



**City of Kingston
Report to Committee of Adjustment
Report Number COA-22-028**

To: Chair and Members of the Committee of Adjustment
From: Riccardo Peggi, Planner
Date of Meeting: April 11, 2022
Application for: Minor Variance
File Number: D11-005-2022
Address: 511 Union Street
Owner: Queen's University
Applicant: Zack Tefoglou, Queen's University

Council Strategic Plan Alignment:

Theme: 4. Strengthen economic development opportunities

Goal: 4.1 Support new and existing businesses

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for minor variances for the property located at 511 Union Street. Queen's University is proposing to construct a seven (7) storey addition and mechanical penthouse onto the southeastern corner of Duncan McArthur Hall at Queen's West Campus. The proposed addition would be used for student classroom/study space and academic/administrative space for various departments. Relief is required to exceed the maximum building height provision, and to exceed the maximum roof area of a structure permitted above the height limit provision.

The requested minor variances are consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The requested minor variances are desirable for the appropriate development or use of the land, building or structure and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

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Variance Number 1: Building Height

By-Law Number 8499: Section 18.3(a)

Requirement: 23.0 metres

Proposed: 32.0 metres

Variance Requested: 9.0 metres

Variance Number 2: Structures Permitted Above the Height Limit

By-Law Number 8499: Section 5.14

Requirement: 10% of the roof area, or 150.6 square metres

Proposed: 43% of the roof area, or 642.0 square metres

Variance Requested: 33%, or 491.4 square metres

Recommendation:

That minor variance application, File Number D11-005-2022, for the property located at 511 Union Street to exceed the maximum building height and to exceed the maximum area for a structure permitted above the height limit, be approved; and

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-22-028.

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Authorizing Signatures:

ORIGINAL SIGNED BY PLANNER

Riccardo Peggi, Planner

In Consultation with the following Management of the Community Services Group:

Tim Park, Director, Planning Services

James Bar, Manager, Development Approvals

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Options/Discussion:

On January 26, 2022, a minor variance application was submitted by Harminder Kaur on behalf of the owner, Queen's University, with respect to the property located at 511 Union Street. The variance is requested to exceed the maximum building height provision, and to exceed the maximum roof area of a structure permitted above the height limit provision.

In support of the application, the applicant has submitted the following:

- Concept Plan, Floor Plans and Elevations, prepared by Perkins & Will, dated December 10, 2021 (Exhibit F)
- Archaeological Assessment, prepared by WSP, dated December 15, 2021
- Heritage Impact Study, prepared by Julian Smith & Associated, dated December 7, 2021
- Noise Impact Study, prepared by Pinchin Ltd., dated January 10, 2022
- Planning Justification Report, prepared by Fotenn Planning + Design, dated January 21, 2022
- Shadow Impact Study, prepared by Perkins & Will, dated December 21, 2021
- Survey, prepared by Leslie M. Higginson Surveying Ltd., dated October 11, 2019
- Traffic Impact Study, prepared by Ainley Group, dated January 2022

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property, commonly known as the Queen's West Campus, is approximately 24 hectares in size and is bound by Union Street to the south, Sir John A. MacDonald Boulevard to the east, Johnson Street to the north, and residential properties and Yonge Street to the west (Exhibit B – Key Map). Queen's West Campus contains various university and institutional uses including classroom and campus halls, sports fields and a stadium, and student residence buildings.

The proposed works all concern Duncan McArthur Hall, which is located at the southern portion of Queen's West Campus, near to the corner of Sir John A. MacDonald Boulevard and Union Street. Duncan McArthur Hall contains administrative offices, classrooms, labs, technical shops, and a library.

The subject property is designated Institutional in the Official Plan and the area under consideration is zoned E1 'Special Education and Medical Uses' Zone in Zoning By-Law Number 8499. Surrounding land uses include residential lands to the west, and institutional uses to the south and east, including the former Prison for Women site to the south, and the Federal Correctional Learning and Development Centre to the east (Exhibit C – Neighbourhood Context Map).

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The review of an application for minor variance(s) is not a simple mathematical calculation, but rather a detailed assessment of whether the variance(s) requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

Provincial Policy Statement

In addition to the four tests of a minor variance detailed above, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

1) The general intent and purpose of the Official Plan are maintained

The subject property is designated Institutional in the City of Kingston Official Plan.

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan. The following provides these nine requirements and an assessment of how the proposal is consistent with each.

1. The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

The proposal is consistent with the general intent of the Official Plan, including Section 2 Strategic Policy Direction. The site is designated as a Major Institution within the Urban Boundary, per Schedule 2 of the Official Plan. The proposed minor variances will facilitate the intensification and expansion of the existing institutional use in a compatible, efficient, and complementary manner.

The development also meets the development criteria for institutional uses that are set out in Section 3.5.8. of the Official Plan. The structure appears to be compatible with the surrounding institutional buildings and all surrounding land uses including residential uses and will not impact the cultural heritage character of nearby designated heritage structures. The subject area is located at the corner of two arterial roads, and adequate pedestrian and cycling facilities will be provided. The development is also consistent with several other Official Plan policies such as promoting sustainable built form (Section 2.1.4.), and meeting compatibility (Section 2.7) and urban design requirements (Section 8).

2. The proposed development will be compatible with surrounding uses, buildings or structures and development standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

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The proposed variances are not anticipated to result in any adverse impacts to the subject property, or to surrounding lands. The findings from the submitted Shadow Impact Study, Traffic Impact Study, Noise Impact Study, and Heritage Impact Study have been accepted by City staff through technical review of the file.

3. The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

The proposal under consideration for minor variance is part of a separate site plan control application that has been submitted to the City for the addition to the Duncan McArthur Hall and for various site improvements surrounding the addition. Queen's University proposes a new pedestrian pathway along Sir John A Macdonald Boulevard, a pedestrian courtyard in front of the seven-storey addition, additional bicycle parking throughout the site, and universally accessible ramps to the front door of the Duncan McArthur Hall. The proposal will include the removal of 11 vehicle parking spots. However, the loss of vehicle parking is negligible given that the site will still meet parking requirements set by zoning, will continue to have nearby access to express bus service, and pedestrian and bicycle infrastructure will be improved.

4. The conformity of the proposal to any applicable urban design policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

See Section 5 for commentary regarding designated built heritage resources.

Duncan McArthur Hall is not listed as a heritage structure; however, it is considered to be an important example of modernist architecture in Kingston. The Heritage Impact Statement prepared by Julian Smith & Associates, dated December 7, 2021 contains discussion regarding the architectural compatibility of the proposed seven-storey structure with the existing Duncan McArthur Hall.

Heritage Kingston staff reviewed the Statement and agreed that the architectural design of the addition is compatible with, and responds to, the architectural style of McArthur Hall. The new addition reflects many of the characteristics of the original building, including, the new pavilion/pilotis, a proportional relationship between the pavilion and structure above in relation to the original building, concrete columns, and a paneled façade of solid and glazed components that echoes the fenestration pattern on the original building. Staff are of the opinion that this addition provides an interesting and compatible new layer of architecture to the original building and site.

5. If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the protected views shown on Schedule 9 of this Plan, then a heritage impact statement may be required to assist staff to determine if the resulting development is desirable;

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The subject property contains two heritage designated buildings – the Kingston Pen Water Tower and the Farmhouse and is adjacent to the former Prison for Women site and the Portsmouth Village Heritage Character Area. As such, Heritage Kingston required that a heritage impact statement be prepared in association with future planning applications.

Heritage Kingston reviewed the Heritage Impact Statement prepared by Julian Smith & Associates, dated December 7, 2021. Staff concluded that heritage approval under the Ontario Heritage Act will not be required for the addition to Duncan McArthur Hall.

Heritage Kingston staff concluded that the designated and listed properties will not be visually or physically impacted by the addition. Specifically, there are no identified impacts to the Kingston Pen Water Tower or Farmhouse, which comprise the designated built heritage resources on the subject property. Additionally, the height of the addition and distance to the Prison for Women will conserve the landmark presence of the prison and its setting.

