of entering another world inhabited by the glamour of the movie stars featured in the films. The entrance alcove open to the street allowed patrons to gather out of the elements prior to entering the theatre.

The theatre was described as being of 'fireproof construction' consisting of steel, reinforced concrete, stone and structural terra-cotta tiles, a suspended roof on steel trusses, and brick. Feature materials included coursed limestone in the stepped gable parapets, Spanish roof tiles, and applied appliqué ornaments which were widely available at that time from a number of architectural supply houses for the adornment of theatres. The adornment was often terracotta - a fired clay product that was easily formed and cast in intricate detail.

The circa 1967-73 alterations and additions employed fire-proof materials and construction methods which included steel, reinforced concrete, and concrete block with a brick veneer. The theatre is of a level of craftsmanship typical of the era. The architect designed the main façade to blend with limestone detailing of an adjacent building. A stepped gable formed of limestone blends with the adjacent stone building. Unfortunately, the stone parapet detailing was largely removed, and remaining portions rendered when a second storey was added to the entrance lobby circa 1967-73.

2.2 Historical/Associative Value

The property has historical/associative value with Allen Theatre Enterprises, which was one of the largest theatre chains in Canada in the 1920s, consisting of 47 operating theatres. The theatre was bought by Famous Players Canadian Corporation and

renamed the Capitol Theatre in 1923. It was renamed the Odeon Theatre by 1941 and Cineplex in 1976. The theatre closed in 2012 after 92 years of operation.

The theatre building was constructed by the engineering/building firm of Norman McLeod Ltd. of Toronto. The theatre was designed by the internationally renowned American architect of moving picture palaces, Charles Howard Crane (1885-1952), who designed some 250 movie theatres during his career. His theatre in London, Ontario, closely resembles this building.

In keeping with architectural trends for movie theatres of the 1920s, the façade of the theatre was designed to be theatrical, suggestive of both the interior splendour of the building and of its purpose. The main features of the upper storey, which sits above the marquee, are subtly suggestive of a theatrical set: a shed roof at the cornice, supported by decorative brackets, extends over the single large second-storey window opening topped by a segmental arch. More blatantly theatrical are the ornate terra cotta designs, largely featuring eclectic flower and leaf motifs, displayed in concave panels that abut the window and in the bases of the muntin bars that divide its lights.

The 1920s façade is an important example not only of the work of the designer architect, Crane, but also of the time when the motion picture experience was a common cultural activity for residents of Kingston and surrounding area who would come to the downtown in great numbers to view movies at the Capitol. Its construction in 1920 represents the evolution of the downtown from an earlier time when its focus was primarily commercial in nature to an age when mass entertainment was growing.

2.3 Contextual Value

The theatre building's contextual value is derived from its important role in defining this former entertainment district and supporting the character of the Princess Street streetscape. The presence of the well-lit marquee and canopy (while not original) makes the building a landmark on Princess Street.

The subject property's Capitol Theatre, in association with the Grand Theatre across the street and the Strand Theatre to the north, defined the evolving entertainment district along Princess Street when constructed in 1920 through to the 1970s when the industry shifted to suburban locations with ample parking.

The theatre still defines this mid-block section of Princess Street between Sydenham Street and Montreal Street with its prominent marquee and canopy extending out over the sidewalk directly across the street from the Grand Theatre.

The theatre building is an important visual contributor to the historic streetscape within the block that features mostly two and three storey, mixed commercial and residential buildings constructed of stone, brick, and concrete in a number of styles that were

successively developed between circa 1860 through to circa 1930, most of which are valuable heritage resources.

The theatre building has landmark status within the City of Kingston and within the block with its prominent marquee and canopy (although not original) along Princess Street. It forms part of a collection of buildings that are important for their reflection in architectural and historical terms of the economic, social and cultural development of Kingston from the late nineteenth through the twentieth centuries.

3.0 Heritage Attributes

The following is a comprehensive list of heritage attributes of the property:

- Spanish Revival style two storey façade, flush with the buildings on either side;
- Recessed entrance sheltered by marquee;
- Plain coursed masonry (stone) veneer applied to a back-up wall;
- Shallow arched tripartite window on the second floor level with stylized masonry (stone) mullions, decorative window reveals with arched head panels with stylized floral and vine pattern, possibly glazed architectural terra-cotta detailing in the frieze and surrounding the window (one of only two buildings with this decorative element in Kingston);
- Stylized frieze band with floral and vine pattern supported by stylized pendants terminating in lion-head masks each attached to the marquee by a decorative diagonally hung metal-link canopy chain; and
- The current marquee, though not original, is an integral element of the theatre's enduring history and use.

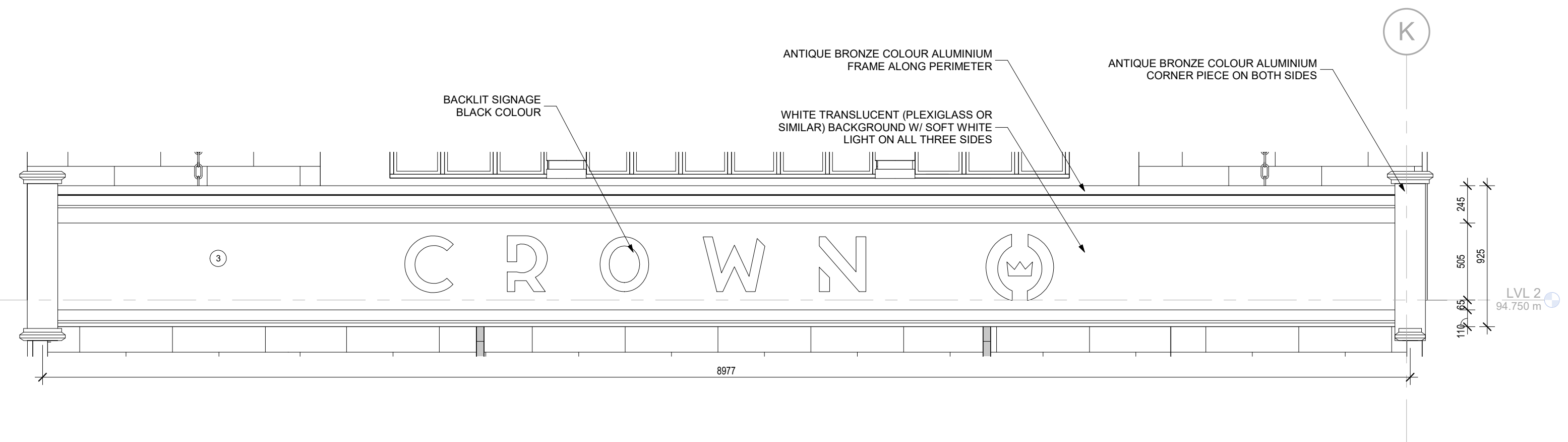
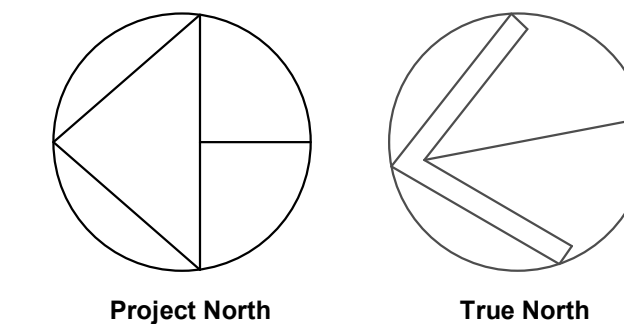
SCHEDULE "C"
CONSERVATION AND RESTORATION WORKS

The Owner shall complete the Conservation and Restoration Works described below in accordance with the terms of this Agreement. Prior to commencing any restoration work on the Princess Street facade, the Owner shall obtain a Heritage Permit from the City in respect of such work. In the event of any conflict between the terms of this Agreement and the Heritage Permit, the Heritage Permit will prevail to the extent of the conflict. The Conservation and Restoration Works are as follows:

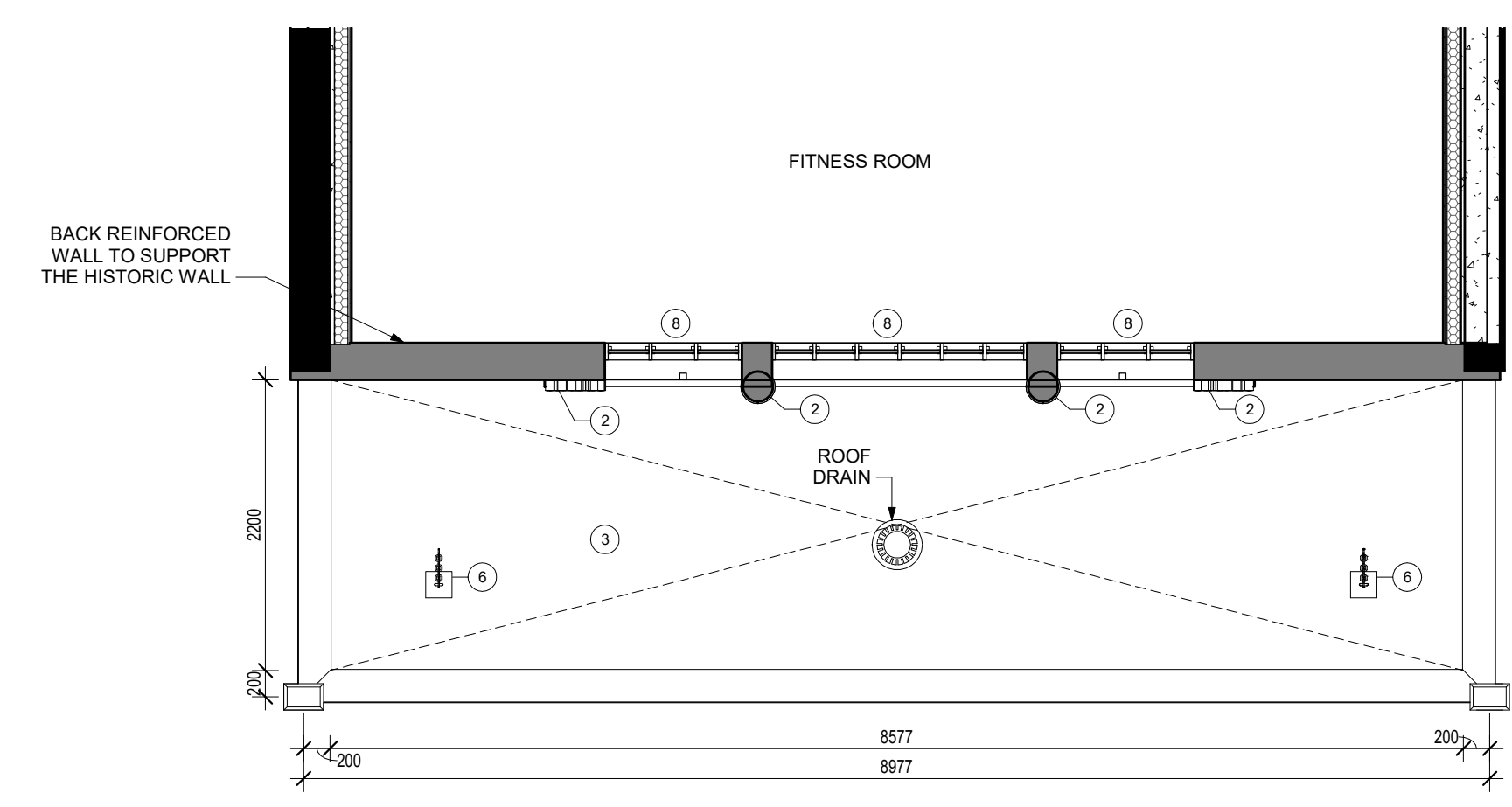
- (1) The conservation objective is to retain the Princess Street façade and repurpose it as the primary entrance to the condominium tower and ground floor commercial space. The restored façade will maintain the architectural heritage value of the theatre, maintain the scale of the surrounding buildings, and the marquee will continue to be a visual reminder of the story of Kingston's Theatre District;
- (2) The existing materials and forms, including the glazed architectural terra-cotta detailing, fenestration pattern, coursed stone veneer, and other existing elements including the marquee will be conserved and restored. Specifically, the proposed conservation works include:
 - (a) The coursed stone veneer applied to the Princess Street façade will be retained (and repaired as necessary), and the upper portions of the wall, and the stepped parapet gables which have been removed will be restored to their original form and detail;
 - (b) The shallow arched triple window on the second-floor level with stylized masonry columns dividing the three panes, decorated window reveals with stylized floral and vine pattern will be retained (and repaired);
 - (c) The stylized frieze band with floral and vine pattern supported by stylized pendants terminating in a lion bust from which the canopy/marquee chains are attached will be retained (and repaired as necessary); and
 - (d) A new element will be installed at the top of the wall that is a reference to the original 1920 Spanish Revival roof and stepped parapet wall to complete the façade and to protect the original frieze band. These original elements were removed in the 1967-73 alterations;
- (3) The theatre entry will be repurposed as the primary entrance to the residential building. The lobby will be developed with a linear commercial/arcade space along the south wall or as a bar/cafe area for the proposed restaurant;
- (4) The intent of the proposed restoration of the original Spanish Revival design elements including the shallow pent roof with red tiles and the stepped parapet would be based on the design as illustrated in the original drawing set. Materials would include coursed stone cladding applied to a masonry backup wall, as well

as the stone treatment of the parapet walls above the adjacent roof structures and the introduction of a parapet coping; and

- (5) Demolition of the historic portions of the building will be documented and provided to City staff. City staff will be given access for documentation of interior elements as needed. Documentation will be in the form of photographs and dimensioned drawings.



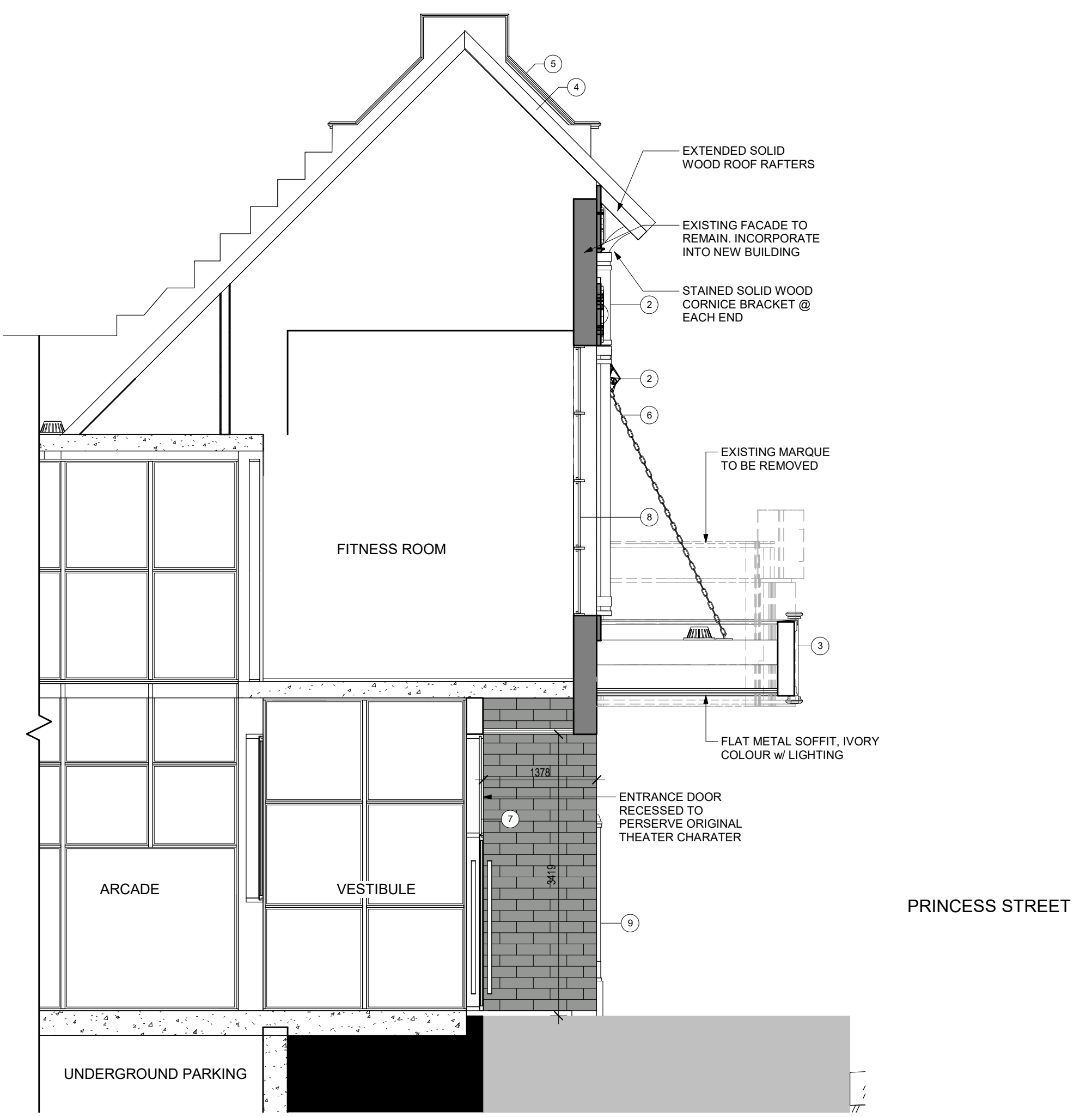
4 ENLARGED MARQUE ELEVATION
1:25



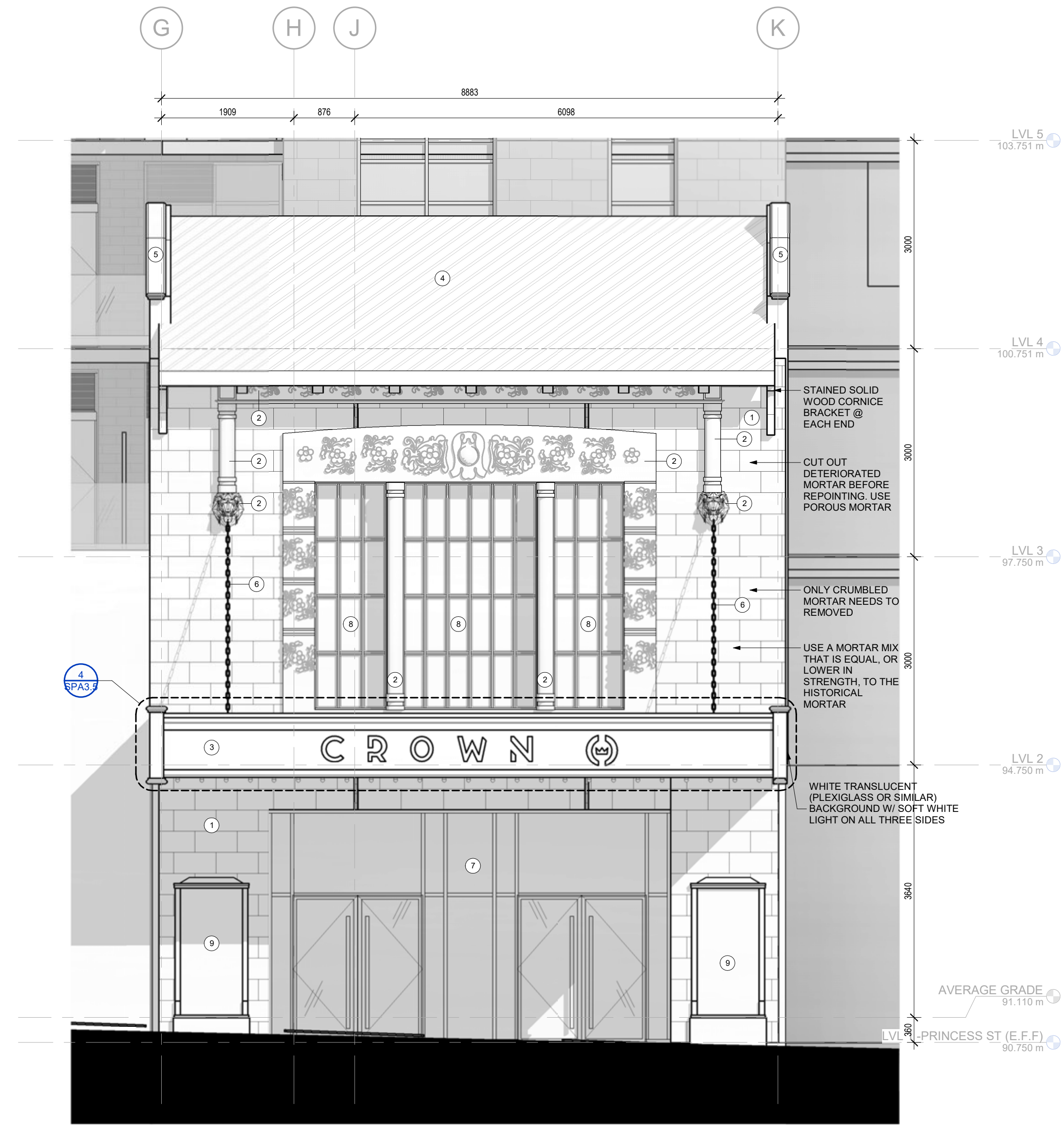
3 HISTORIC CANOPY PLAN
1:50

- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
 3. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 4. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
 5. ALL DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE, MODIFICATION, AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT WRITTEN PERMISSION. THE CONTRACT DOCUMENTS WERE PREPARED BY THE CONSULTANT FOR THE ACCOUNT OF THE OWNER.
 6. THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST JUDGEMENT IN LIGHT OF THE INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THE CONTRACT DOCUMENTS, OR ANY RELIANCE ON OR DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES.
 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THE CONTRACT DOCUMENTS.