6. The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

The development appears to have adequate municipal water and sewage services within the Urban Boundary.

7. Whether the application and the cumulative impact of the proposed variances would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The application consists of two proposed variances and staff have determined that a minor variance is an appropriate zoning relief application to consider the proposal.

8. The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

The Committee of Adjustment may require additional conditions as it deems appropriate to the approval of the application. Recommended conditions are listed in “Exhibit A - Recommended Conditions”, attached to this document. Conditions may be added, altered or removed at the Committee’s discretion.

9. The degree to which such approval may set an undesirable precedent for the immediate area.

The proposal is compatible with the existing development in the surrounding area and will not set an undesirable precedent.

The proposal meets the intent of the Official Plan, as the proposed variances to the building height and the area of structures permitted above the height limit will not result in any negative impacts to adjacent properties or to the neighbourhood.

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2) The general intent and purpose of the zoning by-law are maintained

The subject site is zoned E1 ‘Special Education and Medical Uses’ in the City of Kingston Zoning By-Law Number 8499, entitled "Restricted Area (Zoning) By-Law of the Corporation of the City of Kingston", as amended. The E1 zone permits University and College uses.

The proposal requires a variance to Section 18.3(a) and Section 5.14 of By-Law Number 8499.

Variance Number 1: Building Height

By-Law Number 8499:	Section 18.3(a)
Requirement:	23.0 metres
Proposed:	32.0 metres
Variance Requested:	9.0 metres

The purpose of the maximum building height provision is to establish a consistent streetscape that is compatible with the surrounding land uses. The development is not anticipated to result in any adverse impacts such as shadowing or loss of privacy to adjacent properties. Heritage Kingston staff have reviewed the submitted Heritage Impact Statement and confirm that the seven-storey addition will be architecturally compatible with the existing Duncan McArthur Hall and will not impact nearby heritage designate resources.

Variance Number 2: Structures Permitted Above the Height Limit

By-Law Number 8499:	Section 5.14
Requirement:	10% of the roof area, or 150.6 square metres
Proposed:	43% of the roof area, or 642.0 square metres
Variance Requested:	33%, or 491.4 square metres

The purpose of this provision is to not limit the height of buildings by allowing for small structures which extend past the height requirement but are typically small and inconsequential to the massing of the building. Examples include water tanks, mechanical penthouses, or chimneys. The By-Law specifies that these structure may occupy a maximum of 10% of the rooftop area.

At pre-application, planning staff advised the applicant to apply for two variances – one for building height and one for the area of the rooftop in which the mechanical penthouse occupies. This more accurately captures the proposal as it was considered that the mechanical penthouse should not be considered as a full ‘storey’ and count towards the height of the building. Generally, the purpose and intent of the Zoning By-Law will be maintained as a result of the expanded area for the mechanical penthouse.

3) The variance is minor in nature

The variance is considered minor as the use is consistent with the permitted uses listed in the E1 ‘Special Education and Medical Uses’ zone, and the Institutional designation in the

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Official Plan. The development is not anticipated to result in any adverse impacts to surrounding lands and is deemed to be architecturally compatible with the existing Duncan McArthur Hall.

4) The variance is desirable for the appropriate development or use of the land, building or structure

The variance is desirable for the development of the building as the use is consistent with the permitted uses listed in the E1 ‘Special Education and Medical Uses’ zone, and the Institutional designation in the Official Plan. Further, the development meets the Official Plan policy to support the growth, development and long-term vitality of Queen’s University within the City of Kingston. The development meets all of the applicable development criteria for Queen’s developments listed in Sections 2.7 (Compatibility), 3.5.8 (Institutional Uses), 3.5.A. (Queen’s University) and 8 (Urban Design) of the Official Plan.

The variance is desirable and appropriate use of the land.

Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue | <input checked="" type="checkbox"/> Kingston Hydro | <input checked="" type="checkbox"/> City’s Environment Division |
| <input type="checkbox"/> Solid Waste | <input checked="" type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input checked="" type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input type="checkbox"/> Kingston Airport | | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Public Comments

At the time this report was finalized, no comments were received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

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Previous or Concurrent Applications

The applicant has also submitted Site Plan Control application File Number D11-039-2021 for the addition to Duncan McArthur Hall as well as other modifications to the site in the form of landscaping and an accessory building onsite.

The adjacent former Prison for Women site is also subject to planning applications for a redevelopment of the site including residential, commercial and park uses (Municipal File D35-007-2021). Staff have encouraged Queen’s University to collaborate with the proponents of the adjacent site to ensure compatibility in form and function between the two developments.

Conclusion

The requested variance(s) maintain(s) the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposal is desirable for the appropriate development or use of the land, building or structure and the requested variances are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will enable Queen’s University to expand activities at the West Campus by constructing a seven-storey addition to Duncan McArthur Hall.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province’s and the City’s vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 8499

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on April 11, 2022. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 112 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

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Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Riccardo Peggi, Planner, 613-546-4291 extension 3237

Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Neighbourhood Context Map (2021)
- Exhibit D Official Plan Map
- Exhibit E Zoning By-Law Number 8499, Map 26
- Exhibit F Concept Plan, Floor Plans and Elevations
- Exhibit G Public Notification Map

Recommended Conditions

Application for minor variance, File Number D13-005-2022

Approval of the foregoing application shall be subject to the following recommended conditions:

1. Limitation

That the approved minor variance applies only to 511 Union Street for the maximum building height provision, and to the maximum roof area of a structure permitted above the height limit provision as shown on the approved drawings attached to the notice of decision.

2. No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. Building Permit Application Requirements

The owner/applicant shall provide to the Building Services a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings, when they make application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

4. Standard Archaeological Condition

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132) and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries at the Ministry of Government and Consumer Services (416-212-7499), the Program and Services Branch of the Ministry of Heritage, Sport, Tourism and