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Contract Documents. C:\Users\manivannan\Documents\19026_223 Princess Street, Kingston\34_amanivannan\KHPPD.rvt



2 HISTORIC ENTRANCE ENLARGED SECTION
1:50



1 HISTORIC ENTRANCE ENLARGED ELEVATION
1:50

HISTORIC MATERIAL LEGEND

1. EXISTING MASONRY STONE TO REMAIN. RESTORE AND REPAIR AS NEEDED. REFER TO ELEVATION FOR ADDITIONAL INFORMATION.
2. EXISTING GLAZED TERRA-COTTA DETAILING TO REMAIN. RESTORE AND REPAIR AS NEEDED.
3. NEW THEATER MARQUEE. TO RESEMBLE ORIGINAL McLEOD DESIGN. C/W WITH HISTORICAL MARQUEE LIGHT ARRAY ON CEILING.
4. NEW TERRA-COTTA TILE ROOF. TO RESEMBLE ORIGINAL.
5. NEW MASONRY PARAPETS. TO RESEMBLE ORIGINAL McLEOD DESIGN. C/W NEW MASONRY PARAPET CAP. TO RESEMBLE ORIGINAL.
6. EXISTING MARQUEE CHAINS. SALVAGE DURING CONSTRUCTION AND REINSTALL AFTER NEW MARQUEE IS COMPLETED.
7. NEW THERMALLY BROKEN ANTIQUE BRONZE ANOD. ALUM. DOOR AND FRAME CW/ TRANSPARENT GLAZING. REFER TO SECTION FOR DEPTH OF RECESS.
8. NEW THERMALLY BROKEN DOUBLE PANE FIXED WINDOW UNIT WITH TRANSPARENT GLASS. ANTIQUE BRONZE ALUMINIUM FRAME W/ DIVIDED LITES
9. NEW SIGNAGE TO RESEMBLE ORIGINAL THEATER POSTER BOARDS. C/W BACKLIGHTING AND ADDRESS NUMBER AS SHOWN.

6	2021-09-01	RE-ISSUED FOR CITY REVIEW
5	2021-07-09	ISSUED FOR CITY REVIEW
4	2021-05-12	ISSUED FOR COORDINATION
3	2021-05-05	ISSUED FOR REVIEW
2	2021-02-27	ISSUED FOR CITY REVIEW
1	2021-02-17	ISSUED FOR CITY REVIEWING

No.	Date	Revision
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Project No: 19026
Project Date: 2021-09-07
Drawn by: FKF
Checked by: MVY
Per Date / Time: 2021-09-07 3:03:31 PM

**IN8
CROWN CONDOS**

**HISTORIC ENTRANCE
DETAILS**

Drawing Scale: As indicated
Status:
COORDINATION
Drawing No.
Revision No.
ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD THOMAS
LICENCE
5572
SPA3.5 - r6

“Capitol Theatre”

223 Princess Street - Kingston, Ontario



Figure 1: Capitol Theatre, 223 Princess Street, Kingston.

Cultural Heritage Impact Assessment Revised September 2021

PREPARED FOR:
The City of Kingston

SUBMITTED BY:
Metropolitan Design Ltd.
45 Willow Avenue
Toronto, ON M4E 3K1
(416) 579-7026



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The following CHIA prepared by MDL for the SRM redevelopment proposal for the Capitol Theatre site is based on an earlier CHIA prepared by MDL and Commonwealth Resource Management.

EXECUTIVE SUMMARY

The Allen/Capitol Theatre constructed in 1920 and altered and enlarged until it closed in 2012 is proposed to be demolished except for the Princess Street entrance façade which will be restored and re-purposed as the pedestrian entry for a proposed condominium tower.

The redevelopment of the site is proposed to accommodate a 9-storey residential tower with 182 units, and 7 commercial units totaling 332.1m² on the ground floor. Three levels below grade and the ground floor will provide 92 automobile parking spaces, and 213 bicycle storage spaces with access to and from Queen Street.

The repurposing of this downtown site for residential uses will support intensification objectives and will contribute to the animation and vitality of Kingston's historic core. The street-level, functional design of the development, with vehicle access focused on Queen Street and pedestrian access focused on Princess Street will reinforce current movement patterns and the strong urban character of both streets. With the introduction of commercial uses at grade along the Queen street elevation, the elimination of the garage doors as well as the set back above the base the proposed building will be a contextually coherent addition to Queen Street.

The restoration of the complete façade of the theatre and the rebuild of the marquee will maintain the heritage scale and character of lower Princess Street and continue to reference the theatrical heritage of the area.

1. INTRODUCTION

1.1 Current Owner Information

IN8 (The Capitol) Developments Inc.

1.2 Proponent Information

IN8 (The Capitol) Developments Inc.

2. PROPERTY DESCRIPTION

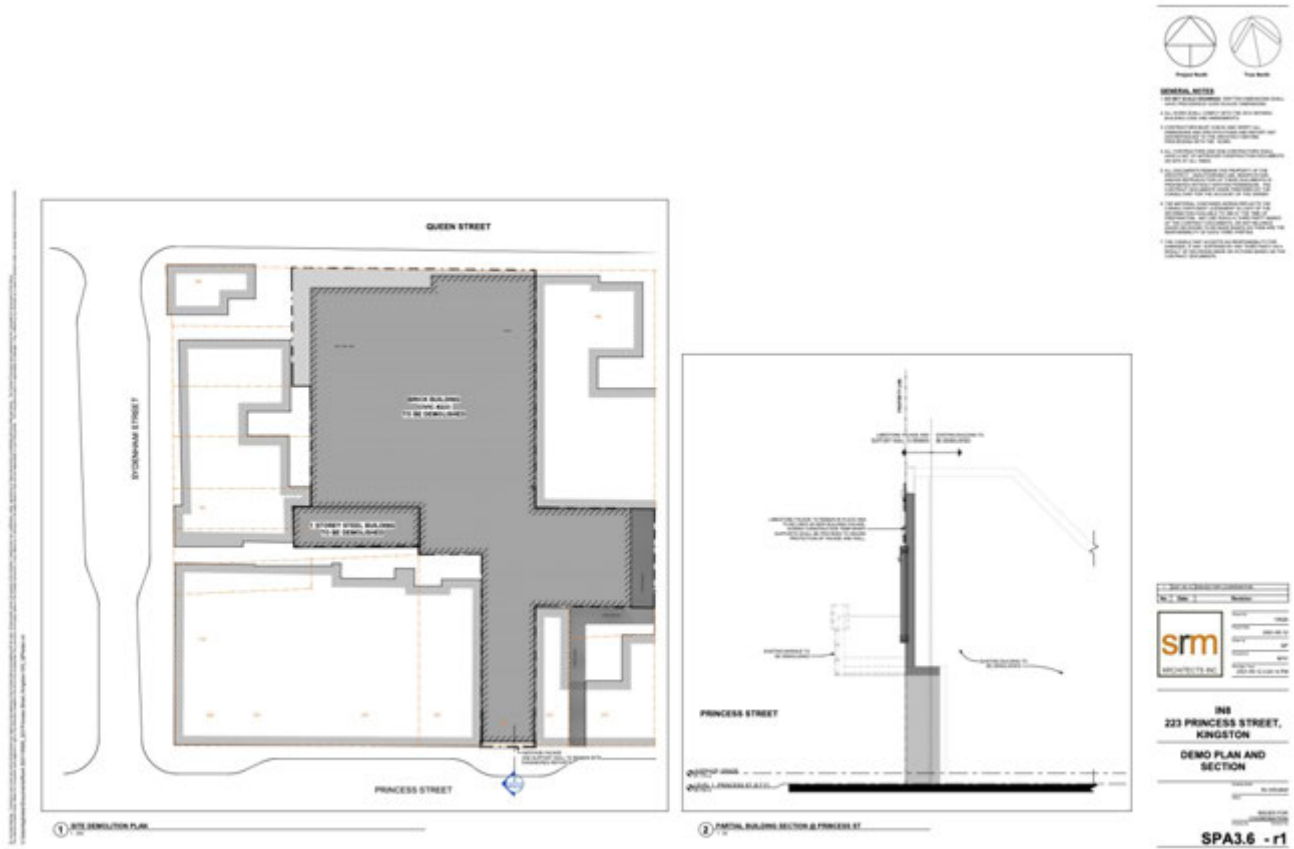


Figure 2: Demo Plan and Section of 223 Princess Street.

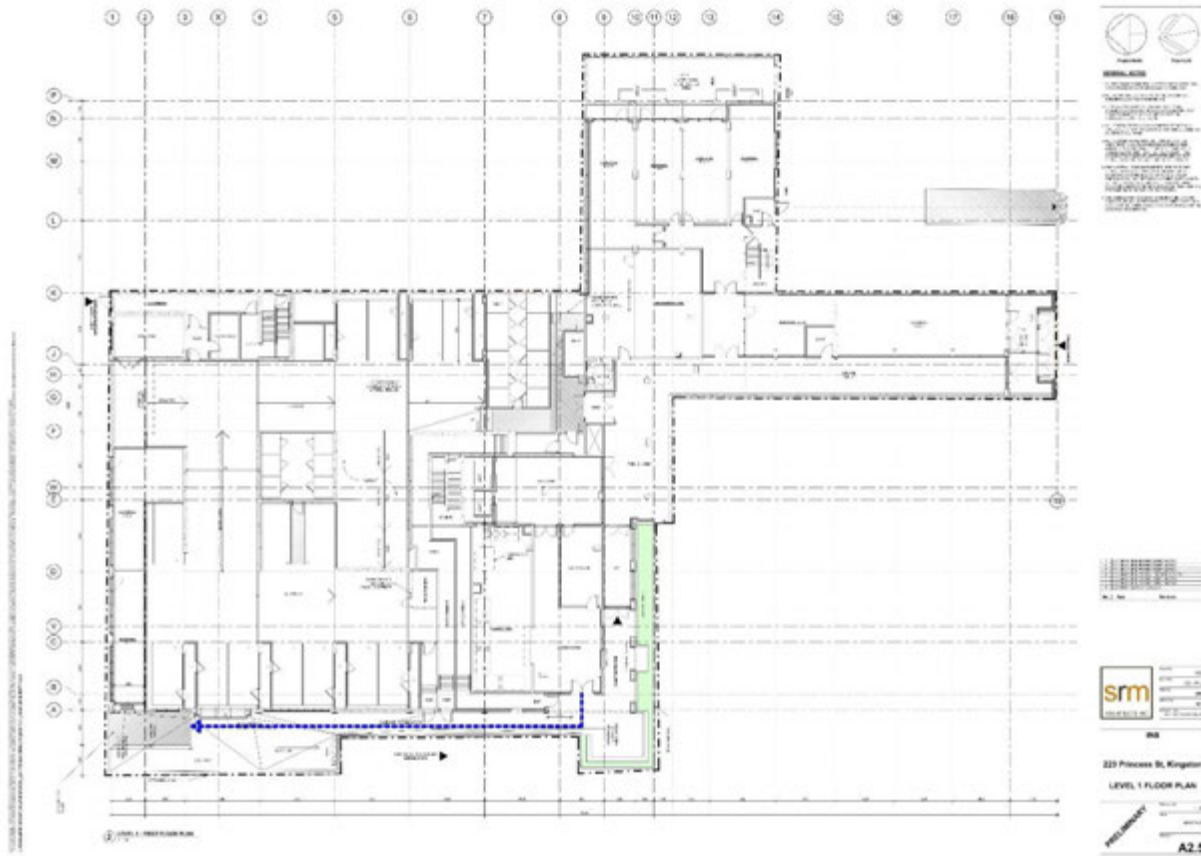


Figure 3: Level 1 Floor Plan of proposed development. Credit: SRM.

The Capitol Theatre development site is a through lot with a 9.0m frontage on Princess Street, and a 41 metre frontage on Queen Street. The former Capitol Theatre is located on the north side of Princess Street between Sydenham and Montreal Streets portions of which are within the Lower Princess Heritage Character Area (South), and the St. Lawrence Ward Heritage Character Area (North).



Figure 4: Context plan of the development site (in grey) with adjacent properties (in yellow) that are on the City of Kingston's Heritage Registrar both designated and listed. Credit: FOTENN.

Designated properties in proximity to the development site include:

- 157-161 Queen Street - *Designated*
- 179 Queen Street - *Designated*
- 137 Queen Street (St. Paul's) - *Designated*
- 194 Sydenham Street - *Designated*
- 187 Sydenham Street - *Listed*
- 184-188 Sydenham Street - *Designated*
- 183-185 Sydenham Street - *Listed*
- 181 Sydenham Street - *Designated*
- 252-256 Princess Street - *Designated*
- 239-241 Princess Street - *Listed*
- 219 Princess Street - *Listed*
- 218 Princess Street (Grand Theatre) - *Listed*
- 201 Princess Street - *Listed*
- 50-72 Montreal Street - *Designated*

All of the above properties are included on the City's Heritage Properties Register.

2.1 Adjacent Heritage Properties



Figure 5: 157-161 Queen Street, Kingston. Adjacent, designated property listed on the City of Kingston Heritage Register.



Figure 6: 179 Queen Street, Kingston. Adjacent, designated property listed on the City of Kingston Heritage Register.

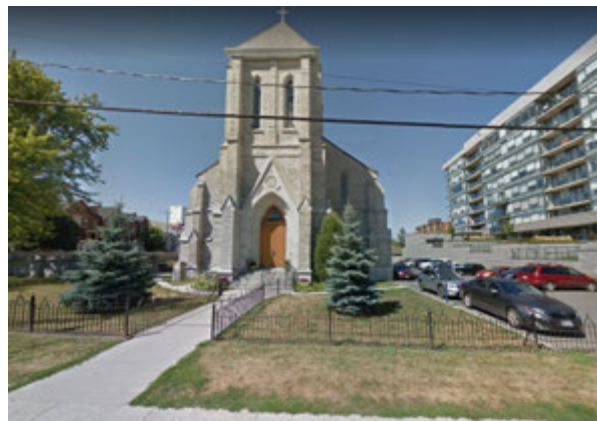


Figure 7: St. Paul's Anglican Church, 137 Queen Street, Kingston. Adjacent, designated property listed on the City of Kingston Heritage Register.



Figure 8: 252-256 Princess Street, Kingston. Adjacent, designated property listed on the City of Kingston Heritage Register.



Figure 9: 239-241 Princess Street, Kingston. Oddfellows Block circa 1891. Adjacent listed property of cultural heritage value.



Figure 10: 219 Princess Street, Kingston. Adjacent listed property of cultural heritage value.



Figure 11: Grand Theatre, 218 Princess Street, Kingston. Adjacent listed property of cultural heritage value.

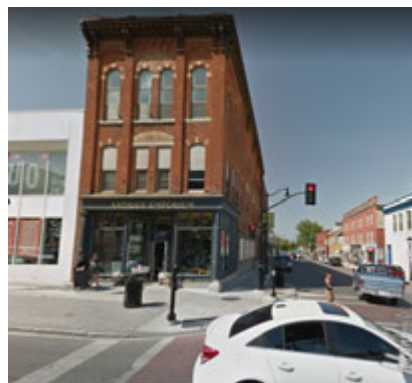


Figure 12: 201 Princess Street, Kingston. Adjacent listed property of cultural heritage value.



Figure 13: "Corbett's House", 194 Sydenham Street, Kingston. Adjacent, designated property listed on the City of Kingston Heritage Register.



Figure 14: 187 Sydenham Street, Kingston, circa 1890. Adjacent listed property of cultural heritage value.



Figure 15: 184-188 Sydenham Street, Kingston. Stone Commercial Block circa 1840s. Adjacent, designated property listed on the City of Kingston Heritage Register.



Figure 16: 183-185 Sydenham Street, Kingston. Adjacent listed property of cultural heritage value.

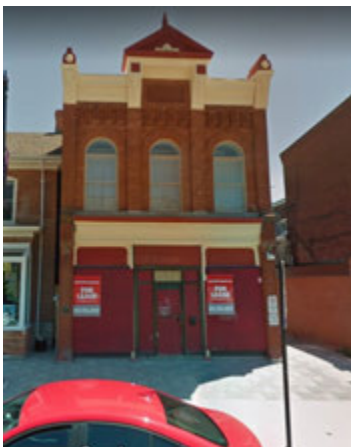


Figure 17: 181 Sydenham Street, Kingston. Charles Gildersleeve Building circa 1891. Adjacent designated property listed on the City of Kingston Heritage Register.

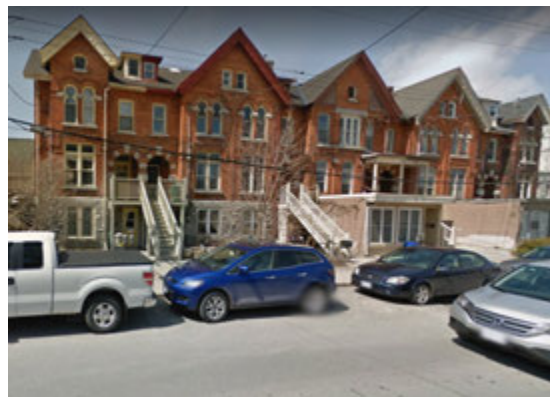


Figure 18: 50-72 Montreal Street, Kingston. Victoria Terrace on Montreal Street, 1-7. Adjacent designated property listed on the City of Kingston Heritage Register.

3. STATEMENTS OF SIGNIFICANCE OR CULTURAL HERITAGE VALUE OR INTEREST OF ADJACENT HERITAGE PROPERTIES



157-161 QUEEN STREET

Description of Historic Place

157-161 Queen Street consists of a two-storey stucco house, built circa 1828 and reflecting design elements associated with the Georgian architectural style. It sits at the northwest corner of Queen and Montreal Streets in downtown Kingston.

The property was designated under Part IV of the Ontario Heritage Act by the City of Kingston on June 8, 1981 (By-law 81-181).

Heritage Value

The house was built in approximately 1828 in the Georgian style. Containing three units entering onto the six bay front, this house follows the eastern downward slope of the street at the ground level thereby creating an elevated entry for each unit. The bell-cast roof extends beyond the face of the front wall to create a porch roof. The limestone foundation steps out to the front of the porch and is punctuated by six large segmented arched openings.

This property is most famously known as the John Power family home. Power was a prominent Kingston architect, who lived there with his family between 1868 and 1910. Power arrived in Kingston in 1846 and had experience as an architect in London, England. He designed a number of significant buildings in Kingston in the latter half of the nineteenth century. He also worked closely with William Coverdale, another important Kingston architect of the period. From 1865 onward, the Power family dominated the design of commercial architecture in Kingston. Power was responsible for designing buildings such as the Portsmouth Town Hall and the Irons Hotel.

161 Queen Street also served as the residence for local doctor E.W. Armstrong and Robert Deacon, a postmaster.

Sources: City of Kingston By-Law 81-181; City of Kingston "Buildings of Architectural and Historic Significance: Volume IV" (1977); City of Kingston File PLA-P18-309-2004; Jennifer McKendry, "With Our Past Before Us: Nineteenth-Century Architecture in the Kingston Area" (1995)

Character-Defining Elements

Character defining elements that support the heritage value of 157-161 Queen Street include the:

- stuccoed exterior
- six-bay front façade
- gable roof

- gallery with bell-cast roof, spanning the south and east walls
- two brick chimneys
- segmental arched stone arcade, with six arch openings, supporting the gallery
- wide flight of steps to the entrance of the gallery, located between the first and third arches, at the western end of the Queen Street façade
- three doors opening onto the gallery, with rectangular transoms
- two-bay façade on the north wall
- two small windows high under the gable on the east well
- sparse and irregular fenestration on the west wall¹



179 QUEEN STREET

Description of Historic Place

179 Queen Street is designated under Part IV of the OHA, By-Law No. 81-181. The reason for designation as noted in the By-Law states: 'The 1820 home of David Brass has been restored to become an important part of the streetscape and a prime example of the blending of the old and the new.'