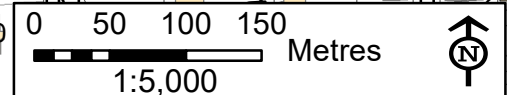
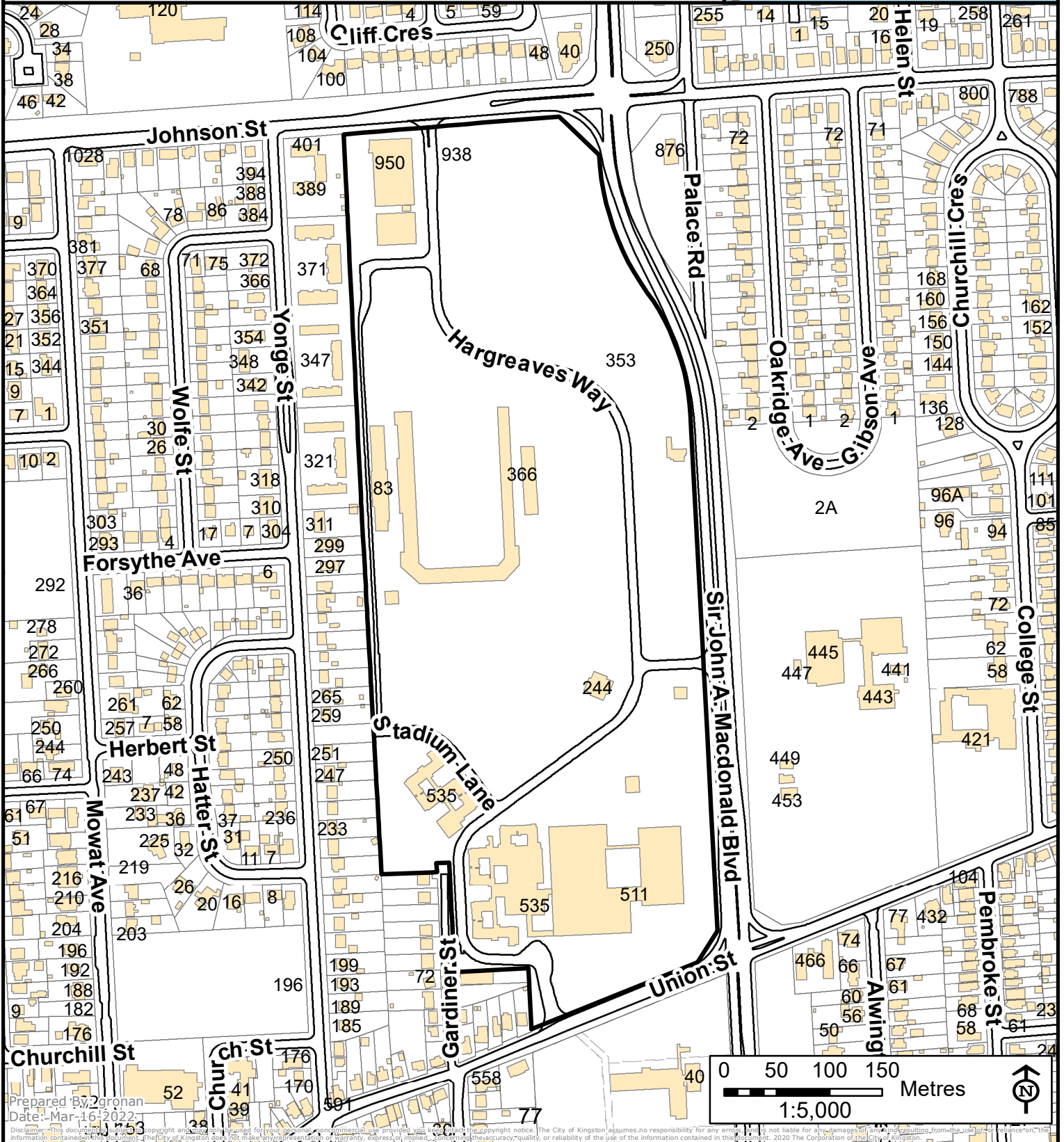
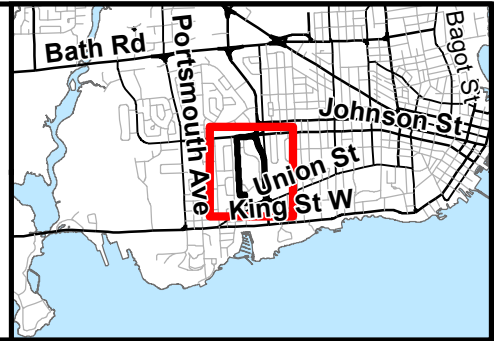
Culture Industries (416-314-7132), and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.



Committee of Adjustment Key Map

Address: 511 Union St
File Number: D13-005-2022

Lands Subject to Minor Variance





Committee of Adjustment Neighbourhood Context (2021)

Address: 511 Union St
File Number: D13-005-2022

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: gronan
Date: Mar-16-2022

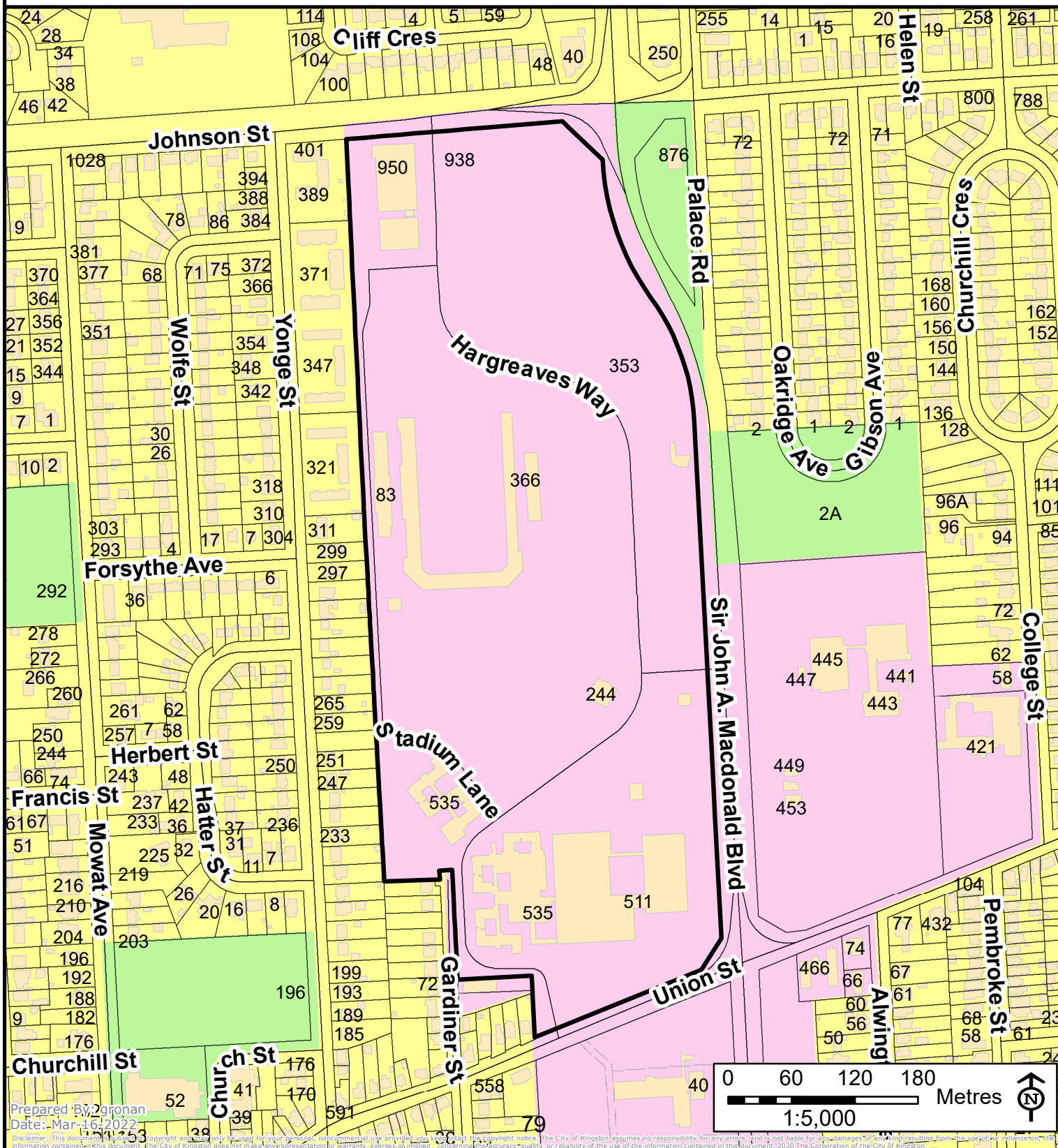
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Committee of Adjustment
Official Plan, Existing Land Use