Heritage Character Statement Lower Princess Street Heritage Character Area (OP 7.3.D.2)

Lower Princess Street Heritage Character Area recognizes the traditional downtown as a *significant cultural heritage resource*. It includes the streetscape, courtyards and laneways, heritage buildings, landscape elements, as well as the pedestrian activity, civic and commercial functions that maintain the historic function of the area. The arrangement of buildings, street orientation, pedestrian activity and continuity of height all contribute to the sense of place.

Heritage Character Statement St. Lawrence Ward Heritage Character Area (OP 7.3.D.6)

The St. Lawrence Ward is one of the oldest areas of the City with an urban style that has survived since the 1800's.

¹ <https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=9734&pid=0>



THE GRAND THEATRE – 218 PRINCESS STREET

Description of Historic Place

The Grand Theatre, located at 218 Princess Street, is of cultural heritage value and interest because of its historical/associative values and contextual values.

Heritage Value

The property has historical/associative value due to its long association with Kingston's arts and theatre community and due to direct associations with many prominent performers. The theatre is built on a site that has held a theatre since 1879. In 1889 it presented Canada's first opera, *Leo, the Royal Cadet*, which was written by two Kingston residents, Oscar Telgmann and George Cameron. The original Martin's Opera House burnt down in 1898 and the present structure was built in 1902. It opened on January 15th of that year with the comic opera *Dolly Vardon*. It went on to host many operas and dramas with great success. Famous performers such as Sarah Bernhardt, Harry Houdini and Al Jolson appeared on the stage of the Grand Opera House.

The property has contextual value due to its streetscape presence and because it has long stood as a landmark on Princess Street.²



219 PRINCESS STREET

Description of Historic Place

Built in 1877, this three-storey building, located at 219 Princess Street, is of cultural heritage value and interest because of its physical/design values and its contextual values.

Heritage Value

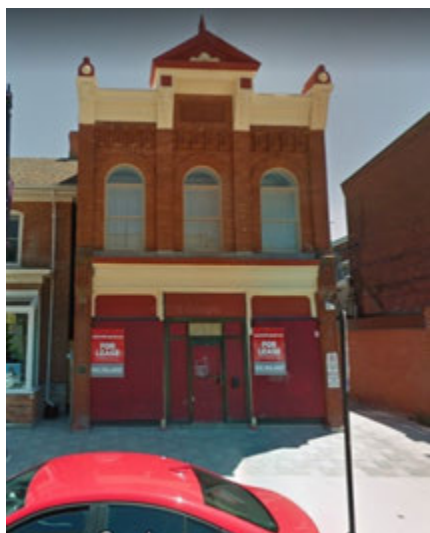
The property has physical/design value. Character defining elements that reflect this value include its scale and massing. Other elements reflecting its physical/design value include the building's three-storey, three bay, hammer-dressed ashlar construction, its gabled roof (currently obscured by metal sheeting) with a central two window dormer, and brick chimney.

² Statement of Cultural Heritage Value for 218 Princess Street, the Grand Theatre. Credit: City of Kingston Listen Properties Feb 2011 Consolidation.

The window openings have segmental arches of radiating voussoirs and stone sills. The first storey has its original carriageway.

The property's contextual value derives from its importance to maintaining and supporting the character of Princess Street.³

In recent years, the building has been substantially renovated and restored.



181 SYDENHAM STREET

Description of Historic Place

Part of Lot 312, Original Survey as in FR328732; Subject to FR328732; City of Kingston, County of Frontenac), known as the Charles Gildersleeve Building.

Heritage Value

The C. Gildersleeve Building, built in 1891, is an excellent example of an Italianate commercial building. Typical of this style, are the three large arched windows on the second storey with brick hood moulds. The windows are separated by brick pilasters and topped by a horizontal line of projecting brickwork.

The subject property is associated with the prominent Gildersleeve family. Charles was a notable Kingston politician and businessman. The property is also associated with the Jewish-Canadian settlement area along Princess Street, which was established in the 19th century. This building was the location of the Sons of Jacob (B'nai Israel) Shtiebl. Finally, this building is also associated with the long-running business "Vernon B. Simkins Sewing Machines". Vernon operated a sewing machine store on this premises until his passing in 1979 after which ownership was assumed by son Eric Simkins.

The Charles Gildersleeve Building is significant as part of the commercial core of Kingston.

³ Statement of Cultural Heritage Value for 219 Princess Street. Credit: City of Kingston Listed Properties Feb 2011 Consolidation.

4. HISTORY

4.1 Contextual History

The first real theatre in Kingston, Martin’s Opera House was completed in 1879 to the design of the architectural firm Power and Son.⁴ The Grand Opera House, also designed by Power and Son was constructed in 1901 on the site of the Martin’s Opera House after it burned to the ground in 1898. By 1909, nickelodeons, movie theatres that charged 5 cents admission, had proved their popularity everywhere. Toronto had eighteen theatres with a seating capacity of 3,000 and overall daily attendance of 15,000.⁵ In 1908, four nickelodeons or moving picture houses were in operation on Princess Street, some associated with hotels, billiard rooms, and others associated with traditional theatres such as the Grand Opera House.⁶ Vaudeville houses were the predecessor of the moving picture houses and generally predate 1914 in Ontario. They featured live theatrical entertainment and were designed to seat mass audiences, a short step away from later movie houses into which many were ultimately transformed.⁷ In December 1920, the Allen Theatre opened with a seating capacity of 1,207 in the heart of what had evolved into Kingston’s entertainment district. A musical director and pianist accompanied the silent films.⁸ The original first floor plans do not include dressing rooms that would be required if Vaudeville theatrical acts performed in the theatre prior to the introduction of talkies in the late 1920s or early 1930s.⁹

4.2 Allen/Capitol Theatre

The Allen Theatre chain was one of the largest theatre chains in Canada when the Allen Theatre was completed in Kingston in December 1920, as part of Allen Theatre Enterprises. The Allen family consisting of the father, B. Allen, and two sons Jules and Jay operating as the Temple Theatre Corporation began in Brantford Ontario in 1906.¹⁰ By 1920 the chain consisted of 47 theatres operating throughout Canada. By 1921, the Allen Theatre chain was showing signs of financial distress due to its rapid expansion, and competition between film distribution companies; nine Allen Theatres in Toronto were incorporated under a new name ‘Allen’s Toronto Theatres Limited’.¹¹ In June 1923, 35 Allen Theatres were bought by the rival, Famous Players Canadian Corporation, fo

⁴ Saddlemyer, Ann Editor. *‘Early Stages Theatre in Ontario 1800-1914.’* Pg. 237 Ontario Historical Studies Series. University of Toronto Press 1990 pg. 206 The Grand Theatre was constructed on the site of the Martin’s Opera House after it burned to the ground in 1898. pg. 238

⁵ Ibid. pg. 206

⁶ 1908-11 City of Kinston, Fire Insurance Plans Sheets, 8 & 10: A Moving Picture House with Billiards was located at 250-252 Princess St.; 259-261 Princess St.; 201 Princess St. associated with the Windsor Hotel; and, 220-224 Princess St. associated with the Grand Opera House and Hotel.

⁷ Saddlemyer, Ann Editor pg. 215

⁸ Kingston City Directory 1923 Leman A. Guild and George Hanson Publishers, Kingston Ontario

⁹ Lindsay, John C. *‘Turn Out the Lights Before Leaving’.* Boston Mills Press Erin Ont. 1983 ‘In 1929, the last regularly scheduled silent film was shown at the Capitol Theatre in Ottawa. In 1930 the first sound movie was shown. pgs.84-85

¹⁰ The Toronto World Nov. 10, 1919 *Allen Enterprise Birth Anniversary Thirteenth Year of the Wholesome Picture Entertainment by Noted Firm.*

¹¹ The Montreal Gazette, July 28, 1921. ‘Nine Allen Theatres. Proposal Made in Letter to Shareholders by Vice President J. J. Allen’.

unded in 1920 and headed by Nathan L. Nathanson.¹² Nathanson then organized the theatres under the Famous Players brand and changed the name of the theatre to the Capitol Theatre. In 1923, the Allen Theatre was staffed with a musical director (Sid Hoffman), and pianist (Charles Milner) who provided musical accompaniment to the silent films.¹³ By the late 1920's and early 1930's silent films were giving way to the talkies. By 1941, the Capitol Theatre was operating under the Odeon Theatre brand.

4.3 Site History

The site at 223 Princess Street upon which the Allen Theatre was constructed in 1920 was located immediately across the street from the Grand Opera House now the Grand Theatre (*See Maps 3 and 4*). In 1908, Edward J. Fokes operated a barber shop out of a one-and-one-half storey building in which he had operated a barber shop since at least 1894.¹⁴ In 1908, the lot to the rear at 180 Queen Street was undeveloped and was part of 182-184 Queen Street which from 1894 through to 1923 was a residence and workshop for Anne and John Kidd a carriage manufacturer (*See Map 3*). From 1894 to 1923, 186 Queen Street was a residence and occupied successively by Frederick A. Driver a clerk and Harry P. Driver a bookkeeper. In 1920, 182 Queen Street was demolished to make way for the auditorium of the theatre.¹⁵ Circa 1967-73, the first addition to the Capitol Theatre was constructed and in 1973 the buildings located at 184 and 186 Queen Street were demolished.¹⁶ A second storey was added to the single storey entrance lobby circa 1967-73 when the Princess Street façade was altered to accommodate the addition.¹⁷ In 1976, two new theatres were added to the 1920 auditorium on Queen Street and in 1990 a \$1.4 million dollar renovation of the interior was completed.

4.4 Built Heritage Analysis

The first alteration to the building was undertaken in 1923 when the property was sold to the Famous Players theatre chain when the marquee was changed to the Capitol. The next known alteration occurred in 1936 when alterations to the proscenium and screen were undertaken by Colin Drever of Power Son & Drever Architects. The next alteration to the Kingston Capitol Theatre occurred in 1941, when the Toronto architectural firm of Kaplan & Sprachman, who specialized in theatres undertook some work. The extent of the work has not been explored. A comparison of a circa 1920 photograph of the Theatre (Figure 14) during a parade on Princess Street and a circa 1942 photograph of the building (Figure 15) shows a modified marquis in the art deco style, which may have been one of the elements of the work, as well as the renovation of the refreshment stand, and fire and safety upgrades.¹⁸ Mandel Sprachman, the son of Abraham Sprachman who was a principal in Kaplan & S

¹² Toronto Daily Star, June 1923.

¹³ Kingston City Directory 1923 Leman A. Guild and George Hanson Publishers, Kingston Ontario.

¹⁴ Foster's Kingston Directory, 1894 J. G. Foster Company Publishers Toronto; Fosters Kingston Directory 1905-1906.

¹⁵ Ibid. Kingston City Directory 1923.

¹⁶ City of Kingston, Building Permit No. 6110 May 15, 1973.

¹⁷ City of Kingston, Building Permit No. 6110 May 15, 1973.

¹⁸ Biographical Dictionary of Canadian Architects, Kaplan & Sprachman, Kingston Ontario Odeon Theatre 1941. Construction Record March 19, 1941. Pg.31

prachman, was the architect on record of the May 15, 1973 and September 1976 building permits for 223 Princess Street. Mandel Sprachman's most famous work being the architectural restoration of the Elgin Winter Garden Theatre in Toronto completed in the late 1980s. In 1990 a \$1.4 million dollar renovation of the theatre was completed by M. W. White a Belleville based architect.

4.5 Architect/Designer

The Allen Theatre was constructed in 1920 to the designs of Norman McLeod Ltd. Engineers and Contractors of Toronto, 612 Kent Building, Toronto. A full set of the drawings dated February 14, 1920 (10 of 10) developed by Norman McLeod Ltd. was obtained from Library and Archives Canada (LAC) for the Allen Theatre. The LAC acquired the drawings in 1981 from the firm of Mill and Ross Architects who had acquired the drawings from Power Son & Drever Architect who undertook some work in 1936 for the owner of the theatre (*See Architectural Drawings 3, 4, 5, 6, Section 9*).

Research undertaken by the City's Heritage Property Working Group, identifies Charles Howard Crane as the architect of the Allen Theatre, however, the brief three paragraph summary of the cultural heritage values of the site is not footnoted nor does it provide any references to determine the source(s) of the information contained in the document (*See Section 10.6*).

The document states '*The property has historical or associative value as it was designed by internationally renowned American architect Charles Howard Crane (1855-1952).*' The source of the information is not known; however, a number of Allen Theatres including the Tivoli in Toronto (1917), London (1918), Metropolitan in Winnipeg (1919), Vancouver (1919), and theatres in Calgary and Montreal (1921) were designed by C. H. Crane. The drawing set obtained from Library and Archives Canada does not substantiate the statement; The drawing set which consists of 10 drawings was the work of Norman McLeod Ltd. Engineers and Contractors of Toronto, Ontario.

The document also notes '*The theatre's physical design values are reflected in the brick and hollow tile construction*'. The statement which would normally address the principal façade of the building ignores the coursed stone veneer applied to the principal façade, evident in a number of historic images, as well as being detailed in the original drawings set, and being extant on the façade of the building.

The document goes on to state that '*It is one of the few Art Deco buildings in Kingston.*' The theatre was designed in the Spanish Revival style, a style that was at its height of popularity from the 1910s through to the 1940's. The stylistic elements included gently pitched red tile roofs, and arched fenestrations which were the dominant elements in the original design. The pent roof with red tiles, the coped masonry gables, and a section of masonry wall above the line of the existing wall were removed in subsequent alterations. The circa 1920 and 1942 images sourced from the Queen's University Archives support the statement that the original façade was designed in the Spanish Revival Style, as does the original drawing set.

The Allen Theatre opened on December 30, 1920 and in 1923 was bought out by Famous Players and renamed the Capitol Theatre. In 1936 alterations to the proscenium and screen were undertaken to the design of Colin Drever of Power Son & Drever Architects of Kinston. The architectural firm Kaplan and Sprachman of Toronto undertook work on the theatre in 1941 when the theatre was part of the Odeon chain. Kaplan and Sprachman specialized in theatres designing between seventy to eighty percent of all movie theatres in Canada between 1919 and 1950.¹⁹Mandel C. Sprachman son of Abraham Sprachman is noted to be the architect for the 1973 work, which may have included the second storey addition above the entrance lobby to the auditorium as well as the introduction of two addition theatres on Queen Street when the theatre was transformed into a Cineplex in 1976. The theatre closed in December 2012 after 92 years of operation.

4.6 Heritage Resource Description

The theatre's main entrance fronts onto Princess Street where you enter an Entrance area which is open to the street (*See Architectural Drawing 3*). The entrance leads to a vestibule with a ticket booth and then into the lobby. The lobby contains a Manager's Office and Lady's and Men's Rooms with an intervening waiting area. The lobby leads to a Foyer at the back of the auditorium above which the projector room is located. Three doors lead into the auditorium where the seating is arranged in a shallow arc with three aisles centred on the orchestra pit and screen (*See Architectural Drawing 6*). A Musician's Room, Storage Area and two exits flank the orchestra pit and screen. A separate Boiler and Fan Room are located behind the screen. The auditorium is stadium style theatre with a steeply raked section at the rear adjacent to the Foyer.

The interior walls in the Entrance, Vestibule, Lobby, and Foyer are plastered and a regular grid incised in the plaster imitating stone coursing (*See Architectural Drawing 4*). A series of four framed poster boards run the length of the lobby on the west wall. The east wall is treated in a similar manner – imitation stone coursing and framed poster boards. The 'Rendezvous' or waiting area between washrooms on the east wall is treated similar to an inglenook the entrance framed with four columns set on a plastered dado, with a fireplace and mirror along the exterior wall. The plastered ceiling of the Entrance, Vestibule and Lobby are plain surfaces with a regular grid of panels with rosettes and a simple Edwardian style cornice.

The interior walls of the Foyer are treated in a more elaborate manner with rectangular fielded panels arranged in a regular grid and centred on the three doors leading to the auditorium. The fielded wall panels are echoed in the shallow arched ceiling extending the width of the Foyer. The auditorium walls are plastered and consist of an imitation stone dado supporting a series of engaged plaster columns interspersed with a regular grid of framed panels with decorative swags and garlands.

¹⁹ City of Toronto Mandel Sprachman Fonds Biography.

Builder:

Norman McLeod Ltd. was most likely the general contractor for the construction of the building. Local masonry and specialty trades would have been hired to undertake the work, or specialty trades from the Toronto area.

Style:

The theatre façade was designed in the Spanish Revival Style which reached its apex in the 1920's and early 1930's.²⁰ Stylistic elements include gentle pent roofs with red Spanish tiles, smooth stucco walls, arched fenestrations with decorated reveals extending through two floors, decorated frieze bands, and stylized brackets with heraldic figures such as medallions or lions. Stylistic elements from the Mission Style include the cut stone stepped masonry parapets in the gables which were a feature of the building prior to a circa 1967-73 alteration.²¹

Type:

A movie theatre with stadium type seating typical of the movie palace era with a steeply raked section at the rear adjacent to the Foyer. The theatre when it opened in December 1920 had a capacity of 1,207 in a single auditorium comparable to a theatre in Toronto or Montreal. The theatre was cineplexed in 1976 when an addition was added and the single large auditorium was split up into smaller theatres to accommodate screening more than one movie at a time.

Expression:

The theatre is a restrained or conservative expression of the escapist architecture that went hand in hand with the escapism of the silver screen. The entrance façade being the most visible element was adorned with eclectic elements from an assortment of architectural styles. The mixing of architectural styles with exotic or eclectic elements to create a restrained expression of architectural excess was typical of theatre design in the first quarter of the 20th century. The well-lit marquee and elaborate canopy extending out over the street provided a visual focal point on the street and provided the theatre patron with a sense of entering another world inhabited by the glamour of the movie stars featured in the films. The entrance alcove open to the street allowed patrons to gather out of the elements prior to entering the theatre.

Material/Construction Method:

The theatre was described as being of 'fireproof construction' consisting of steel, reinforced concrete, stone and structural terra-cotta tiles, a suspended roof on steel trusses, and brick. Feature materials included coursed limestone in the stepped gable parapets, Spanish roof tiles, and applied appliqué ornaments which were widely available at that time from a number of architectural supply houses for the adornment of theatres. The adornment was often terra-cotta - a fired clay product that was easily formed and cast in intricate detail. The interiors walls are finished in plaster applied to masonry surfaces.

²⁰ McAlester, Virginia & Lee. *'A Field Guide to American Houses'* Alfred A Knopf. New York. 1989.

²¹ Maitland, Leslie et al. *'A Guide to Canadian Architectural Styles'* Broadview Press. Peterborough, Ontario. 1992

The circa 1967-73 alterations and additions employed fireproof materials and construction methods which included steel, reinforced concrete, and concrete block with a brick veneer.²²

Craftsmanship / Artistic Merit:

The theatre is of a level of craftsmanship typical of the era. The architect designed the main facade to blend with limestone detailing of an adjacent building. A stepped gable formed of limestone blends with the adjacent stone building. Unfortunately, the stone parapet detailing was largely removed and remaining portions rendered when a second storey was added to the entrance lobby circa 1967-73.

Technical Scientific Merit:

The use of materials and their arrangement are representative of the theatres being built across the country during the first quarter of the 20th century.

Historical Associative Values

Theme:

The Allen family – Jules, Jay and their father – played an important role in the development of the movie picture distribution network and the construction of theatres throughout Canada in which to show movies. The Allen Theatre chain was the largest chain in Canada during the 1910-1923 period. The movie theatre is representative of the increased leisure time afforded to the average Canadian during a time of economic expansion.

Event:

The Allen / Capitol Theatre was the first large scale movie house dedicated to showing movies constructed in Kingston.

Person:

The theatre when opened was associated with the Allen family who created the largest movie distribution network and built movie palaces in which to show them throughout Canada.

Mandel Sprachman:

A Toronto architect who specialized in theatres was the architect of record for the 1973 alterations and additions and the 1976 “cineplexing” of the theatre. Sprachman’s most notable achievement was the restoration of the Elgin Winter Garden Theatre completed in late 1980s.

Activity:

For ninety-two years the Capitol Theatre provided the citizens of Kingston an escape and provided them with glimpses of life of a movie star.

²² City of Kingston Building Permits. Permit No. 6110 May 15, 1973. Permit No 814 September 10, 1976.

Life or Work of a Person:

The Capitol Theatre completed in 1920 represents and reflects the work of Norman McLeod Ltd. a group of civil engineers and contractors based in Toronto.

The 1973 and 1976 additions and renovations to the theatre reflects the work of Mandel Sprachman, a Toronto architect specializing in theatres. Sprachman, in association with the Canadian theatre mogul Nat Taylor (1906-2004) who had been a continual experimenter with the multi-screen cinema format, culminating in Mandel Sprachman's conversion of The Uptown Theatre to five theatres in 1970. In the mid-1970s, Taylor came up with the Cineplex concept to revitalize the second-run film market that had been all but abandoned by the film industry as a source of revenue. He asked Sprachman to design a prototypical complex of twelve auditoriums with 125 seats each. This served as the model from which the Cineplex concept grew.²³

Sprachman's most prominent achievement was the restoration of the Elgin Winter Garden Theatre in Toronto in the late 1980s.

Contextual Value:

The Capitol Theatre in association with the Grand Theatre across the street and the Strand Theatre to the north defined the evolving entertainment district along Princess Street when constructed in 1920 through to the 1970s when the industry shifted to suburban locations with ample parking.

The theatre still defines this mid-block section of Princess Street between Sydenham Street and Montreal Street with its prominent marquee and canopy extending out over the sidewalk directly across the street from the Grand Theatre.

The theatre is an important visual contributor to the historic streetscape within the block that features mostly two and three storey mixed commercial and residential buildings constructed of stone, brick and concrete in a number of styles that were successively developed between circa 1860 through to circa 1930.

The Capitol Theatre has landmark status within the City of Kingston and within the block with its prominent marquee and canopy (although not original) along Princess Street.

²³ City of Toronto Web Exhibit Mandel Sprachman Fonds. The Cineplex Concept.

4.7 Heritage Attributes/Character Defining Features

- Plain coursed masonry veneer applied to a back-up wall;
- Shallow arched triple window on the second floor level with stylized masonry columns dividing the three panes, decorated window reveals with stylized floral and vine pattern, possibly glazed architectural terra-cotta;
- Stylized frieze band with floral and vine pattern supported by stylized pendants terminating in a lion bust from which the canopy chains were attached; and,
- The current marquee, though not original is an integral element of the theatre, and the theatre going experience.

4.8 Architects Biographies and Building Chronology

Joseph Power (Power Son & Dreyer Architects):

Joseph was the son of John Power (1816-1882). In 1873 Joseph Power (1849-1925) became a partner in his father's architectural firm, which then became known as Power & Son. The name was continued until 1919, in spite of John Power's death in 1882.

Colin Drever (Power Son & Dreyer Architects):

Colin (1887-1975) was educated at Heriot Watt College in Edinburgh and immigrated to Canada in 1911, he worked for Power & Son from 1912 to 1915 and again in 1918. He was taken in as a partner in 1919, at which time drawings in the Power Collection began to be signed Power Son & Drever. Joseph Powers retired in 1923 leaving Drever on his own until 1945 when he was joined by Harry P. Smith (1905-1983), a graduate of the University of Toronto with a Bachelor of Architecture degree (1929). Drever retired in 1967.²⁴

Mandel Sprachman Architect:

Mandel Charles Sprachman was born in Toronto on January 15, 1925. His father, Abraham Sprachman, was a partner in the architectural firm Kaplan and Sprachman, noted theatre architects who designed between seventy and eighty percent of all movie theatres in Canada between 1919 and 1950. Mandel Sprachman graduated from the University of Toronto School of Architecture in 1953. After working for one year in Stockholm as a draughtsman, he returned to Toronto and joined his father's firm. In 1958, Sprachman established his own architectural practice.

From early to mid-career, Sprachman practised with Marvin Giller. Although it was a full partnership, Sprachman held controlling interest in the firm. Like his father Abraham, Mandel Sprachman also specialized in cinemas and theatres throughout his career, culminating in the award-winning restoration of the Elgin and Winter Garden Theatre in the 1980s. Mandel Sprachman died in Toronto on February 11, 2002.²⁵

²⁴ Queen's University Archives, Fond F00632, Power Family Collection, Biography John Power.

²⁵ City of Toronto, Mandel Sprachman Fonds, Biography.

Chronology of Building Alterations

The following is a chronology of known alterations and or additions that have been undertaken subsequent to the completion of the building in 1920. The chronology is based on building permit applications on file with the City of Kingston records department for the period 1967-94 and a review of the Biographical Dictionary of Canadian Architects (*See Section 10.5 for Building Permits issued for 223 Princess Street between 1967 and 1994*):

- 1923 - The theatre was bought by Famous Players and the marquee changed to the Capitol Theatre;
- 1936 - The proscenium in the auditorium was altered when a new screen was installed;
- 1941 - The second major alteration to the building was undertaken by Kaplan and Sprachman Architects of Toronto which specialized in the design and alteration of movie theatres. The extent of the alterations are not known, however, the canopy below the marquee was one of the items, and fire and life safety upgrades most probably another, as well as the installation of a refreshment stand. The Entrance illustrated on the first floor plan may have been enclosed at the same time;²⁶
- 1958-1961 - The lobby and refreshment stand in the theatre were renovated (*See Images 10, 11, 12, 13*);
- 1967 - Interior alterations with a value of \$70,000. The second floor above the entrance lobby may have been included in the work, the description of the work on the permit is limited;
- 1968 - Installation of a fire escape and a new washroom; and,
- 1973 - Two buildings located at 184, and 186 Queen Street adjacent to the auditorium were demolished and a one storey addition completed. The description of the work in the permit does not go into enough detail to determine if the second floor above the entrance lobby to the auditorium was completed as part of the work. M. Sprachman is noted to the applicant and the architect for the work with a total value of \$248,952;²⁷
- 1976 – A two-storey addition containing two theatres was added to the building along Queen Street when the theatre was cineplexed.²⁸ Mandel Sprachman is noted to the applicant and the architect for the work with a value of \$200,000.
- 1990 - The interior of the auditorium underwent a \$1.4 million renovation in 1990.²⁹ R. W. White, now retired of Belleville is noted to be the architect for the work. The permit indicates that the outside dimensions of the building were not enlarged or added to;
- 1994 - Universal access upgrades to seating areas, and thresholds.

²⁶ Biographical Dictionary of Canadian Architects Kaplan & Sprachman. Odeon Theatre Princess Street Kingston, Construction Record April 16, 1941 pg.31

²⁷ City of Kingston Building Permit, 223 Princess St., Permit No. 6113 dated May 15, 1973.

²⁸ City of Kingston Building Permit, 223 Princess St., Permit No. 814, dated Sept. 29, 1976.

²⁹ City of Kingston Building Permits, 223 Princess St., Permit No. 1637, dated Mar. 19, 1990.

5. DESCRIPTION OF THE PROPOSED DEVELOPMENT

The redevelopment of the site is proposed to accommodate a nine storey residential tower with 182 residential units and 7 commercial units totaling 332.1m² on the ground floor. Three levels below grade and the ground floor will provide 92 automobile parking spaces, and 213 bicycle storage spaces with access to and from Queen Street.

The existing Theatre is to be demolished except for the Princess Street façade which will be restored and re-purposed as the pedestrian entry to the condominium tower and commercial unit.

Building Description

The Princess Street elevation maintains and incorporates the heritage façade with historic restoration which will be reanimated as the principal entrance to the residential building and commercial space. The residential tower is contemporary in style to contrast the heritage façade, however similar and complementary building materials are used which will tie together the new and the old. For instance, textured architectural pre-cast concrete will be used, similar in tone to the stone of the heritage façade.

Most units will have access to a private balcony or terrace. The balconies have been arranged to optimize exposure to natural light and to capitalize on views of the City. The placement of the balconies will also reinforce the vertical rhythm of the elevations, as well as the combination of proposed materials and glazing elements.

The primary building massing is held back from Princess Street, allowing the theatre façade to maintain its cultural heritage significance without being overshadowed by the residential tower. The building massing along Queen Street begins with a base podium for the first two floors lining up with the top of the existing neighboring context. This maintains the existing street edge. Two commercial units are proposed on Queen Street. Floor to ceiling glazing has been incorporated into the design to ground the development and encourage street-level interaction.

A key design principle for this development is that the building massing tiers back to ensure uninterrupted sky-view sightlines from a pedestrian viewpoint on both Princess and Queen Streets. The 45 degree angular plane along Queen Street is maintained by ensuring the façade is stepped back every few storeys. The steps created allow for enlarged terraces and create a break in the buildings mass. This stepping characteristic, in combination with strategic material changes, give the façade a unique and playful feel. Multi-storied glazed openings on the residential tower break up enlarged masses so that blank walls are kept to a minimum. The 45 degree angular plane is also from both Princess and Queen Street.

An amenity space and large exterior amenity terrace is planned at level six providing views of the harbour.

The entry procession through the heritage façade will connect through an interior arcade which utilizes the original theatre lobby and borrows light from the large theatre window. This corridor will provide

access to the residential lobby and a large commercial/retail space. The interior commercial unit will feature a spacious exterior courtyard within the centre of the urban fabric which will introduce natural light and air to the interior spaces.

A variety of residential unit layouts and configurations will be provided in order to provide options for prospective residents. Different units having the same number of bedrooms offer various bathroom counts and recognizing the diverse needs of different households.

See Appendix for Tarion Structural Engineering Report.

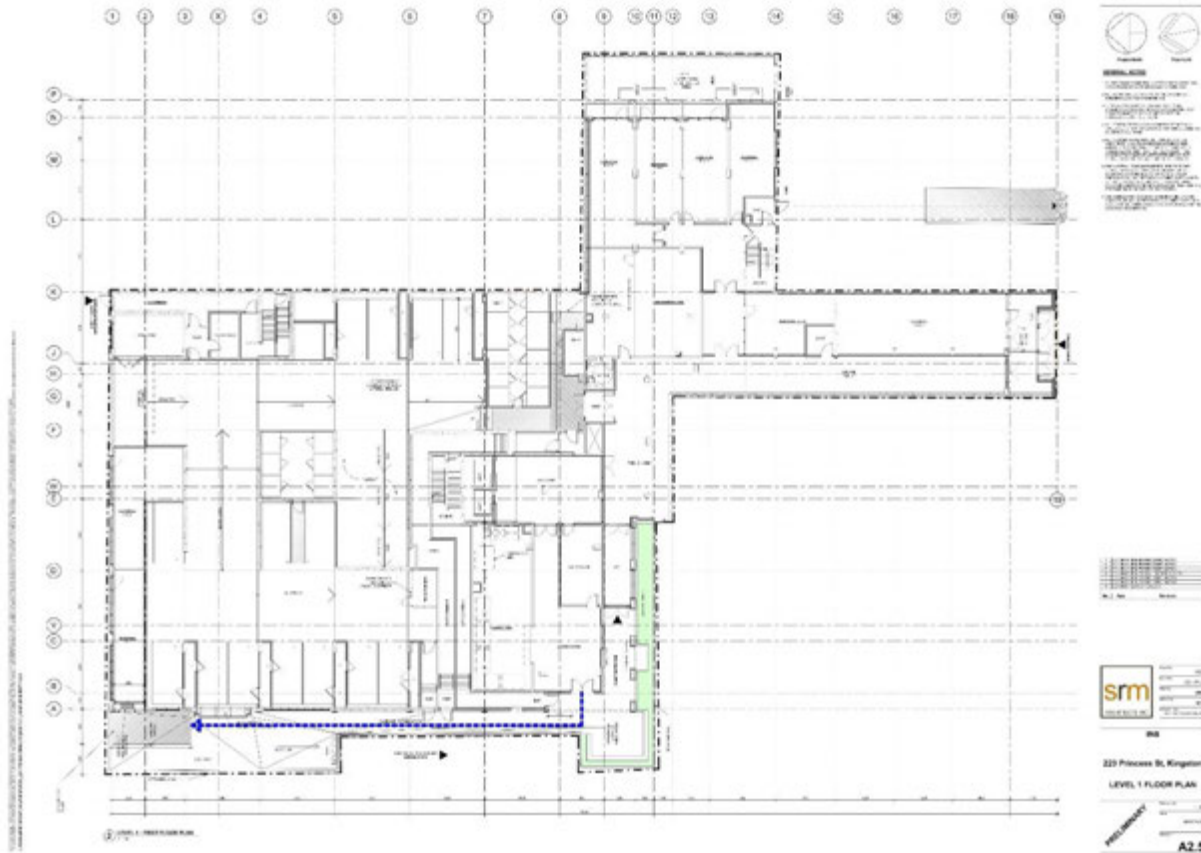


Figure 19: Level 1 Floor Plan.



Figure 20: 223 Princess Street Marquee Elevation.



Figure 21: 223 Princess Street Marquee Elevation.



Figure 22: 223 Princess Street Marquee Elevation.

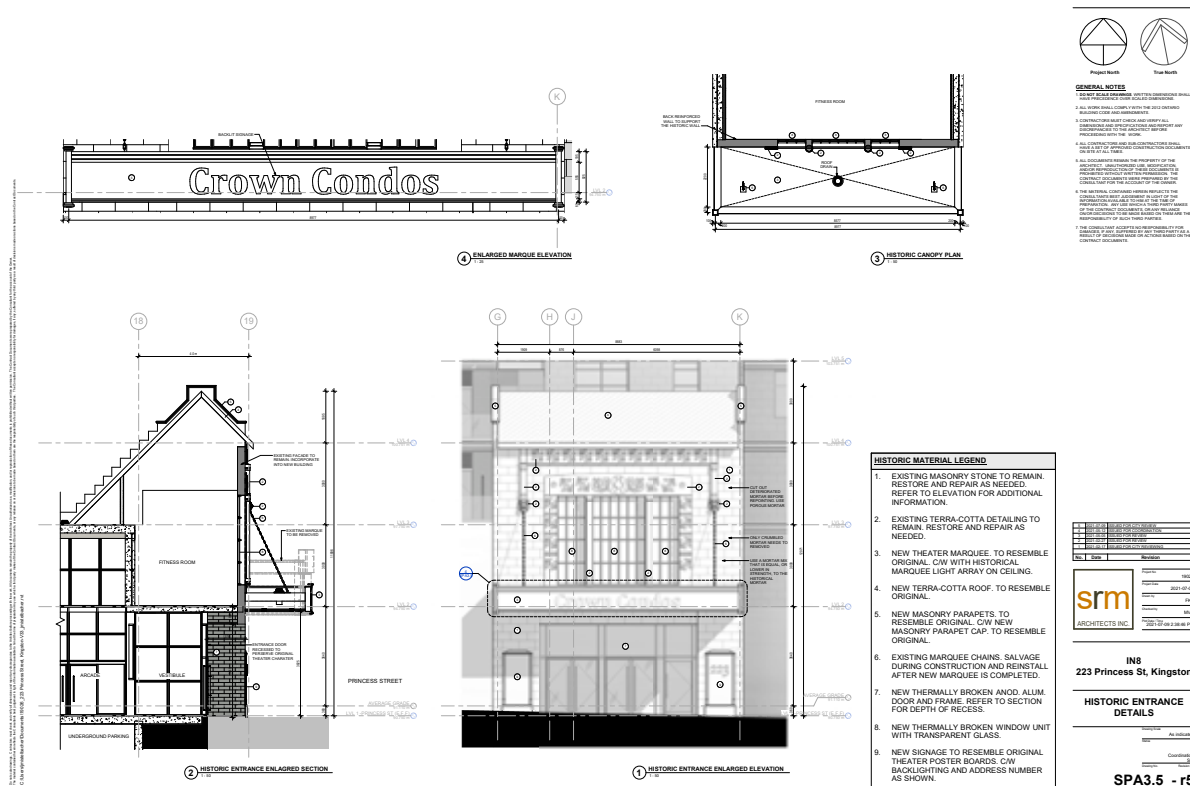


Figure 23: 223 Princess Street historic façade elevation.



Figure 24: Perspective view of development from Queen Street. Credit SRM Architects Inc.

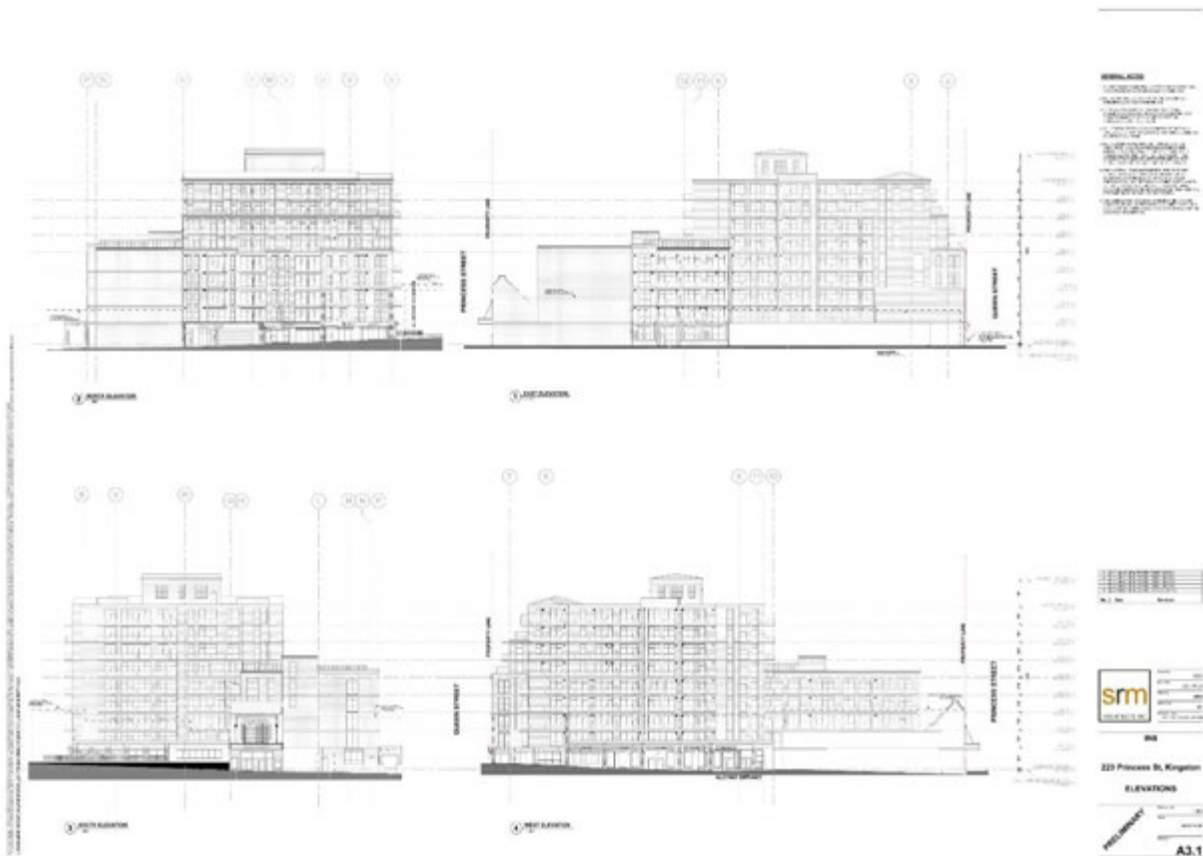


Figure 25: Elevations



Figure 26: Perspective view of the development site from Queen Street. Credit: SRM Architects Inc.

5.1 Planning Policy / Official Plan / Heritage Context

The Capitol Theatre at 223 Princess Street is a ‘listed’ property on the City of Kingston Heritage Properties Register and has been identified as being of cultural heritage value or interest by the City’s Heritage Properties Working Group, which reports to the Municipal Heritage Committee. It has been proposed that the heritage features of the façade, the sloped back roof and some of the theatre lobby will be protected under a heritage easement. The portion of the property fronting on Princess Street is located in the Lower Princess Street Heritage Character Area, and the portion of the property fronting onto Queen Street is located in the St. Lawrence Ward Heritage Character Area which forms part of the City of Kingston’s Official Plan. The applicable statements of cultural heritage value or interest for adjacent designated and listed properties and for the two heritage character areas can be found in Section 3.0 of this report.

The theatre is of contextual value to the Princess Street streetscape having been constructed during a period of economic expansion in the 1920s amid a group of two and three storey commercial and residential buildings constructed between c. 1860 through to the 1930s. The theatre auditorium is of some contextual value to the streetscape along Queen Street having been unchanged for almost 40 years after the theatre was multiplexed in 1976.

Lower Princess Street Heritage Character Area

The subject site is located with the Lower Princess Street Heritage Character Area (OP Section 7.3.D.2). It is the intent of the Official Plan to maintain the heritage integrity of the area with the application of several heritage policies, which are listed below. A discussion of how the proposed development meets the heritage polices follows each item:

- a. Buildings within the area will be encouraged to be maintained as functional heritage buildings;

Discussion: The theatre has been shuttered for a number of years and is not suited to an adaptive reuse. The façade fronting on Princess Street is being conserved and restored and will be used as the principal entrance to the proposed development.

- b. New buildings will reinforce and be compatible with the existing heritage buildings, and any upper storeys beyond the height of existing rooflines will be required to step back in accordance with the build-to plane provisions of Section 10.A.4.6.