Address: 511 Union St
File Number: D13-005-2022

- Subject Lands
- INSTITUTIONAL
- OPEN SPACE
- RESIDENTIAL



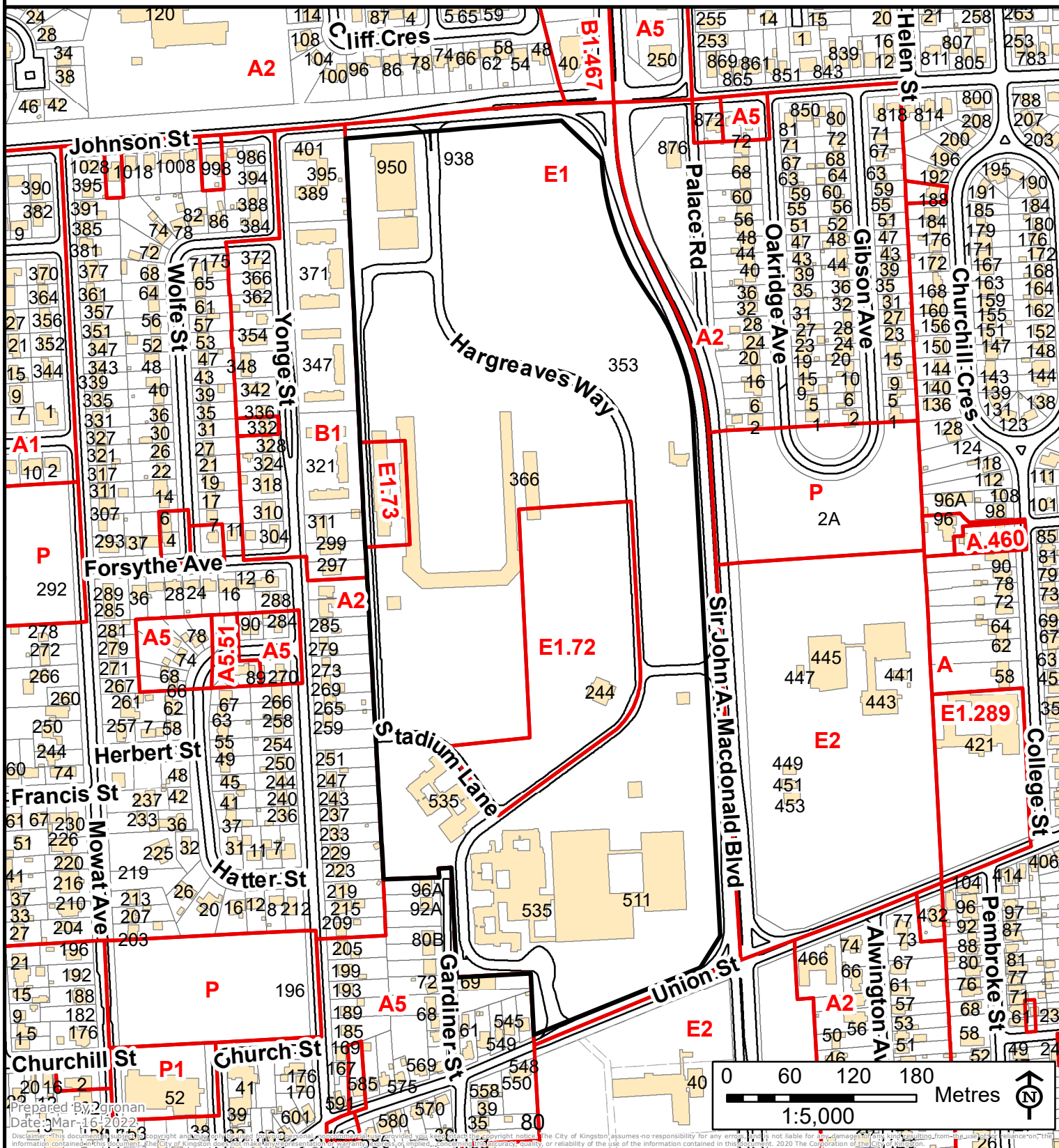
Prepared By: Zgonan
Date: Mar-16-2022

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Committee of Adjustment
Existing Zoning - By-law 8499, Map 26
Address: 511 Union St
File Number: D13-005-2022

- Subject Lands
- Consolidated Zoning



Client:

Queen's University

Project:

Duncan McArthur Hall

511 Union St W, Kingston,
ON K7M 2H3, Canada

Perkins&Will



ISSUED FOR SITE PLAN APPLICATION

2021/12/10

Perkins&Will

OWNER	ARCHITECT	INTERIOR DESIGN	STRUCTURAL	MECH/PLUMBING	ELECTRICAL	CIVIL	LANDSCAPE
Queen's University 511 Union St W, Kingston, ON K7M 2H3	Perkins&Will 110 Yonge Street 12th Floor, Toronto, Ontario M5C 1Y4 +1 (416) 971-6000 (TEL) +1 (416) 971-6765 (FAX)	Perkins&Will 110 Yonge Street 12th Floor, Toronto, Ontario M5C 1Y4 +1 (416) 971-6000 (TEL) +1 (416) 971-6765 (FAX)	Engineering Link 287 Adelaide St. E., Suite 200, Toronto Ontario, M5A 1B8 +1 (416) 599-5468 (TEL) info@englink.ca	The Mitchell Partnership Inc. 285 Yorkland Blvd., Toronto, ON M2J 1S5 (416) 496-8000 (TEL) (416) 496-7446 (FAX) tpp@tpptoronto.com	Clusson Engineering Ltd 255 Sheppard Ave. East Suite E-231 Toronto, Ontario, Canada M2J 4T1 (416) 491-3111 (TEL) (416) 491-7210 (FAX) com@clusson.ca	LEA Group 455 University Avenue, Suite 400 Toronto, ON M5G 1T6 (905) 470-0104 (TEL)	Fisher-Ribald Partnership Inc. 1871 Danversport Road, Toronto, ON M3N 1B9 (416) 515-4990 (TEL)

SHEET INDEX		
SHEET NUMBER	SHEET NAME	Current Revision Date
00-ARCHITECTURAL		
AD0-01	STANDARD ABBREVIATIONS, SYMBOLS, NOTES	2021-12-10
AD0-02	TWEET CANOPY CONCEPT PLAN	2021-12-10
AD0-03	SITE PLAN	2021-12-10
AD0-04	ENLARGED SITE PLAN - NORTH	2021-12-10
AD0-05	ENLARGED SITE PLAN - SOUTH	2021-12-10
AD0-06	ENHANCED SITE PLAN	2021-12-10
AD0-07	BASEMENT OVERALL PLAN	2021-12-10
AD0-08	LEFT OVERALL PLAN	2021-12-10
AD0-09	USE OVERALL PLAN	2021-12-10
AD0-10	USE OVERALL PLAN	2021-12-10

SHEET INDEX		
SHEET NUMBER	SHEET NAME	Current Revision Date
AD0-04	USE OVERALL PLAN	2021-12-10
AD0-05	USE, USE, USE, MECH/PL & ROOF OVERALL PLAN	2021-12-10
AD0-01	OVERALL EXTERIOR ELEVATIONS	2021-12-10
AD0-02	EXTERIOR ELEVATIONS - EAST	2021-12-10
AD0-03	EXTERIOR ELEVATIONS - SOUTH	2021-12-10
AD0-04	EXTERIOR ELEVATIONS - WEST	2021-12-10
AD0-05	EXTERIOR ELEVATIONS - NORTH	2021-12-10
AD0-01	REFRIGERATION BUILDING - SITE PLAN, DEMOLITION PLANS	2021-12-10
AD0-02	REFRIGERATION BUILDING - ENLARGED PLANS	2021-12-10
AD0-03	REFRIGERATION BUILDING - SECTIONS AND ELEVATIONS	2021-12-10
TOTAL: 36		



Perkins&Will

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perkinswill.com

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lea.ca

Engineering Link

207 Adelaide St. E., Suite 202, Toronto
Ontario, M5A 1A8
engineeringlink.com

The Mitchell Partnership Inc.

286 Yorkville Blvd., Toronto, ON M5S 1B5
mitchell.com

Crossley Engineering Ltd.

2555 Sheppard Ave. East, Suite 2-501
Toronto, Ontario, Canada M2L 4T1
crossley.com

Flisler Riboud Partnership Inc.