Discussion: The retention of the façade of the theatre ensures compatibility with the heritage buildings in this block of Princess Street. The upper storeys step back beyond the existing rooflines on Princess Street in accordance with the build-to-plane provisions in Section 10.A.4.6. of the OP.

- c. Building heights in the Lower Princess Street Heritage Character Area must comply with the provisions of Section 10A.4.6 of this Plan.

Discussion: In8 is proposing three to five storeys which will front onto Princess Street but be set significantly back from the restored Princess Street elevation of the theatre. The ground floor will be the lobby and commercial space. The second floor will be the fitness room and amenity space. Floors three, four and five will be residential space. The proposed building still falls under the 17m maximum height, at 16.9m. The existing front is two storeys in height and 12m which meets the intent of Section 10A.4.6 of the OP.

The maximum height allowed in the OP along the angular plane is six storeys with a maximum height not to exceed 25.5m. The Queen Street elevation meets the 45 degree angular plane requirement and is set back from the street. The site has two zoning as it falls into two different heritage character areas.

- d. Restoration of heritage façades and the application of sympathetic materials and historic styles is encouraged.

Discussion: The Princess Street façade is being conserved with the reintroduction and restoration of original design elements above the existing roof line.

- e. New development must protect the height of City Hall as the dominant feature of the area, and employ building materials that are compatible and sympathetic to the heritage character of the area;

Discussion: There are no concerns with the loss of views to the City Hall due to this proposed development. The views of the harbour from Queen and Princess Streets are character-defining elements of the area and are not obscured by the proposed development.

- f. Parking garages and structures must conform to the general design principles of this Plan and maintain the heritage character of the adjacent streetscape.

Discussion: The parking garage at the base of the tower fronting on Queen Street has been articulated with residential scale windows, commercial uses and pedestrian frontage with entrances to the tower. The proposed design engages the street unlike the blank brick facades of the existing theatre. Façade design is compatible with elements and spacing of elements of adjacent buildings providing a continued rhythm along the street.

St. Lawrence Ward Heritage Character Area

The subject site is located within the St. Lawrence Ward Heritage Character Area (OP Section 7.3.D.6). A discussion of this proposed development and how it meets the policies follows. It is the intent of the Official Plan to:

- a. To recognize the heritage style of the area as created through the combination of buildings, street pattern, varying street widths and public squares;

Discussion: The development recognizes the heritage style of the area with the use of compatible although modern usage of materials and their arrangement in a more residential articulation fronting onto Queen Street. The introduction of commercial uses at grade, the elimination of the garage doors and the reduced height of the podium and the tower supports the contextual compatibility of proposed building on Queen Street. The development adds one more combination to the building typology and has no impact on the street patterns or widths, nor does it impact any public squares.

- b. To undertake further investigations that will define appropriate boundaries and policy.

Discussion: Further investigations are required as noted in the policy to define appropriate boundaries and policy for the area. Comments on potential impacts are limited by the lack of any detailed information contained in the City's policy for the area and the lack of a well-defined heritage character statement for the St. Lawrence Ward Heritage Character Area (Section 3.0). The proposed development will not have an impact on the surviving urban style that has survived since the 1800's.

Downtown and Harbour Special Policy Area

An urban design study was completed by FOTENN (223 Princess Urban Design Report Dated December 18, 2019) and submitted to the City as part of this development proposal. In addition, FOTENN undertook a Planning Rationale Report dated December 18, 2019 in which policies applicable to the Downtown and Harbour Special Policy Area are outlined. One of the policies include:

Taller buildings may be permitted if an urban design study is prepared which demonstrates compatibility with the massing of surrounding buildings and acceptable amounts of shadowing.

The conclusions that follow are taken from the Planning Rationale and Urban Design study prepared by FOTENN for the site:

Conclusion

The applicant is proposing a Zoning By-law Amendment to permit the development of a nine-storey mixed use building located in the Downtown and Harbour Area. The proposed development represents intensification within an area of the city intended to be developed in a pedestrian-oriented form providing increased residential densities and commercial uses to serve local neighbourhoods. On this basis, there are several sections and policies within the Provincial Policy Statement that support this proposal, including Section 1.4.3 which promotes “densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of alternative transportation modes and public transit in areas where it exists or is to be developed.” This encouragement of infill and intensification is further supported throughout various sections of the City’s Official Plan. The strategic direction established in Section 2 and the special area policies established in Section 10.A encourage:

- *Increases in overall densities within existing urban areas through appropriate infill and intensification.*
- *Developing the Downtown and Harbour Area in a pedestrian-oriented form that will provide support for the Princess Street transit corridor and more sustainable means of growth.*
- *Conserving cultural heritage resources through preserving, rehabilitating, and restoring existing building stock in a manner that reflects the character of the area; and,*
- *Supporting a broad mix of uses, including the widest range of commercial use, as well as civic, institutional, open space, recreation, and higher density residential use.*
- *The proposed development also has regard for the Downtown and Harbour Area Architectural Design*
- *Guidelines: the development will not impact views of the harbour or City Hall, respects cultural heritage resources on and around the site; and is designed to mitigate adverse impacts on adjacent properties.*

The Urban Design Study prepared for the proposal indicates the proposed height is appropriate given the way in which the building has been massed and articulated. Based on this review of the proposed development from a land use planning policy and design perspective the proposed amendment to the Zoning By-law is appropriate and will permit the development of a high-quality mixed-use building that will assist the City in achieving its sustainability goals.

6. SUMMARY OF CONSERVATION OBJECTIVES

The conservation objectives are to retain the Princess Street façade and repurpose it as the primary entrance to the condominium tower and ground floor commercial space. The restored façade will maintain the architectural heritage of the theatre and continue the scale of the surrounding buildings and with the rebuild of the marquee, the story of Kingston’s Theatre District will continue to be told. There is a listing in Kingston’s heritage register for the façade, marquee, and entrance to the former theatre on Princess Street. These characteristics will be conserved, and the Applicant is proposing a heritage easement agreement to ensure the long-term protection and preservation of these features.

To achieve Heritage Act approval for the proposed demolition we have altered and clarified our intentions for the Princess Street façade.

We have addressed the following items of concern:

1. In a previous submission, the phrase “materials and forms including the glazed architectural terra-cotta detailing, fenestration pattern, and other existing elements including the marquee will be demolished and re-built.” The sentence should have read “materials and forms including the glazed architectural terra-cotta detailing, fenestration pattern, and other existing **ornamental** elements **will remain and be restored, the second storey glazing will be replaced, and the existing marquee will be removed and re-built in the style of the original.**”
2. It is the intent of the owner to retain the historic “theatre” character of the Princess Street frontage with such details as:
 - a. Replicating the pitch and height of the original roof and design parapet walls.
 - b. Maintaining the depth of the cornice and the rebuild the roof brackets, informed by the original façade design.
 - c. Replacing the second storey windows with multi-pane units, as per the original design (a central 24 pane window, flanked by matching 12 pane windows).
 - d. Installing era-appropriate poster boxes that will flank the entrance.
3. As the current marquee is neither historically sympathetic or structurally sound, it will be replaced with the understanding that a theatre marquee on the façade is a key feature that contributes to the historic and contextual value as well as its landmark status along Princess Street. As such the rebuilt marquee will resemble a 1920s era theatre marquee, similar to the original, including appropriate materials, detailing and text font choices. The underside of the marquee will replicate the light bulb array of a traditional theatre and the support chains will be restored and re-affixed in the correct locations.
4. The intent of this resubmission is to remove any ambiguous or contradictory information and to reassert our desire to retain and restore as much of the current historic façade as possible and to sympathetically reimagine the architectural elements that have been previously lost.

The original set of architectural drawings specifically the foundation and first floor plans, indicates that the building was constructed independent of the walls of adjacent buildings. The building was set on a concrete foundation 13” in width and the walls above the foundation were constructed of structural terra-cotta wall tiles to which a stone veneer was applied. The development proposal could potentially retain and restore the finishes that have most likely been concealed behind later finishes in the lobby extending through to the proposed residential tower.

Demolition is regulated under the Building Code and requires an assessment by a structural engineer. The protection of adjacent structures during demolition is a standard practice for a whole host of reasons. The demolition of the auditorium of the theatre does not represent a loss of the cultural heritage significance of the theatre as the primary façade of historical interest is being retained, preserved, and restored. The demolition of the auditorium which fronts on Queen Street and presents a blank brick wall to the street will have a positive impact on the Queen streetscape.

The proposal to retain the Princess Street façade and rebrand it as the entrance to the proposed residential tower will enhance the cultural heritage value of the site.

7. IMPACT OF THE PROPOSED DEVELOPMENT

Impacts of the Proposed Development

The redevelopment of the 223 Princess Street site is proposed to accommodate a nine-storey residential building with 182 units, 332.1m² of commercial space on the ground and second floors. The proposed building will provide 92 parking stalls and storage for 213 bicycles with access for both from Queen Street. The building is located along the Queen Street frontage and steps down to the two storey theatre façade fronting onto Princess Street. The built form context of the immediate block and surrounding blocks is generally a consistent mix of two and three storey commercial and residential buildings.

The relationship of the 12.7m high heritage façade on Princess Street to the proposed redevelopment is as follows. The mass of the nine-storey tower is set back 32.7m from the Princess Street façade. The 16.8m high five-storey building base steps down and is set back 7.6m from the Princess Street façade. The result is that the mass of the tower, as viewed from the Princess street level will appear to be almost ½ block away from the theatre façade. The restoration of the theatre façade will maintain the eclectic heritage form, material and language of the street while the contemporary materials of the tower will clearly reference the future.

It is evident that this part of the downtown is in transition reflected by the range of new development that has occurred and continues to occur. The proposed nine storey height of the building is part of this transition and will have little relationship to the adjacent context of two-storey brick and stone detached residential houses that are on both sides of Queen Street, the stone Armory on Montreal Street, or St. Paul's Anglican Church. Though the proposed building will have a positive relationship with the new nine to ten storey residential tower that is under construction on the next block, to the north and east.

A shadow study contained in the Appendices (*See Appendix 10.7*) details the shadow path of the nine-storey portion of the proposed development on the adjacent context. It is evident that the tower would have little significant shadow effect on the blocks north, east and west of the tower. Understandably any impact will be greater in the winter than the summer.

Service and parking access, and traffic flow will be concentrated on Queen Street while pedestrian flow will focus on Princess Street. The impact of the pedestrian flow, to and from the primary entrance will continue to support the animation and commercial activities on Princess Street. While the impact on Queen Street of the vehicular and service access will be mitigated by the reduced garage and service access doors as well as the commercial uses at grade.

The Theatre was closed in 2012 so the demolition of the theatres themselves will not result in additional loss of entertainment related activity.

The development of residential uses on the site, with the former theatre entrance functioning as the primary pedestrian entry to the condominium as well as the restaurant, and the development of a commercial arcade will re-introduce the movement of people in and out of the site and add to the animation of Princess Street.

The retention of the façade as well as the setting back of the lower floors of the tower with the main mass of the tower located along Queen Street does not overpower the theatre façade and reinforces the consistent, three storey scale along Princess Street.

The retention, restoration and re-purposing of the façade and the rebuild of the current marquee, though not original will continue to be a reminder of the theatre-going experience and will maintain the historic relationship to the Grand across the street and the story of Kingston's former theatre district.

Impacts on Adjacent Listed and Designated Properties

The impact that the proposed mid-rise, residential project will have on adjacent properties that have been listed and or designated and properties that are currently being evaluated for designation or listing are as follows:

- 179 Queen Street is a restored two-storey Georgian, limestone and brick house, across the street from the proposed project and presently houses a law office. It was rehabilitated and was incorporated into a three-storey residential building complex, sometime in the last 30 years. This heritage house will be impacted by the shadow most of the day that will be cast by the proposed tower. The movement of cars in and out of the parking garage portion of the proposed tower will increase the level of traffic in front of 179 Queen Street. The scale and massing of the two-story, 19th and early 20th century houses at 196, 170, and 166 Queen Street will be impacted by the proposed tower as well, both by shadows and increased traffic;
- The impact of the proposed tower on the portion of the block west along Princess Street at the corner of Princess and Sydenham Streets will be minimal. The skyline above the late Edwardian, brick corner building at 239-241 Princess Street will include the view of the proposed tower behind. In the next block to the west the two-storey eclectic mix of smaller commercial buildings continue and includes 249-253 Princess Street. The impact of the proposed redevelopment of 223 Princess Street is minimal at this point;
- Along Sydenham Street, the skyline above the well-preserved two-storey Victorian brick commercial building at 181 Sydenham Street and the adjacent detached brick house will include the proposed tower behind. The impact on the two-storey, stone semi-detached residential building on the Northeast corner of Sydenham and Queen Streets will include some shadowing in the morning and an increase in the volume of traffic;
- The redevelopment of the property has a number of potentially positive impacts on both 218 and 219 Princess Street including: An enhanced awareness of the cultural and theatrical history of this portion of Princess Street; The proposal to restore the upper portions of the building to its original design – shallow pent roof with red tiles with a stepped stone gable –

will enhance the architectural interest and variety of the Princess streetscape; and, the development proposal has the potential to incentivize adjacent building owners to make historically sympathetic improvements to their properties.

The following discussion assesses the impacts on the cultural heritage values against a set of criteria for the conservation of historic properties. The impacts include:

1. *Destruction of any part of any significant heritage attributes or features;* All of the identified heritage attributes on the principal façade will be conserved, and missing elements that defined the as-built Spanish Revival Style façade will be reintroduced.
2. *Alteration that is not sympathetic or is incompatible with the historic fabric and appearance:* The proposed conservation and restoration of the principal façade is sympathetic with the historic fabric and as-built appearance.
3. *Shadows created that alter the appearance of a heritage attribute;* The proposed development will not shadow or alter the appearance of the identified heritage attributes for the property.
4. *Isolation of a heritage attribute from its surrounding environment, context or a significant relationship:* The proposed development will not isolate any of the identified heritage attributes of the property from its surrounding environment, context or a significant relationship.
5. *Direct or indirect obstruction of significant views or vistas within, from, or of the building and natural features:* The proposed redevelopment will not obstruct significant views or vistas from within as it is a contained property that has been built to the property lines and contains no natural features. The view of the principal façade from Princess Street will not be obstructed with the proposed development.
6. *A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces:* The proposed change of land use to a residential use will ensure the redevelopment of the property which has been vacant for a number of years.

The following assesses the impacts of the proposed development on the cultural heritage values of the site against the eight guiding principles for conservation as developed by the Ontario Heritage Trust.

1. *Respect for documentary evidence;* The proposed conservation work will be based on historic documentation including the original drawings and physical evidence found on site.
2. *Respect for the original location;* The building will remain in its existing location.
3. *Respect for historic material;* The materials and forms will be conserved in-situ and a minimal intervention approach applied to maintain the identified heritage attributes.
4. *Respect for original fabric;* The proposed restoration of missing elements original to the design will include the use of similar materials including the coursed stone veneer, and stepped stone parapet gables.

5. *Respect for the building's history*; The removal of the upper portions of the façade and the stepped parapet gables has had a negative impact and has obscured what was a coherent design. The replacement of the tiled roof will re-establish a significant amount of the original heritage character.
6. *Reversibility*; No alterations are being proposed to the existing fabric and form of the façade.
7. *Legibility*; The proposed conservation work will be documented and will not blur the distinction between the old and the new.
8. *Maintenance*; The re-introduction of the pent roof will help to conserve the original building fabric and form by shedding water from the façade elements.

8.0 MITIGATION OPPORTUNITIES

The closing of the theatre eliminated the street-level animation that had contributed to the character of Princess Street for almost 90 years. The adaptive reuse of the façade as the front door for the new residential building and interior courtyard restaurant and commercial arcade, will be an opportunity to re-introduce the movement of people in and out of the façade which will support ongoing animation of the street.

The potential impact of the scale and mass of the nine-storey tower on the narrow, three-storey theatre façade is mitigated by locating the mass of the new development behind the façade and along Queen Street. The former linear lobby, from Princess Street to former theatre auditoriums is referenced by the similar, linear, through-block entryway to the condo and restaurant.

The redevelopment of the Theatre in 1967 -73 resulted in the removal of the projecting, bracketed, Spanish Revival roof element and parapet. The result was that the top of the primary façade exposed and was visually incomplete and unfinished which had a negative impact on this heritage resource.

The projecting marquee will continue the theatre story/reference and the three-dimensional form will continue to function as a sign used to announce /advertise the restaurant and commercial arcade and to locate the condo name and address. The walls of this connecting lobby space are free-standing and were constructed on foundations that are separate from the adjacent buildings. As the original wall materials and treatment may be intact behind subsequent alterations there is an opportunity to reveal and restore the 1920's character of this space as it is integrated into the redevelopment (See *Architectural Drawings 1, 2, 3, 4*).

A complete set of the 1929 architectural drawings completed by Norman McLeod Ltd. Engineers and Contractors of Toronto are being submitted along with this report and fulfills the City's requirement that a building that is of cultural heritage value or interest be documented prior to demolition.

9.0 CONCLUSIONS

The repurposing of this downtown site for residential uses supports intensification objectives and will contribute to the animation and vitality of the Kingston’s historic core. The street-level, functional design of the development, with commercial uses and vehicle access focused on Queen Street and pedestrian access focused on Princess Street will reinforce current movement patterns and the strong urban character of both streets. The restoration of the Princess Street façade of the theatre and the rebuild of the marquee will maintain the heritage scale and character of lower Princess Street and continue to reference the theatrical heritage of the area.

10. APPENDICES

10.1 Images



Image 1: Circa 1958 views of the entrance lobby. Note the stark Edwardian treatment of the interior finishes. Credit: Queen's University Archives. Capitol Theatres 1958. George Lilley Fonds.



Image 2: Circa 1958 views of the entrance lobby. Note the stark Edwardian treatment of the interior finishes. Credit: Queen's University Archives. Capitol Theatres 1958. George Lilley Fonds.



Image 3: Circa 1958 views of entrance lobby and refreshment booth. Note the stark Edwardian treatment of the interior finishes and the mirror on the wall. Credit: Queen's University Archives. Capitol Theatre Interiors 1958. George Lilley Fonds.



Image 4: Circa 1961 view of refreshment stand in the theatre. Credit: Queen's University Archives. Capitol Theatre Refreshment Booth, May 5, 1961. George Lilley Fonds.



Image 5: Circa 1920 view of a parade on Princess Street. Capitol Theatre is at centre of the image. Note stepped gable and roof structure. The entrance lobby to the auditorium is a one storey structure with the exception of portions adjacent to Princess Street. See Map 1, 2, 1924 Fire Insurance Plan Sheet 8 for building footprint. Compare the marquee in this image and c. 1942 view in Image 15. Credit: Queen's University Archives. Kingston Picture Collection (Parades).



Image 6: Circa 1942 view of the upper portions of the Capitol Theatre. Note that the stepped gable parapets and pent roof are still intact, and the marquee has been replaced. Compare with Image 14.



Image 7: Google Earth Street View Image c2011. Note altered roof and compare with Image 14 and 15. A second addition was added to the lobby c. 1967-73. Credit: Google Earth



Image 8: View of 182 Queen Street. The original auditorium is on the left and the 1976 addition on the right. Credit: Google Earth.

10.2 Aerials

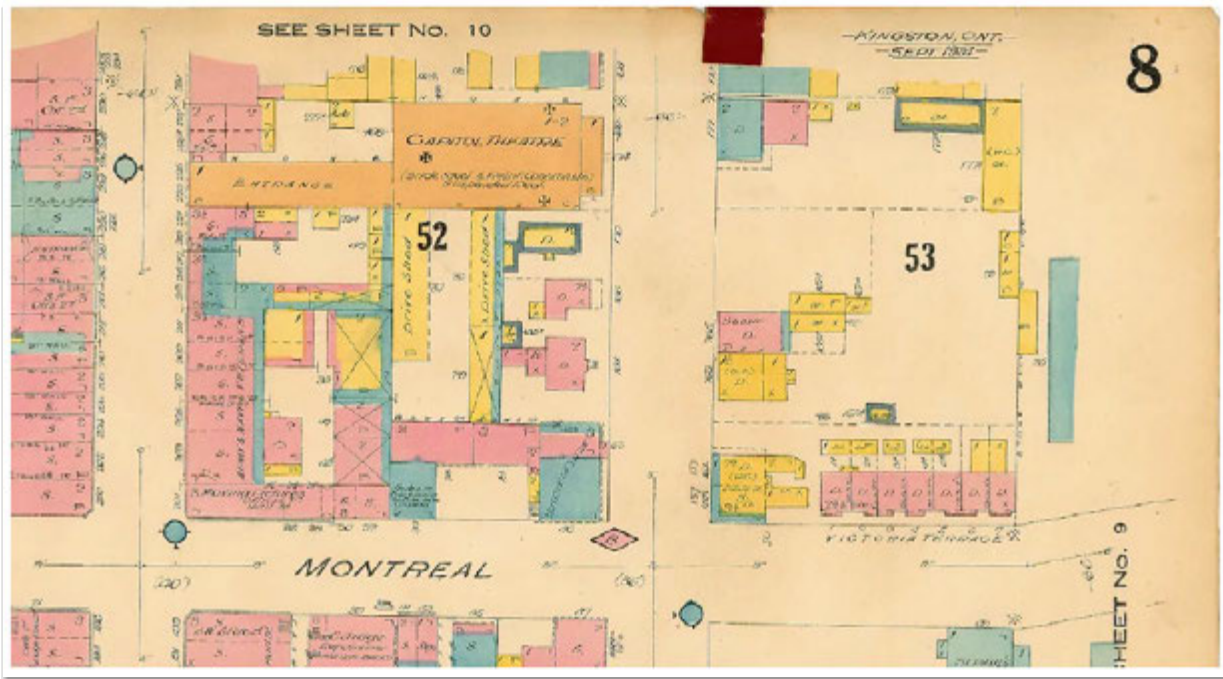


Aerial Map 1: 1970 aerial photo of the block with the Capitol Theatre in the centre (arrowed) of the image. Compare with 1978 aerial view of the block (Aerial Map 2) which confirms that a second theatre was added in 1976. Credit: City of Kingston.