1877 Danforth Road, Toronto, ON M1S 1B9
flislerriboud.com

Quercus University

511 Union St W., Kingston, ON K7M 2H3



PROJECT

Duncan McArthur Hall

511 Union St W., Kingston, ON
K7M 2H3, Canada



Queen's University

511 Union St W., Kingston, ON
K7M 2H3, Canada

KEYPLAN



ISSUE CHART

NO.	ISSUED FOR	DATE
1	ISSUED FOR SPA	2022.07.27
2	ISSUED FOR 100% CD	2022.07.27
3	ISSUED FOR 100% CD	2022.07.27
4	ISSUED FOR 100% CD	2022.07.27
5	ISSUED FOR 100% CD	2022.07.27

WEST CAMPUS CONTEXT PLAN

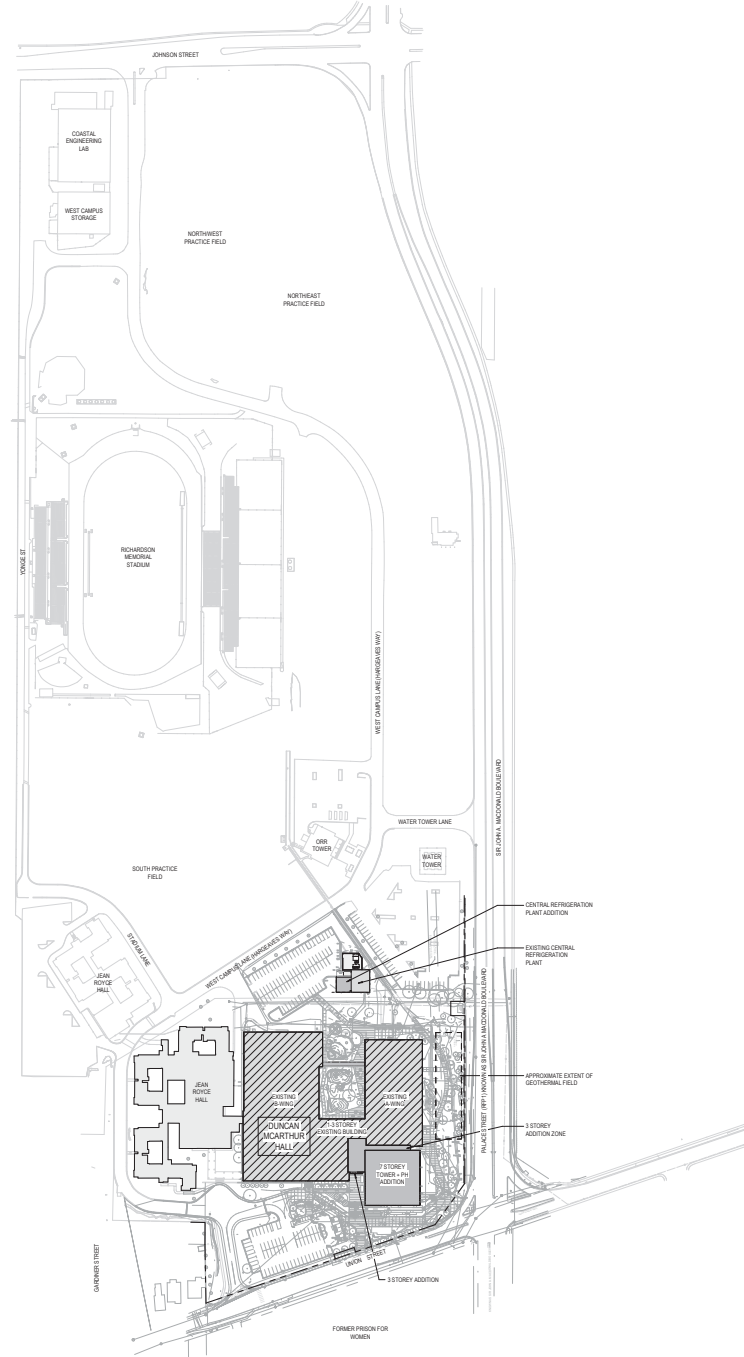
SHEET NUMBER

A01-00

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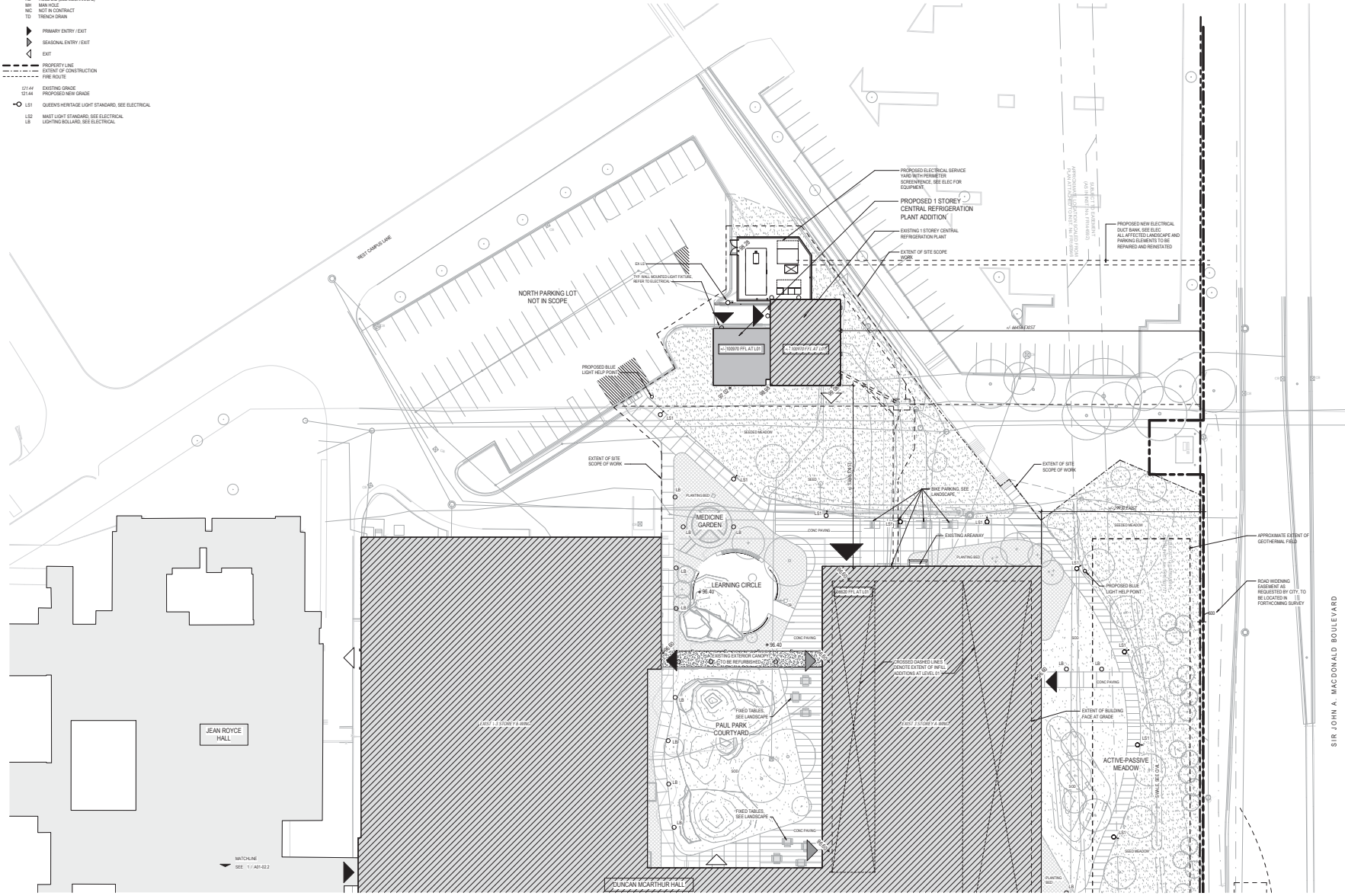