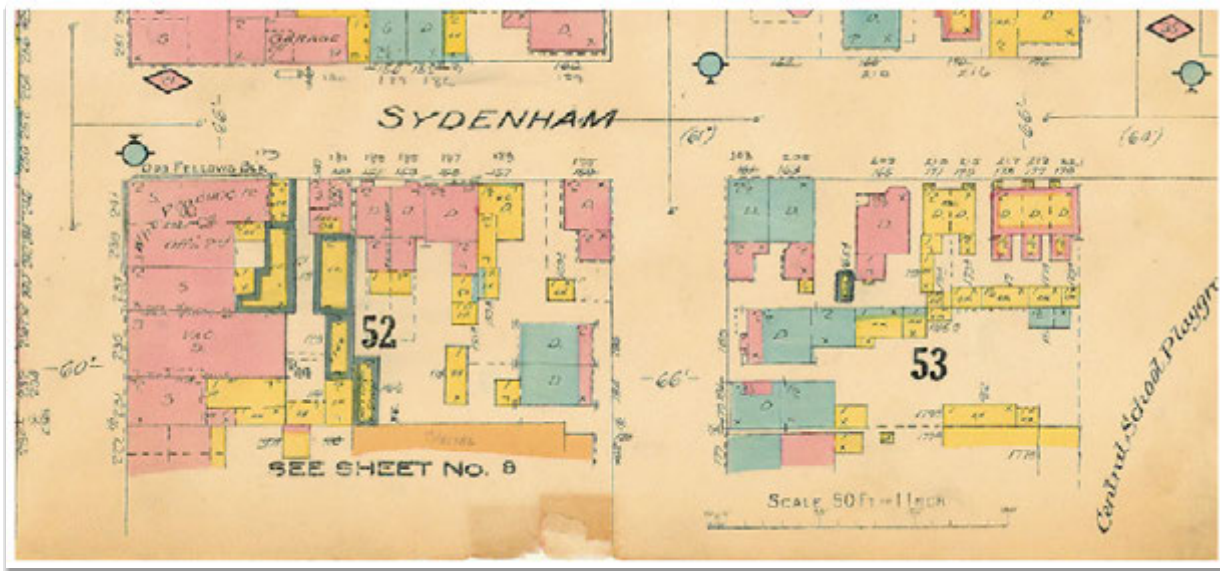


Aerial Map 2: 1978 aerial view of the block with the Capitol Theatre and the 1976 addition arrowed. Credit: City of Kingston.

10.3 Maps – Fire Insurance Plans



Map 1: 1924 City of Kingston Fire Insurance Plan Sheet 8 Detail. Capitol Theatre footprint is shown on the plan. Note single storey lobby/entrance. The building to the north of the auditorium on Queen Street was demolished in 1973 and a two-storey addition that included two theatres was added to auditorium in 1976. Credit: Opta Information Intelligence Inc. City of Kinston.



Map 2: 1924 City of Kingston, Fire Insurance Plan, Sheet 10, Detail. The Capitol Theatre is at bottom of the image above text 'See Sheet No. 8'. 184 and 186 Queen Street are identified on the plan. Credit: Opta Information Intelligence Inc. City of Kingston.

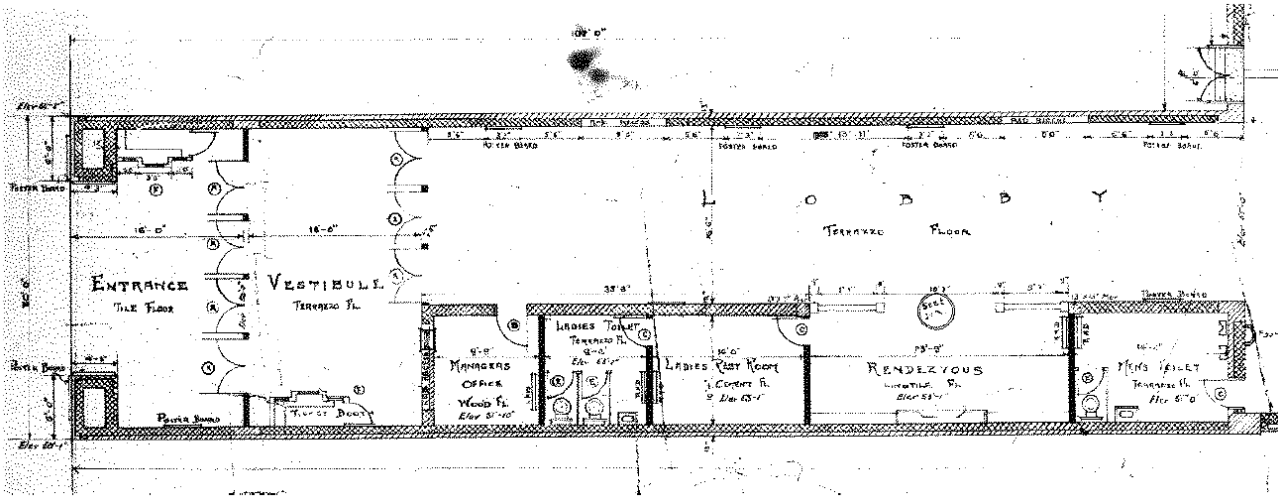


Map 3: 1908-11 City of Kingston Fire Insurance Plan Sheet 8. The future site of Allen Theatre is arrowed. Note Grand Opera House layout on the opposite side of Princess Street, and adjacent moving picture house. Note the moving picture house to south on Princess Street which was part of the Windsor Hotel. Credit: Copyright Opta Information Intelligence Inc. City of Kingston.

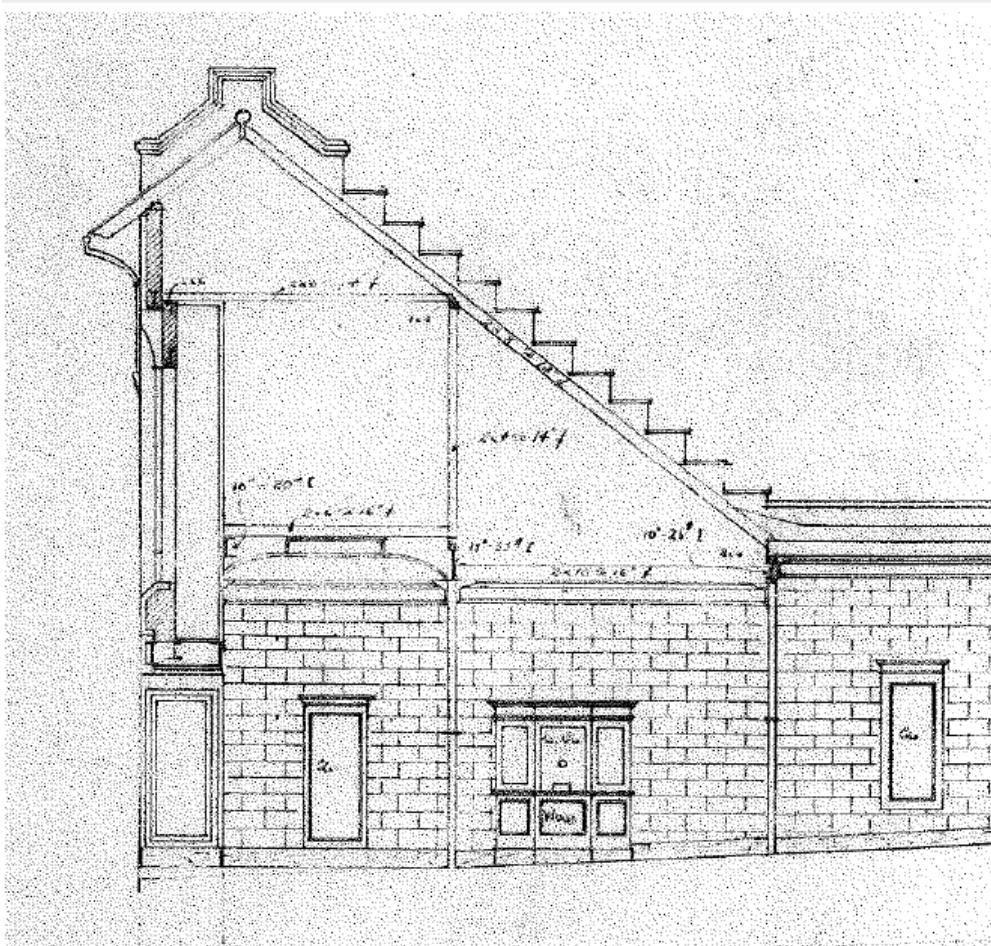


Map 4: 1924 City of Kingston Fire Insurance Plan Sheet 8. The recently constructed Allen Theatre is arrowed. Note the Grand Opera House layout on the opposite side of Princess St., and the moving picture house has been shut down. Credit: Copyright Opta Information Intelligence Inc. City of Kingston.

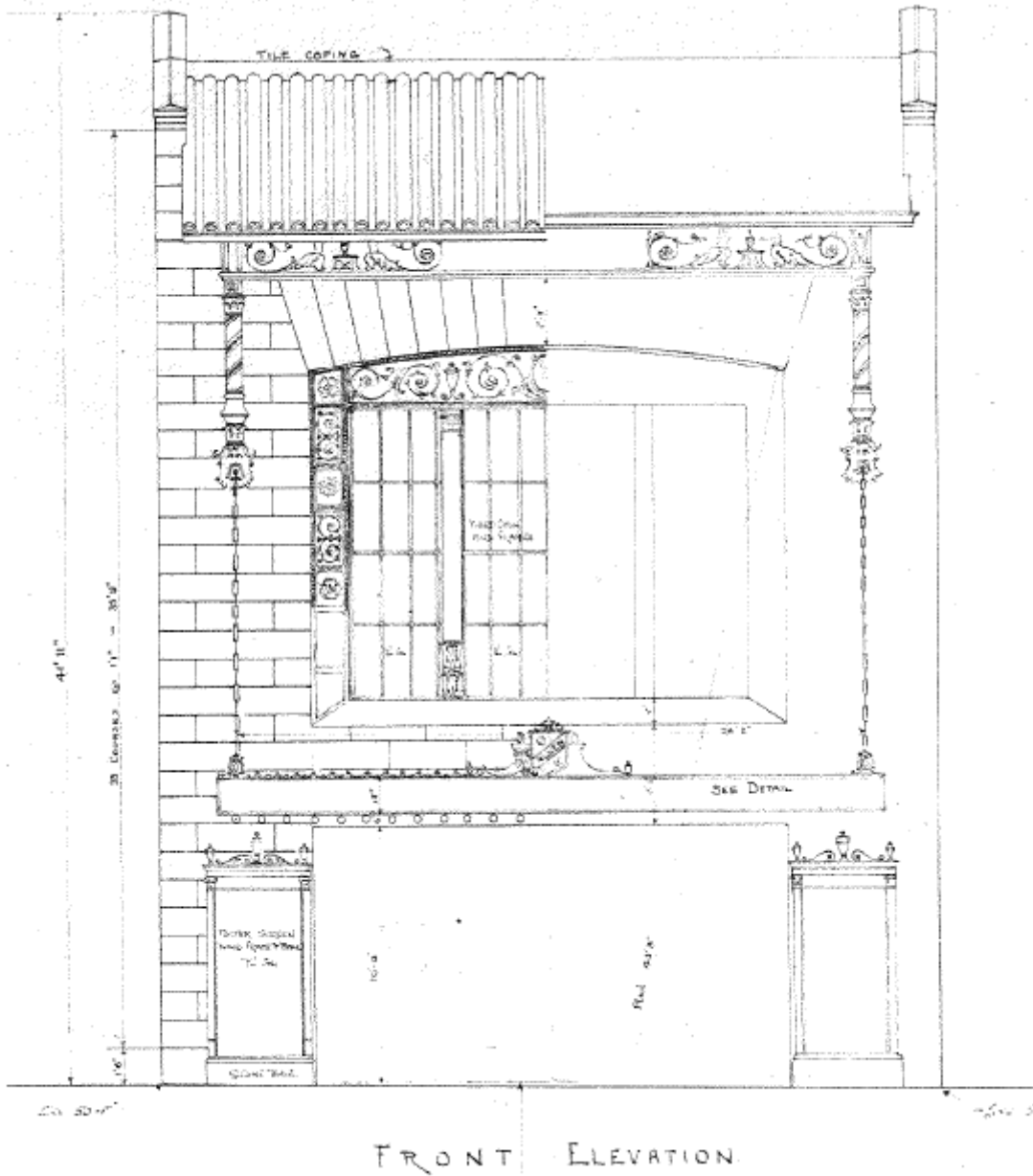
10.4 1920 Architectural Plans Excerpts



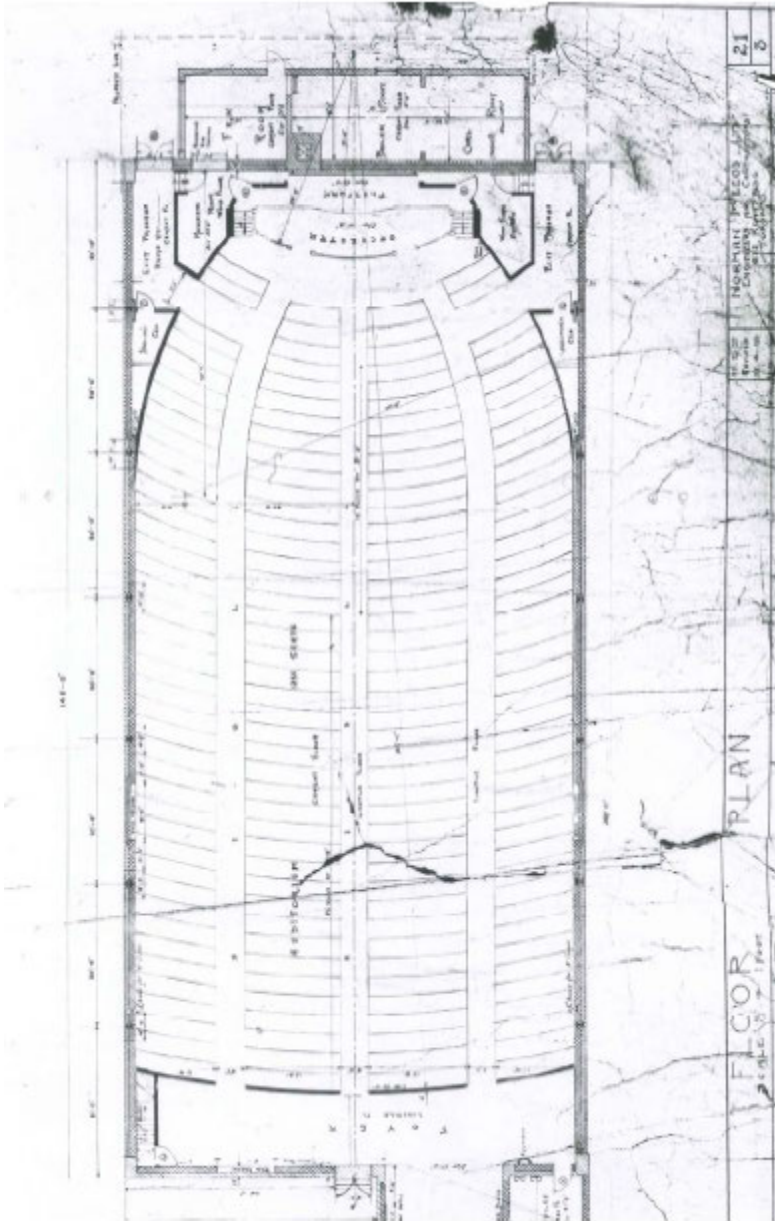
Architectural Drawings 1: Partial first floor plan of the 1920 drawings developed by Norman McLeod Ltd. Engineers and Contractors of Toronto Drawing No. 3. Credit: Library and Archives Canada.



Architectural Drawings 2: Partial cross section through the building at Princess Street 1920 developed by Norman McLeod Ltd. Engineers and Contractors of Toronto Drawing No. 8. Credit: Library and Archives Canada Credit: LAC



Architectural Drawings 3: South elevation of the Allen Theatre 1920 developed by Norman McLeod Ltd. Engineers and Contractors of Toronto Drawing No. 6. Credit: Library and Archives Canada.



Architectural Drawings 4: Partial floor plan of the theatre auditorium developed by Norman McLeod Ltd. Engineers and Contractors of Toronto Drawing No. 3. Credit: Library and Archives Canada.

10.5 Building Permits 223 Princess Street, Kingston 1967-1994. Email Blair Johnson Information Officer City of Kingston

From: [Johnson, Blair](#)
To: ["lhunter@chcml.com"](mailto:lhunter@chcml.com)
Subject: RE: Building Permit Records Archive
Date: Friday, February 20, 2015 3:01:16 PM
Attachments: [Building Permits - 223 Princess Street.pdf](#)

Good afternoon Mr. Hunter,

I contacted the Building Department and requested a list of the building permits. They provided me with the following list:

BP 2677 Apr 28/67- alter theater.
BP 3695 Oct 25/68- construct fire escape.
BP 6110 May 15/73- add to 1-storey theater.
BP 814 Sept 10/76- add to 1-storey theater.
BP 1637 Mar 19/90 - Alterations to motion picture theatre.
BP 5682 Nov 9/94 - Construct level area for wheelchairs (4)
1999-2096 – alter/repair commercial building

Our staff then used that list to find the attached records responsive to your request.

I do not know what permits were issued between 1930 and 1967. The Queen's Archives has the following boxes of building permits:

K02	City Engineer	Building Permits	1945
K03	City Engineer	Building Permits	1946-51
K04	City Engineer	Building Permits	1952-54
K05	City Engineer	Building Permits	1955-57
K06	City Engineer	Building Permits	1959-62
K07	City Engineer	Building Permits	1962-65
K08	City Engineer	Building Permits	1965-66

37. Building Permits Boxes 1085.1- 1087.3
Box 1085.1 1915,1917-1922,1924
Box 1086.2 1924, 1929-1933
Box 1087.3 1933-1936, 1957

Unfortunately they probably do not have an index of what permits are in each box. Regardless, the contact information for the Queen's University Archives is found here:

<http://archives.queensu.ca/about/location.html>

I hope you find this useful.