② SOUTH EAST AERIAL VIEW LOOKING NORTHWEST
NOT TO SCALE



① WEST CAMPUS CONTEXT PLAN
1:1,250

- LEGEND**
- AD AREA DRAIN
 - APF ACCESSIBLE PARKING SIGNAGE
 - AW AREA WELL (GRAVE POROSITY LESS THAN 20mm x 20mm)
 - B BOUNDARY
 - B-F BARBER/FREE
 - BLUP BLUE LIGHT KEEP POINT
 - BLUP-BLUP BLUE LIGHT KEEP POINT
 - BCH BENCH (SEE LANDSCAPE)
 - BIC BICYCLE TRACK (SEE LANDSCAPE)
 - CB CATCH BASIN (SEE CIVIL)
 - CC CONCRETE CURB
 - CCW CONCRETE WALKWAY
 - CO COFFERED OVER
 - EX EXISTING CONCRETE WALKWAY
 - EX-EX EXISTING LIGHT STANDARD
 - FDC FIRE DEPARTMENT CONNECTION
 - FH FIRE HYDRANT
 - FHX FIRE HYDRANT - EXISTING
 - FV FIRE VESTIBULE SIGNAGE
 - HB HOSE BIB (SEE MECHANICAL)
 - MM MAIN MANHOLE
 - MC NOT IN CONTRACT
 - TD TRENCH DRAIN
 - ▶ PRIMARY ENTRY EXIT
 - ▶ SEASONAL ENTRY EXIT
 - ◀ EXIT
 - - - PROPERTY LINE
 - - - EXTENT OF CONSTRUCTION
 - - - FIRE ROUTE
 - 12144 EXISTING GRADE
 - 12144 PROPOSED NEW GRADE
 - L51 QUEEN'S HERITAGE LIGHT STANDARD, SEE ELECTRICAL
 - L52 MAST LIGHT STANDARD, SEE ELECTRICAL
 - L5 LIGHTING BOLLARD, SEE ELECTRICAL



PROJECT

Duncan McArthur Hall
511 Union St W, Kingston, ON
K7M 2H3, Canada

Queen's University
511 Union St W, Kingston, ON
K7M 2H3, Canada

KEYPLAN

ISSUE CHART

ISSUED FOR SITE PLAN APPLICATION 2021/07/21/0

NO.	ISSUED FOR SPA	DATE
1	ISSUED FOR SPA	2021/07/21/0
2	ISSUED FOR SPA	2021/07/21/0

ENLARGED SITE PLAN - NORTH

SHEET NUMBER

A01-02.1

1 ENLARGED NORTH SITE PLAN



PROJECT

Duncan McArthur Hall

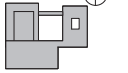
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K7M 2H3, Canada



Queen's University

511 Union St W, Kingston, ON
K7M 2H3, Canada

KEY PLAN



ISSUE CHART

ISSUED FOR SITE PLAN APPLICATION 2022.07.27.10

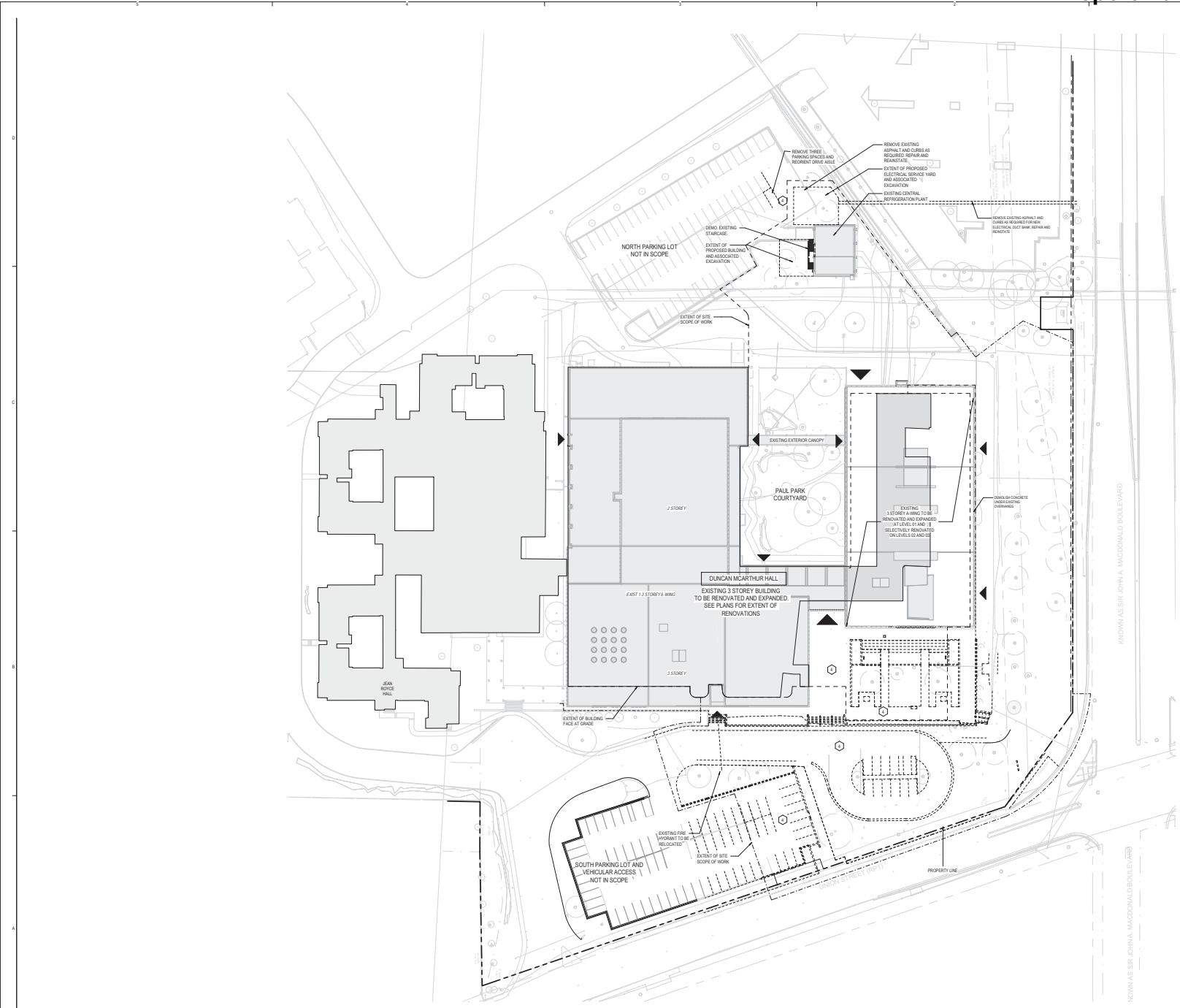
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100	ISSUED FOR 100% CD	REVISED

DEMOLITION SITE PLAN

SHEET NUMBER

A01-04

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DEMOLITION SITE PLAN
GENERAL NOTES

1. REMOVE AND RETURN TO OWNER ALL LOOSE FURNITURE, EQUIPMENT AND SOUSAGE.
2. MAINTAIN EGRESS FROM ALL EXISTING BUILDING EXITS FOR DURATION OF CONSTRUCTION.
3. MAINTAIN FREE ROUTE ACCESS TO ALL BUILDING FIRE DEPARTMENT CONNECTIONS AT ALL TIMES FOR THE DURATION OF CONSTRUCTION.
4. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL. SEE PRESERVATION PLAN.

DEMOLITION NOTE
BY NUMBER

1. REMOVE EXISTING LIGHT STANDARD AND FOUNDATION. STORE FUTURE AND POLES ON SITE. REINSTALL COMPLETE WITH FOUNDATION TO MATCH EXISTING.
2. REMOVE EXISTING CURB (REFER TO CIVIL).
3. REMOVE EXISTING CATCH BASIN (REFER TO CIVIL).
4. EXTENT OF EXISTING PAVING TO BE REMOVED.
5. REMOVE AND RELOCATE EXISTING FIRE HYDRANT (REFER TO CIVIL).
6. REMOVE EXISTING BRICK BOLLARD.
7. REMOVE EXISTING CONCRETE SIDEWALK.
8. REMOVE EXISTING PEDESTRIAN PAVING.
9. REMOVE EXISTING SOUSAGE OR PARKING METER AND RETURN TO OWNER.
10. REMOVE EXISTING POSTS AND RETURN TO OWNER.
11. EXISTING TO REMAIN.
12. REMOVE PLANTER WALL. COORDINATE EXTENT WITH LANDSCAPE DRAWINGS.
13. REMOVE RAISED CROSSWALK AND REPLACE AT END OF CONSTRUCTION TO MATCH ORIGINAL.