Have a nice weekend,

Blair Johnson, B.Sc.H.
Corporate Records & Information Officer
City Clerk's Department
City of Kingston, 216 Ontario Street, Kingston, ON, K7L 2Z3
613-546-4291, ext. 1316

10.6 Statement of Cultural Heritage Value or Interest for 223 Princess Street, City of Kingston



10110308008300
223 Princess Street
The former Empire Theatre
PLAN OS PT LOTS 309 310 317; AND 318 LOT 316 AND RP 13R1797 PART 1

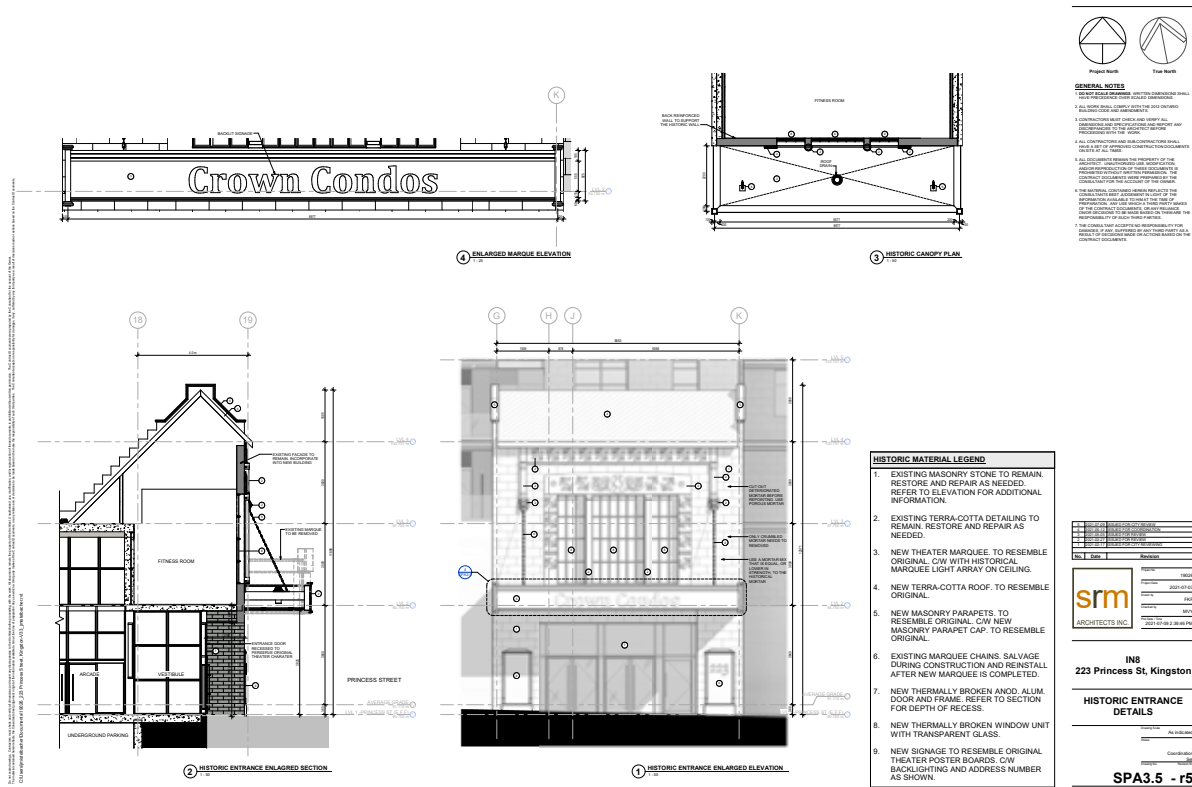
The Empire Theatre, originally the Capitol Theatre, was built by the Allen Theatre Corporation at 223 Princess Street in 1920 and designed to seat 1200. It is of cultural heritage value and interest because of its physical/design values, its associative values and its contextual values.

The theatre's physical/design values are reflected in its brick and hollow tile construction. A key heritage attribute is its glazed terracotta detailing on the front façade; one of only two buildings with this decorative element in Kingston. The theatre's Princess Street facade was restored by the Empire Theatre Corporation in 1999. It is one of the few Art Deco buildings in Kingston.

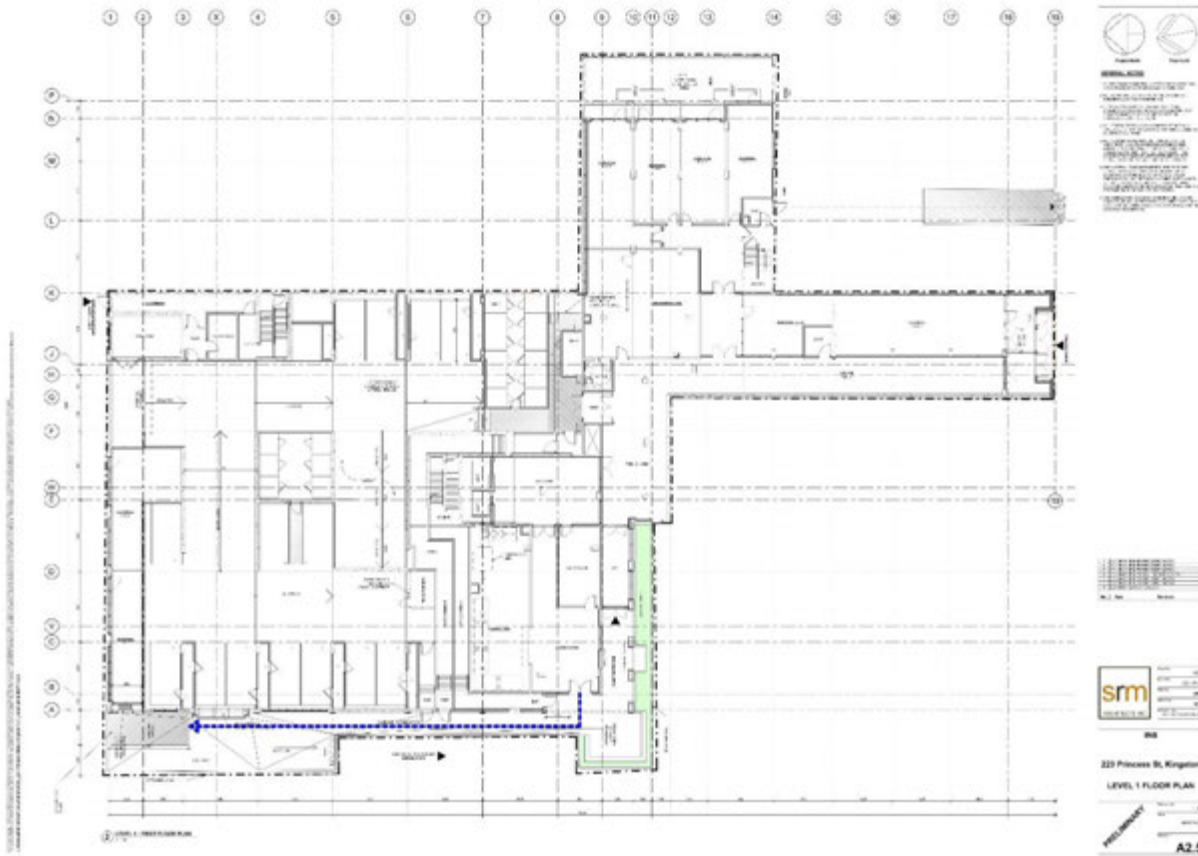
The property has historical/associative value as it was designed by the internationally renowned American architect of moving picture palaces, Charles Howard Crane (1885-1952). Who, during his career, designed 250 movie theatres, the largest of which was located in Detroit designed to seat 5,174 people.

Its contextual value derives from its important role in defining and supporting the character of the Princess Street streetscape.

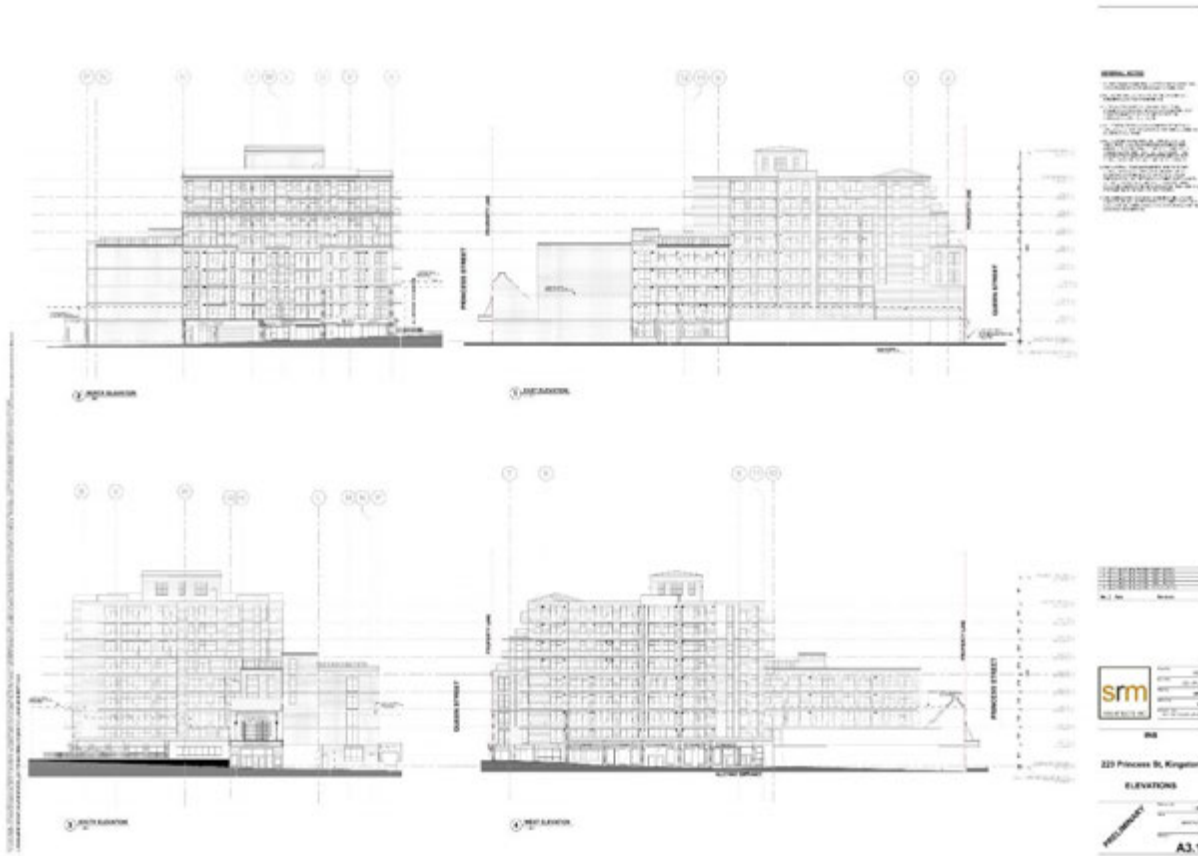
10.7 Architectural Drawings and Renderings



Architectural Drawings 5: Historic Entrance Details.



Architectural Drawings 7: Level 1 Floor Plan.



Architectural Drawings 8: A3.1, 223 Princess Street, Kingston, Elevations.



Architectural Drawings 99: 223 Princess Street, Marquee Elevation.



Architectural Drawings 10: 223 Princess Street, Princess Street Elevation.



Architectural Drawings 11: 223 Princess Street, Princess Street Perspective.



Architectural Drawings 12: Queen Street Entrance.



Architectural Drawings 13: 223 Princess Street development, rear tower.



Architectural Drawings 14: Queen Street, parking and rear entrance, and residential tower.



Architectural Drawings 15: Queen Street, parking and rear entrance, and residential tower.

10.8 SHADOW STUDY

4.7 Shadow Studies

The following section demonstrates the shadow impacts of the proposed development during the Spring/Fall Equinox, and the Winter and Summer Solstice. Due to its location on the north side of Princess Street, the development does not cast any shadows on this street.

While shadows are cast north of the development, they are generally present for brief periods. Additionally, because the site is a through-lot density was able to be relocated to the centre of the site, mitigating shadow impacts on the adjacent properties and Queen Street.

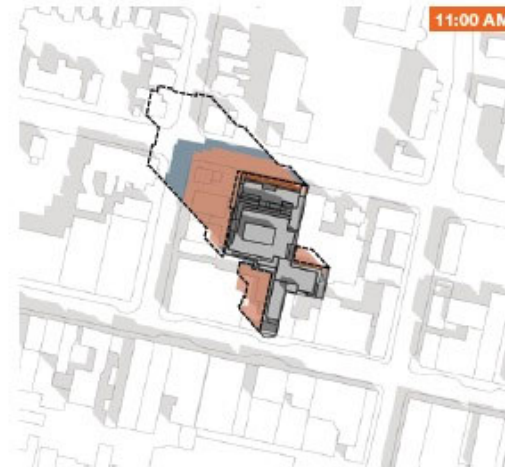
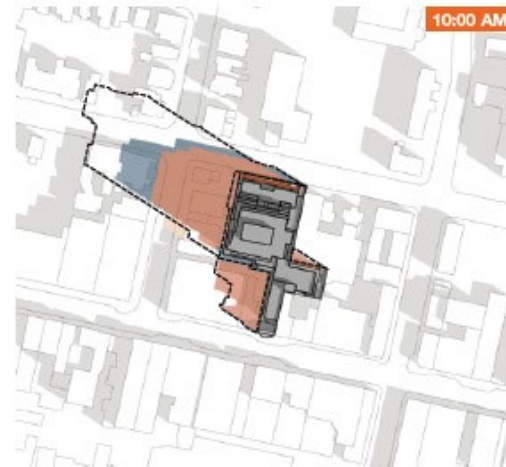
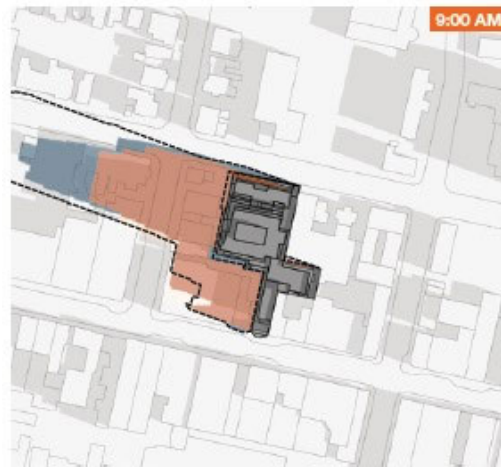
MARCH/SEPTEMBER 21 (SPRING/FALL EQUINOX)

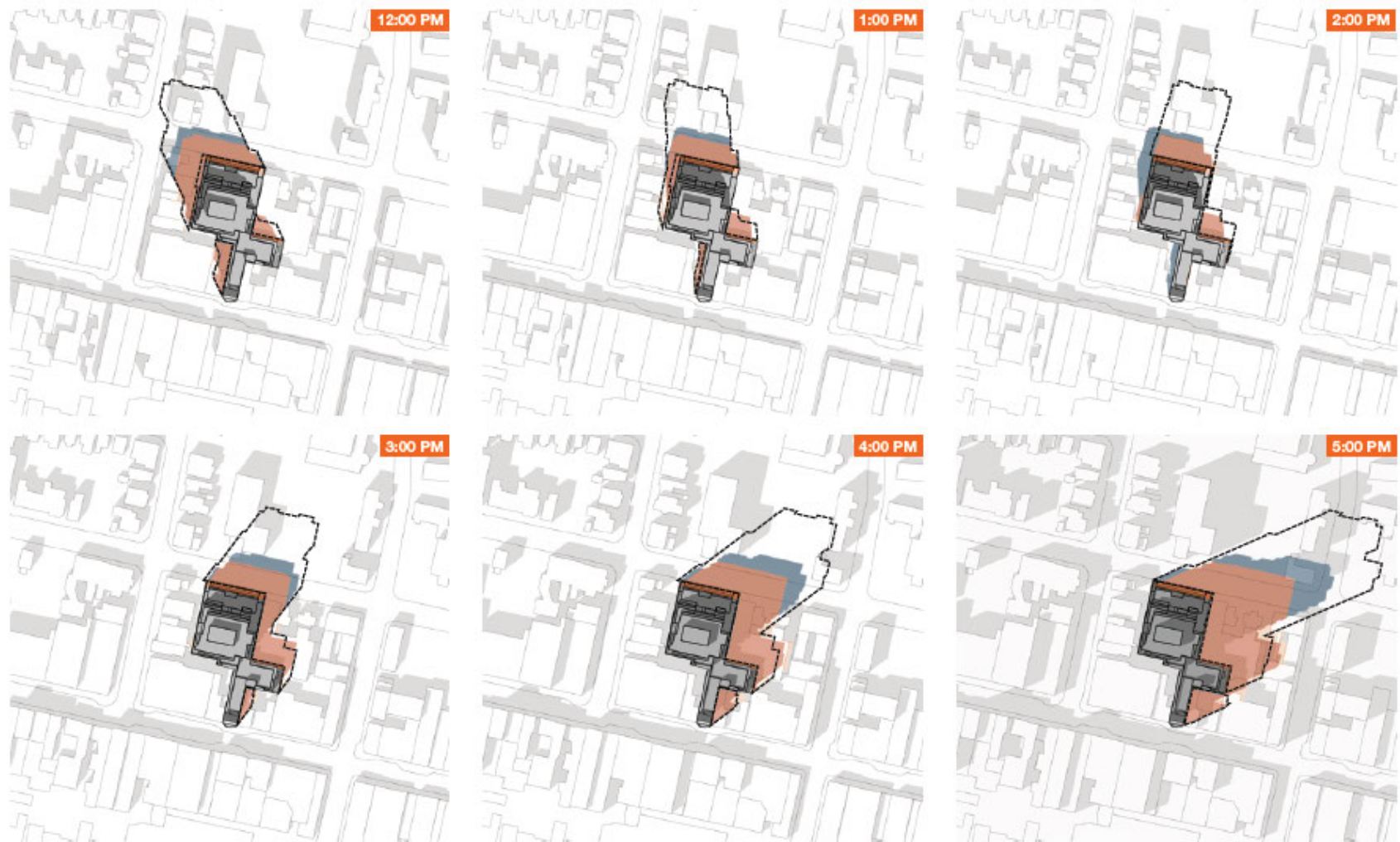
- / The proposed building has no impact on Princess Street on March/September 21.
- / At 9:00am, there are shadow impacts on Sydenham Street, however these quickly subside by 11:00am, are limited to the east side of the street and are mostly caused by existing buildings.
- / Sydenham Street west of the proposed development is impacted by shadows from 9:00am - 12:00pm. This still allows for a substantial amount of continuous sunlight in the afternoon (+5 hours/day).
- / Shadows impact the south side of Queen Street for the majority of the day, except at 9:00am. However, only brief parts of the

street are affected at a time. The proposed 45 degree angular plane mitigates additional shadow impact, minimizes shadows on the north side and allows full sun access for future development.

- / The properties north of Queen Street are not impacted by the shadows that are cast after 12:00pm until 5:00pm, allowing for full sun exposure for all but 1 hour during the day.
- / Two buildings immediately east of the site are impacted by shadows from 4:00pm onwards, but still receive significant amount of sun during the day (5+ hours)

-  Proposed Development Shadow Only
-  Both Proposed Development and As-of-Right Shadow
-  Proposed Plan - 2016 (OMB)





Shadow Study 2

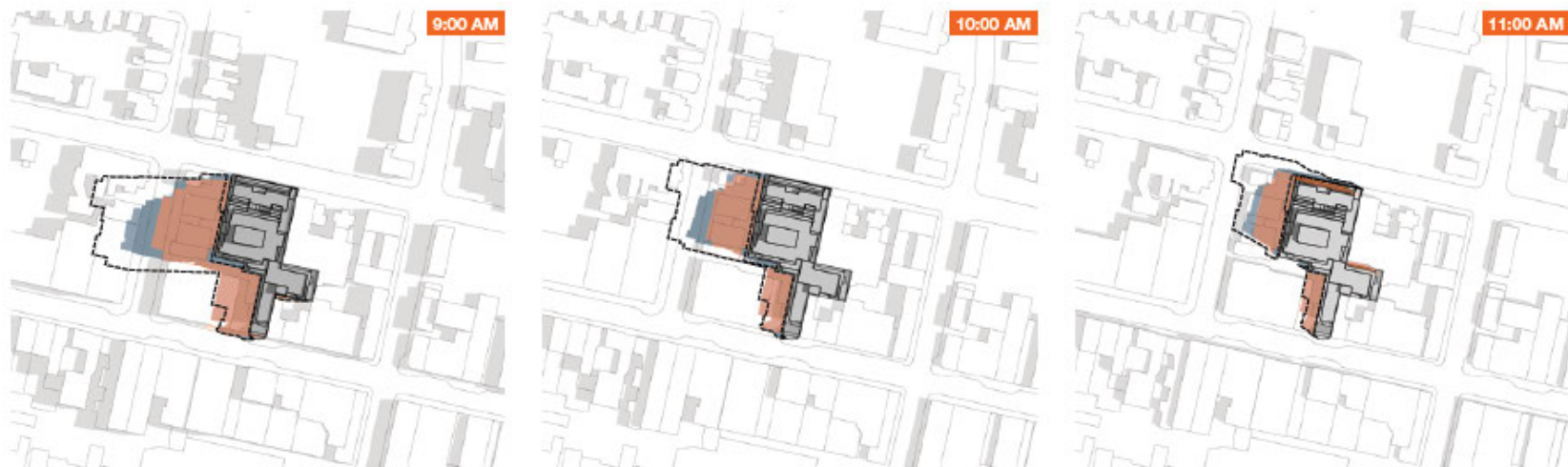
JUNE 21 (SUMMER SOLSTICE)

- / The proposed building has no impact on Princess Street on June 21.
- / Sydenham Street is affected by shadows for the hour between 9:00am and 10:00am but is not impacted for the rest of the day from 11:00am to 5:00pm.
- / Sydenham Street west of the proposed development is impacted by shadows from 9:00am - 11:00am. This still allows for a substantial amount of continuous sunlight in the afternoon (+5 hours/day).
- / The properties north of the proposed development are not impacted by shadows on June 21.
- / There is negligible shadow impacts on Queen Street from 1:00pm to 4:00pm, that is mostly

isolated to the sidewalks north of the proposed development.