LEGEND:

- AD AREA DRAIN
- APS ACCESSIBLE PARKING SOUSAGE
- AW AREA WALL, LOWER PROSPECT (LESS THAN 20mm x 20mm)
- B BOLLARD
- B.F. BARRIER FREE
- BSR BUSH LIGHT REEF POINT
- BNR BENCH (SEE LANDSCAPE)
- BL BUSH TRAIL (SEE LANDSCAPE)
- CB CATCH BASIN (SEE CIVIL)
- CP CONCRETE PAVEMENT
- DC DEPRESSURE CURB
- EX EXISTING CONCRETE BALUNWAY
- EXLS EXISTING LIGHT STANDARD
- FDC FIRE DEPARTMENT CONNECTION
- FI FIRE HYDRANT
- FI-EX FIRE HYDRANT - EXISTING
- FI-NS FIRE HYDRANT - SOUSAGE
- HI HOSE REEL (SEE MECHANICAL)
- MI MANHOLE
- MC NOT IN CONTRACT
- TD TRENCH DRAIN
- PE PRIMARY ENTRY / EXIT
- SE SECONDARY ENTRY / EXIT
- EX EXIT
- PL PROSPECTY LINE
- PC PROPOSED CURB
- PC-EX EXISTING CURB
- PC-NS NEW CURB
- 121.44 EXISTING GRADE
- 121.44 PROPOSED NEW GRADE
- LS1 QUEENS HERITAGE LIGHT STANDARD. SEE ELECTRICAL.
- LS2 MAST LIGHT STANDARD. SEE ELECTRICAL.
- LB LIGHTING BOLLARD. SEE ELECTRICAL.

1 DEMOLITION SITE PLAN
1-400

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PLAN LEGEND

- HEEPING TILE
- VERTICAL CONNECTION TO HEEPING TILE
- ▶ PRIMARY ENTRY / EXIT
- ◀ SEASONAL ENTRY / EXIT
- ◻ EXIT
- FLOOR DRAIN
- ▽ DOWNSPOUT
- ▭ MILLWORK IDENTIFIED ON A13-01, A13-02 & A13-03
- HW MILLWORK
- ⋯ ITEMS NOT IN CONTRACT (N/C)
- ⊕ FIRE DEPARTMENT CONNECTION
- ▭ EXISTING AREA NOT IN SCOPE

ISSUED FOR SITE PLAN APPLICATION 2022.07.27/10

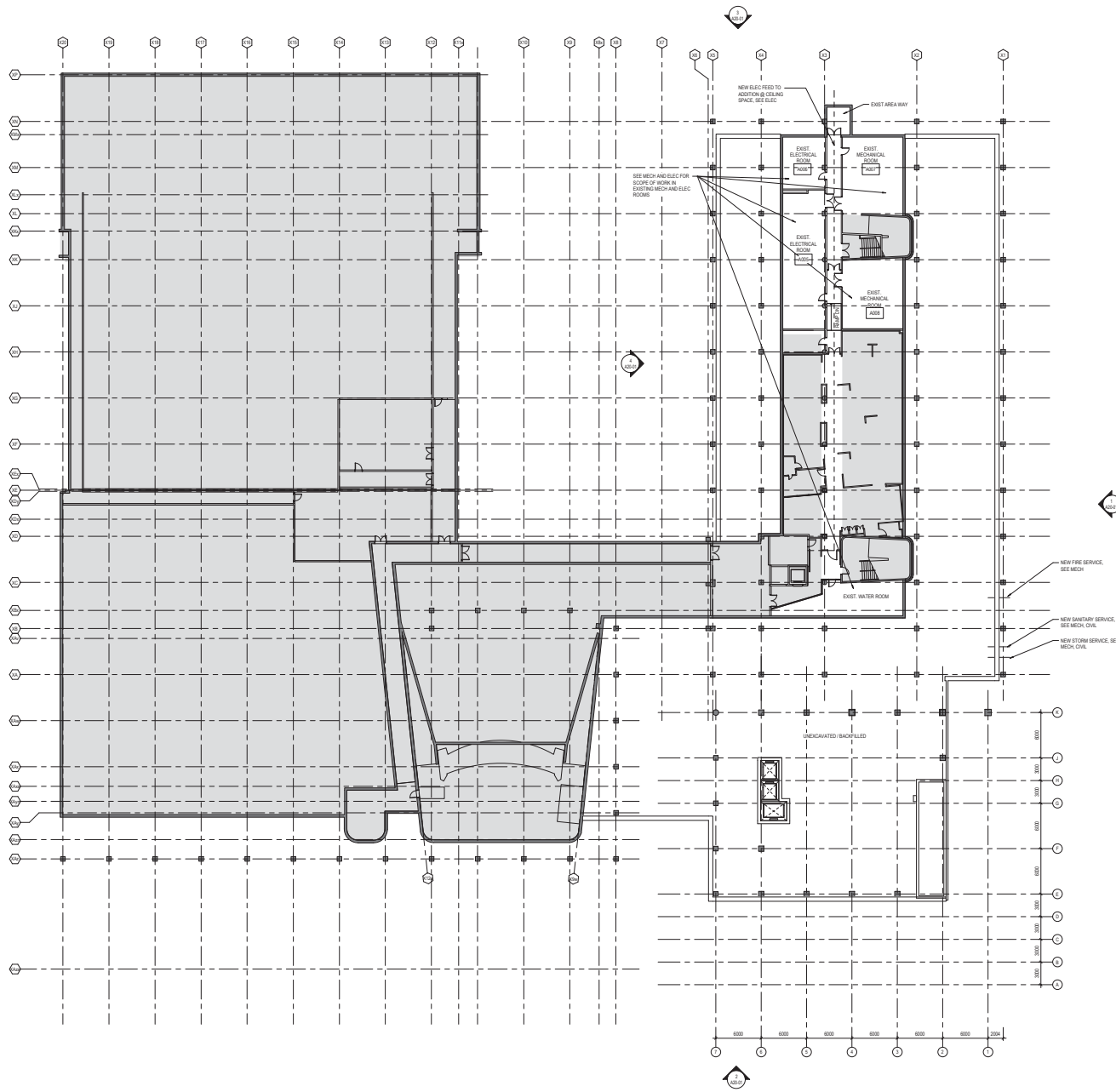
Duncan McArthur Hall
511 Union St W, Kingston, ON
K7M 2H3, Canada

Queens University
511 Union St W, Kingston, ON
K7M 2H3, Canada

KEYPLAN

ISSUE CHART

1	ISSUED FOR SPA	REVISED
2	ISSUED FOR 100% CD	REVISED
Job Number	44176	DATE
TITLE	BASEMENT OVERALL PLAN	
SHEET NUMBER	A10-00	



1 LL01 OVERALL PLAN
1:200

PLAN LEGEND

- WEEPING TILE
- VERTICAL CONNECTION TO WEEPING TILE
- ▲ PRIMARY ENTRY / EXIT
- ▲ SEASONAL ENTRY / EXIT
- ▲ EXIT
- FLOOR DRAIN
- DOWNSPOUT
- ▭ MILLWORK IDENTIFIED ON A13-01, A-13-02 & A-13-03
- ▭ MILLWORK
- ⋯ ITEMS NOT IN CONTRACT (IND)
- ⋯ FIRE DEPARTMENT CONNECTION
- ▭ EXISTING AREA NOT IN SCOPE

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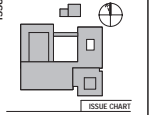


PROJECT

Duncan McArthur Hall
511 Union St W., Kingston, ON
K7M 2H3, Canada



Queen's University
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ISSUE CHART