- / The existing buildings east of the proposed development experience substantial sunlight for the majority of the day (5+ hours) and are only impacted by shadow after 4:00pm.

- Proposed Development Shadow Only
- Both Proposed Development and As-of-Right Shadow
- Proposed Plan - 2016 (OMB)



39 | 223 Princess Street

Shadow Study 3



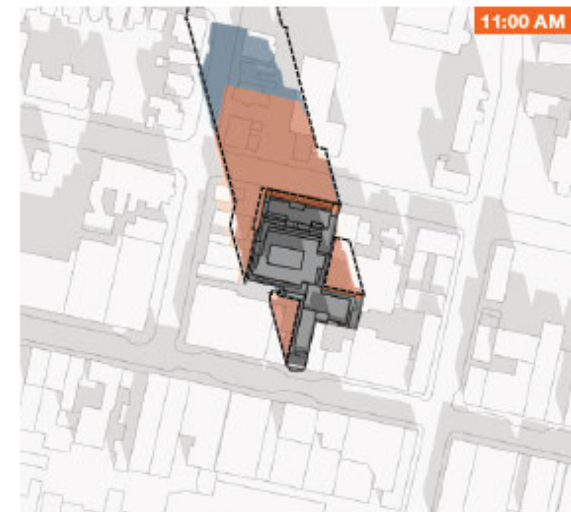
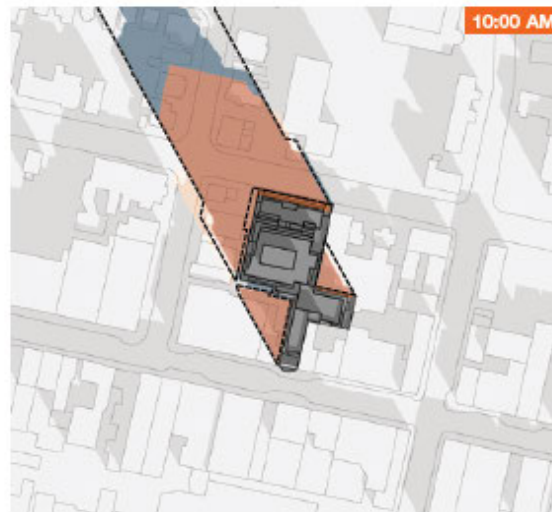
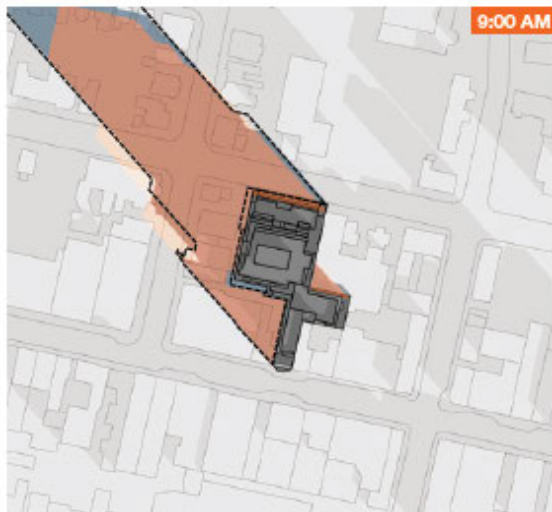
DECEMBER 21 (WINTER SOLSTICE)

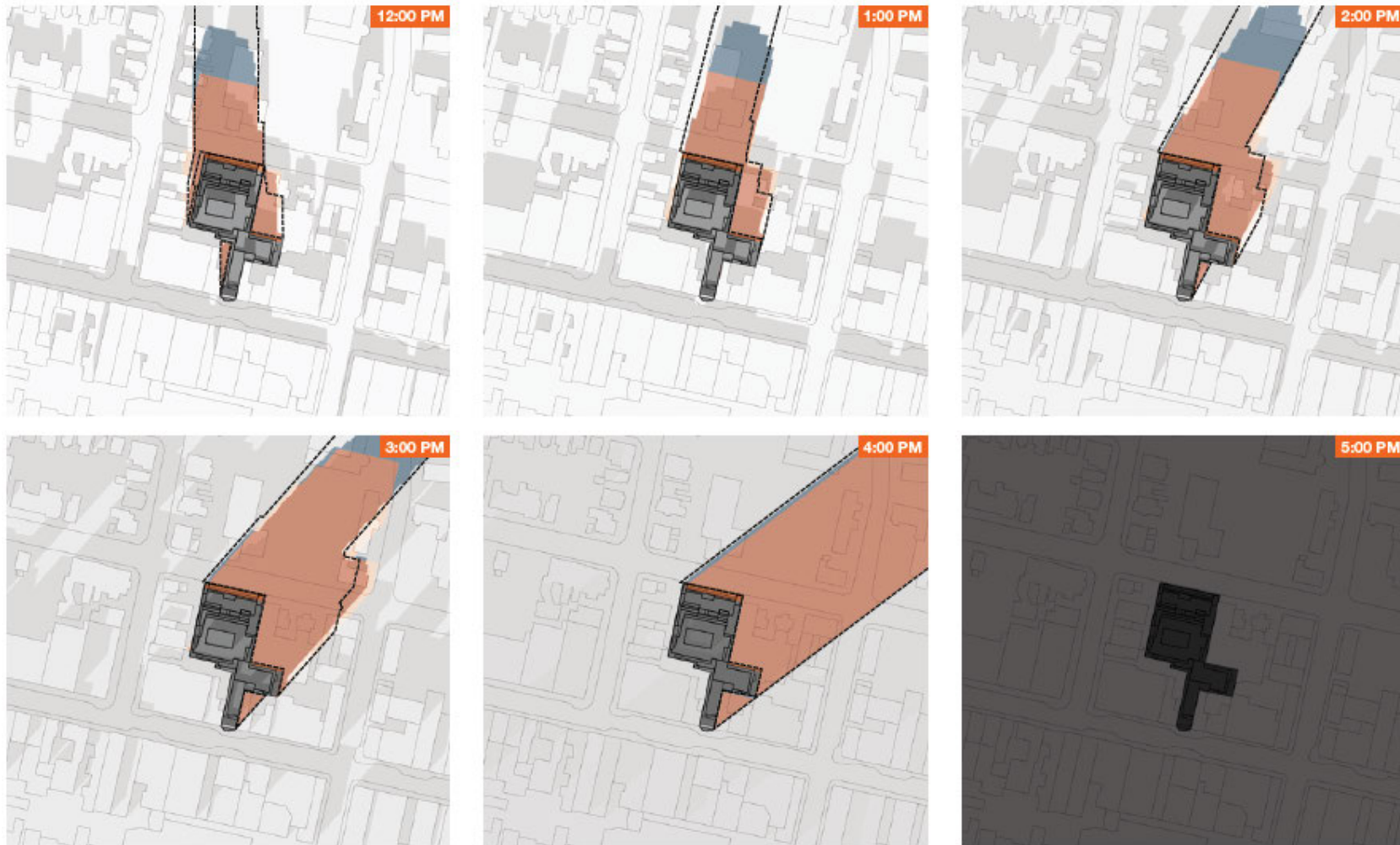
- / The proposed building have no impact on Princess Street on December 21.
- / The proposed development does not cast shadows on Sydenham Street after 11:00am. This generally allows for an afternoon of sunlight for this street after 12:00pm, when existing shadows also disappear.
- / While each side of Queen Street is impacted by shadows from the proposed development, a vast majority of the shadows are cast by the adjacent existing buildings.
- / Where the proposed development does cast shadows onto the properties north of Queen Street, any size of development on the subject site that would be substantial enough to support the vision for this section of Princess

Street, would cast similar shadows on the neighbouring properties.

- / The existing properties east of the development experience substantial sunlight for the majority of the day (5 hours) and are only impacted by shadow from the proposed building after 2:00pm. Shadows cast before 3:00pm are by existing buildings to the south.

- Proposed Development Shadow Only
- Both Proposed Development and As-of-Right Shadow
- Proposed Plan - 2016 (OMB)





10.9 TARION REPORT

General Condition of Property (Elements to be Retained Only)

The only elements of the existing building being retained are the front limestone façade [limestone only] and clay brick – back up wall. This façade will remain as the entrance to the development off of Princess Street. No other element is being retained. All other elements of the current building and the front façade are being removed.

Stephenson Engineering Ltd. has been requested to provide a Statement of Structural Adequacy for the heritage façade & connected brick back up wall. As noted by Stephenson Engineering in their field review on April 22nd, 2021:

- the brick and block backing walls had holes in them at the ground floor level roughly 400mm wide by 1300mm tall (see photo #3).
- grout in the limestone façade was generally in good repair (see photo #4)
- the grout in the brick and block backup wall was in greater disrepair.



Photograph 3: Brick and block backing walls



Photograph 4: Façade grout

SRM Architects Inc.

The following is a general description of the proposed work on the front limestone façade ([limestone only] and clay brick - back up wall:

- The existing coursed stone veneer will be conserved and restored. During construction, temporary supports shall be provided to insure protection of facade and wall.

Materials and forms including the glazed architectural terra-cotta detailing, fenestration pattern, and other existing elements including the marquee will be demolished and re-built.

A new element will be installed at the top of the wall that is a reference to the original 1920, Spanish Revival roof and stepped parapet to complete the façade and to protect the original frieze band. These original elements were removed in the 1967-73 alterations.

The Theatre entry will be repurposed as the primary entrance to the residential building. The lobby will be developed with a linear commercial/arcade space along the south wall or as a bar/cafe area for the proposed restaurant.

Condition of Pre-Existing Elements Based on Visual Review and Required Testing

Stephenson Engineering Ltd. has been retained to provide a Statement of Structural Adequacy for the heritage façade & connected brick wall at 223 Princess St.

As noted by Stephenson Engineering in their field review on April 22nd, 2021:

- the brick and block backing walls had holes in them at the ground floor level roughly 400mm wide by 1300mm tall (see photo #3).
- grout in the limestone façade was generally in good repair (see photo #4)
- the grout in the brick and block backup wall was in greater disrepair.

Structural Recommendations

Upon completion of their field review, as described by section 2.2 of this report, it is recommended by Stephenson Engineering that remedial work to the heritage façade be done by a restoration contractor familiar with historical masonry work. It is recommended that the following remedial work should be carried out to the existing building components:

Recommended Pre-construction Work:

- Repair holes in backup brick and block walls.
- Repoint brick and block backup walls
- Repoint limestone façade

Recommended Work During Construction:

- Provide lateral bracing and stiffening of limestone façade and brick backup wall prior to excavation required for 223 Princess St. condo.
- Lateral bracing will be incorporated in final design of 223 Princess St. condo

Discussion of repairs or replacements that will be made to the existing building components prior to registration including challenges of mixing new and existing elements

Repairs and Replacements to existing components prior to registration will follow the guidelines of the Ontario Heritage Trust for repointing historical masonry structures. This includes the following considerations:

- Only crumbled mortar is to be removed
- Point with a porous mortar. The mortar mix used should be equal or lower in strength to the historical mortar
- Deteriorated mortar is to be cut out before repointing

There are no challenges, risks, or Building Code issues anticipated with mixing the new and existing building elements. The existing limestone façade is in good condition. It will act as the masonry component of a standard wall assembly. A built-up rain screen system will be built behind the existing façade.

10.10 QUALIFICATIONS OF AUTHORS COMPLETING THE CULTURAL HERITAGE IMPACT ASSESSMENT

Don Loucks - Architect, Writer, OAA, RAIC, CAHP, LEED AP

As the Managing Principal of Metropolitan Design Ltd. since 2014 and as Architect, Urban Designer and Heritage Planner, Don brings over 45 years of consulting experience to his public and private sector clients. Don is committed to social/cultural, environmental, and economic sustainability, aging-in-place planning, and an innovative and creative approach to design challenges, characterized by a collaboration and inclusion. Don recently completed a Graduate Certificate in Cultural Heritage Management from the University of Victoria and continues to be an adjunct instructor at Ryerson's Chang School lecturing on Heritage Conservation practice. As a Heritage Planner and past board member of Heritage Toronto and VP of the Canadian Association of Heritage Professionals, Don is committed to validating our past by embedding it in our future. He is currently working on the relocation and restoration of an 1890s farmhouse in Brampton, an 1820s stone commercial building in Kingston, a CHIA for a complex of 19th century streetcar barns in Windsor. Don and Leslie Valpy are co-authors of a book about Toronto's worker's houses titled "Modest Hopes" to be published by Dundurn Press.

Leslie Valpy - Research Project Manager, Writer, Hons. BA, CRM

Leslie is a conservation practitioner with a passion for built heritage, history, architecture, and conservation. Working with both intangible and tangible heritage, she has participated in a range of projects in Toronto, Kingston, Ottawa, St. Catharines, Richmond Hill and throughout Ontario. A graduate of the University of Victoria's Cultural Heritage Management Program, her portfolio of projects includes both residential and commercial and is experienced at the intersection of development and protection. Her recent work with Metropolitan Design Ltd. includes farmhouse preservation amidst housing developments, heritage LCBO outlets across Ontario, Toronto's John Street Roundhouse, Windsor Streetcar Barns, St. Catharines' Memorial Public School, and in Kingston the Carnovsky Bakery and the Capitol Theatre Development. Working with Metropolitan Design Ltd. and Taylor Hazell Architects, Leslie has explored the heritage properties within Toronto's Railway Corridor for Metrolinx and the City of Toronto, focusing on bridges, subways and underpasses associated with Toronto's historic Grade Separation Project. Leslie also holds an Honours B.A in English and Film, and a diploma from the Vancouver Film School in Film Production and has worked throughout Canada and overseas in the media field. Her interests include heritage architecture, social history, places of worship, industrial development, railway history and local history. Leslie also holds an Honours B.A in English and Film, and a diploma from the Vancouver Film School in Film Production and has worked throughout Canada and overseas in the media field. Her interests include heritage architecture, social history, places of worship, industrial development, tangible and intangible heritage, railway history and local history. Leslie and Don Loucks are co-authors of a book about Toronto's worker's houses titled "Modest Hopes" to be published by Dundurn Press.

Heritage Kingston

Summary of Input from Technical Review Process

P18-043-2021

Heritage Kingston Members	Comments Enclosed	No Comments Provided	No Response Received
Chair, Peter Gower	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Bridget Doherty	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Councilor Gary Oosterhof	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jane McFarlane	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Taylor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Demitor	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paul Banfield	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Donald Mitchell	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Moya Dumville	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ted Smith	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jeanine O’Rielly	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Website: www.cityofkingston.ca

TTY: Dial 613-546-4889

Date:	August 26, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Bridget Doherty
Application Type:	Alteration and/or repair
File Number:	P18-043-2021
Property Address:	223 PRINCESS ST

Description of Proposal:

The subject property is located on the north side of Princess Street, mid-block between Sydenham and Montreal Streets. The property contains the former movie theatre known as the Capitol Theatre, which has received *Planning Act* approvals in order to construction a 9 storey residential tower. The owner and City of Kingston entered into a heritage easement agreement (under Part IV of the Ontario Heritage Act) in order to ensure the retention and restoration of the 1920 former theatre façade. As part of fulfilling this requirement, heritage permit application P18-043-2021 has been submitted to review the details and gain formal approval of the façade restoration plans, including the removal of the existing marquee and replication of the original 1920 marquee. The applicants are also proposing to reinstate the former sloped clay roof with parapet walls and window patterning. The applicants have submitted a heritage impact statement that includes copies of the concept plans.

Comments for Consideration on the Application:

I don't see any detailed drawings, nor list of materials, and colours for the proposed replication of the original 1920 marquee, the sloped clay roof with parapet walls and window patterning. It's impossible to comment without these details.



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Date:	September 4 and 10, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Peter Gower
Application Type:	Alterations and/or repair
File Number:	P18-043-2021
Property Address:	223 PRINCESS ST

Description of Proposal:

The subject property is located on the north side of Princess Street, mid-block between Sydenham and Montreal Streets. The property contains the former movie theatre known as the Capitol Theatre, which has received *Planning Act* approvals in order to construction a 9 storey residential tower. The owner and City of Kingston entered into a heritage easement agreement (under Part IV of the Ontario Heritage Act) in order to ensure the retention and restoration of the 1920 former theatre façade. As part of fulfilling this requirement, heritage permit application P18-043-2021 has been submitted to review the details and gain formal approval of the façade restoration plans, including the removal of the existing marquee and replication of the original 1920 marquee. The applicants are also proposing to reinstate the former sloped clay roof with parapet walls and window patterning. The applicants have submitted a heritage impact statement that includes copies of the concept plans.

Comments for Consideration on the Application:

While I readily admit to being unable to understand all of the technicalities of this application, I believe that the care and research taken to get this far allows me to have no concerns. If unexpected difficulties are met when the work is underway, I would expect the proponent to contact the Heritage Department immediately.

Again, I have confidence with this application - until I find out otherwise! Peter



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Kingston, Ontario
Canada, K7L 2Z3

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TTY: Dial 613-546-4889

Date:	September 3, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Jane McFarlane
Application Type:	Alteration and/or repair
File Number:	P18-043-2021
Property Address:	223 PRINCESS ST

Description of Proposal:

The subject property is located on the north side of Princess Street, mid-block between Sydenham and Montreal Streets. The property contains the former movie theatre known as the Capitol Theatre, which has received *Planning Act* approvals in order to construction a 9 storey residential tower. The owner and City of Kingston entered into a heritage easement agreement (under Part IV of the Ontario Heritage Act) in order to ensure the retention and restoration of the 1920 former theatre façade. As part of fulfilling this requirement, heritage permit application P18-043-2021 has been submitted to review the details and gain formal approval of the façade restoration plans, including the removal of the existing marquee and replication of the original 1920 marquee. The applicants are also proposing to reinstate the former sloped clay roof with parapet walls and window patterning. The applicants have submitted a heritage impact statement that includes copies of the concept plans.

Comments for Consideration on the Application:

The reconstruction of the original McLeod designed marquee is a positive contribution to the restoration of the façade and the historical presence on the streetscape. However more details regarding materials and colour of the vertical signage on the marquee should be provided to HK in order to ascertain appropriateness and compatibility. If the “see detail” for the marquee referred to in the McLeod Architectural Drawings 3(p46 of the HIS) is available it would be most useful to view and would assist in making the best decision re signage. The plan for the glazing of the doors and windows is compatible with the façade but the choice of the colour black for the door and window frames should be reconsidered. A muted colour would be less stark and more historically appropriate.



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Date:	September 2, 9 and 22, 2021
Form:	Heritage Kingston Reviewer Form
Reviewer Name:	Don Taylor
Application Type:	Alteration and/or repair
File Number:	P18-043-2021
Property Address:	223 PRINCESS ST

Description of Proposal:

The subject property is located on the north side of Princess Street, mid-block between Sydenham and Montreal Streets. The property contains the former movie theatre known as the Capitol Theatre, which has received *Planning Act* approvals in order to construction a 9 storey residential tower. The owner and City of Kingston entered into a heritage easement agreement (under Part IV of the Ontario Heritage Act) in order to ensure the retention and restoration of the 1920 former theatre façade. As part of fulfilling this requirement, heritage permit application P18-043-2021 has been submitted to review the details and gain formal approval of the façade restoration plans, including the removal of the existing marquee and replication of the original 1920 marquee. The applicants are also proposing to reinstate the former sloped clay roof with parapet walls and window patterning. The applicants have submitted a heritage impact statement that includes copies of the concept plans.

Comments for Consideration on the Application:

The present application is generally consistent with the heritage easement agreement that came to HK some months ago. At that time there was discussion about whether the original marquee should be rebuilt or whether the present marquee would continue. The current plan to rebuild the marquee to the original design is commendable and should be supported. My only concern is with the proposed black colour of the metal trim around the windows. A more sympathetic colour such as grey or brown would be preferable. It seems regrettable that the façade wall must be temporarily braced because of the removal of the vestibule side walls. Since the parking area underneath appears to stop a considerable distance short of the front wall, it would seem possible to leave at least a portion of the side walls in place so that the front wall would be well supported.

The revised plans, in particular the use of antique bronze finish in place of black in the window frames, are very welcome and have my support.

The plans dated Sept 7th are fully satisfactory and have my support. Although the HIS has been revised to be consistent with the latest plans it is a concern that section 10.9 still contains the earlier statement that the terracotta detailing and window is to be demolished and rebuilt. It must be clear that the latest plans and not the HIS are the reference for the agreement.

Summary of Final Comments at October 20, 2021 Heritage Kingston Meeting

The Committee provided no further comment.