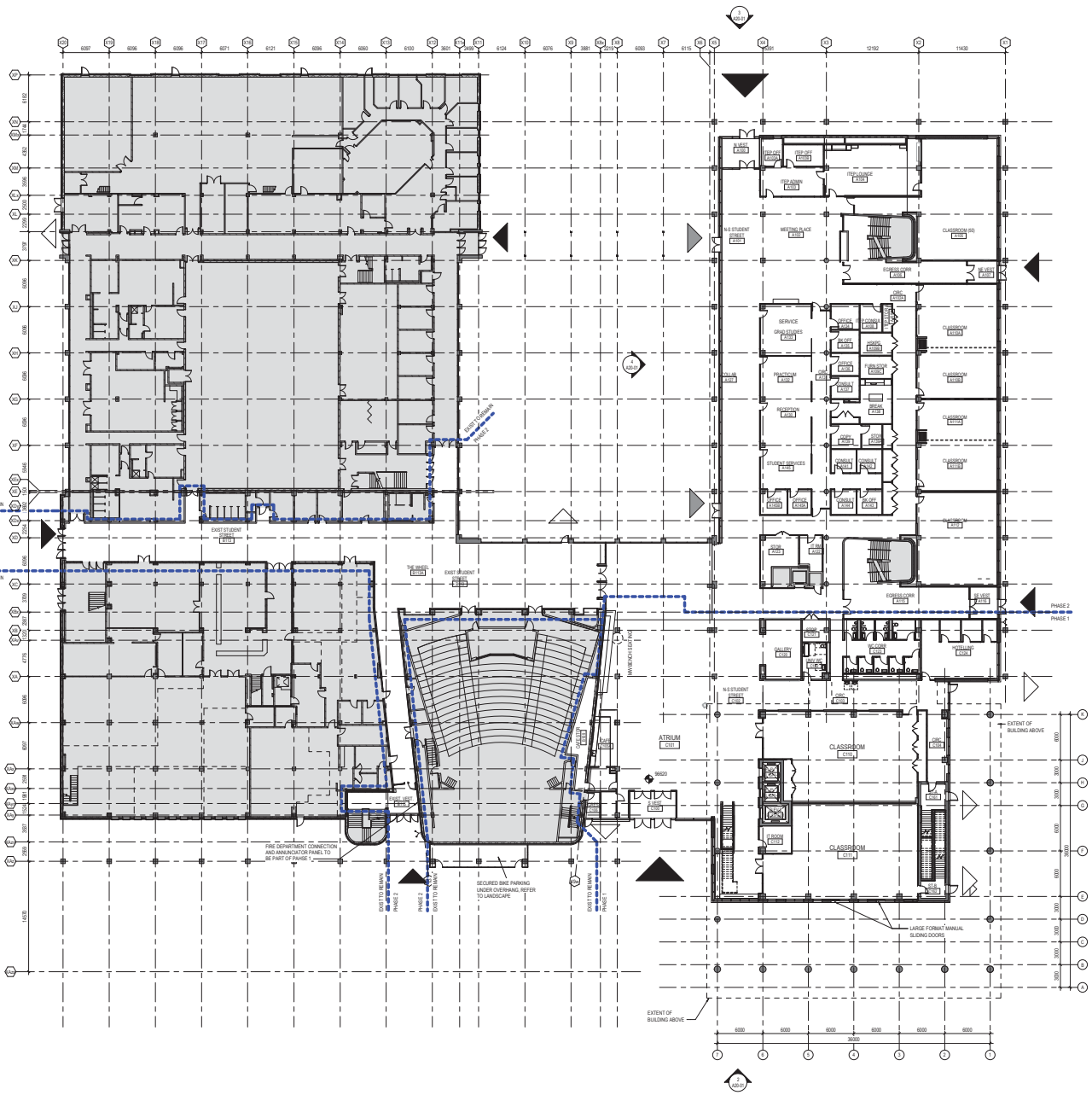
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L01 OVERALL PLAN

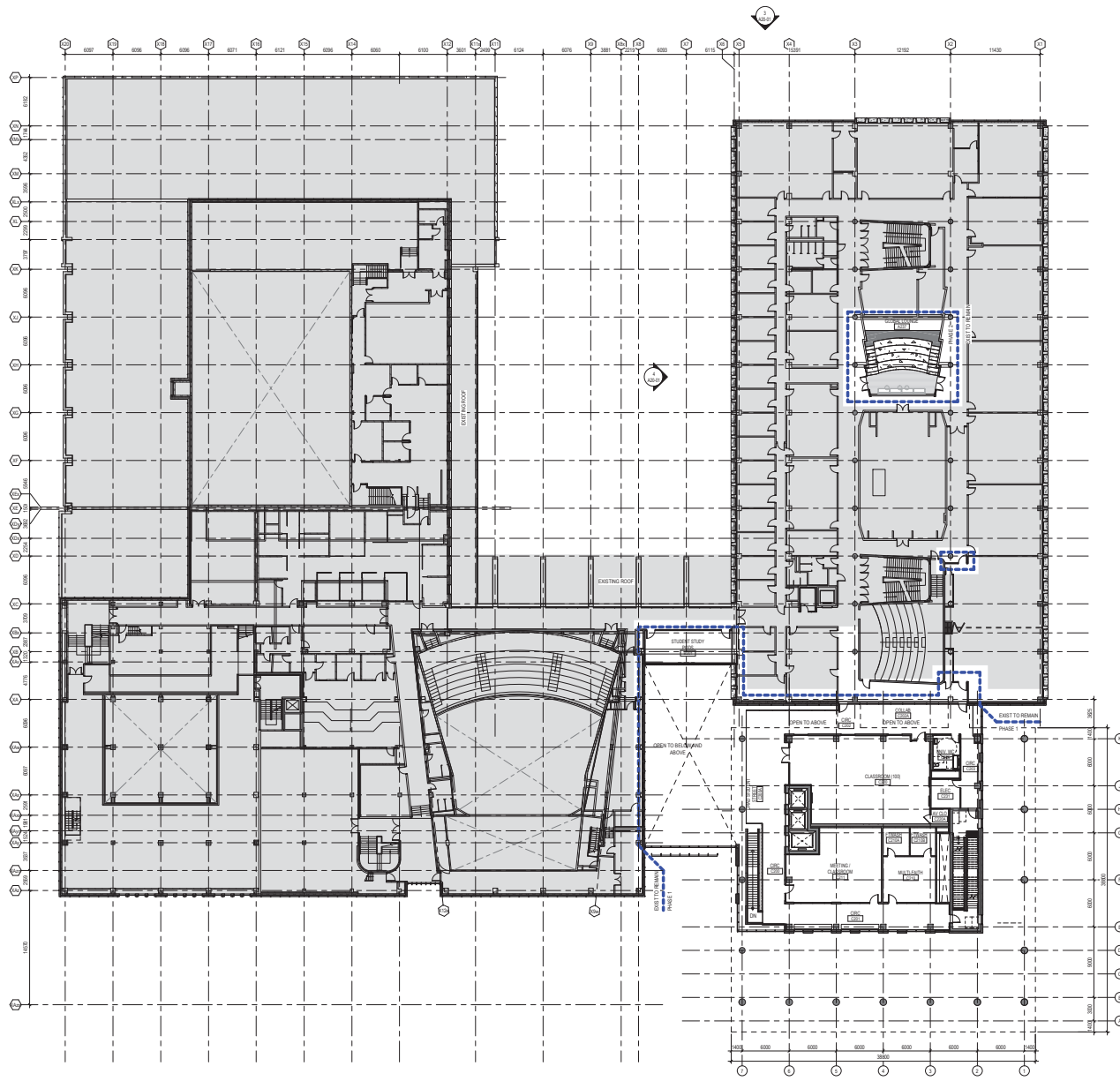
SHEET NUMBER

A10-01

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① L01 OVERALL PLAN
1:200



① L02 OVERALL PLAN
1:200

PLAN LEGEND

- WEEPING TILE
- VERTICAL CONNECTION TO WEEPING TILE
- ▶ PRIMARY ENTRY / EXIT
- ◀ SEASONAL ENTRY / EXIT
- EXIT
- FLOOR DRAIN
- ▽ DOWNSPOUT
- ▭ MILLWORK IDENTIFIED ON A13-01, A13-02 & A13-03
- ▭ MW MILLWORK
- ⋯ ITEMS NOT IN CONTRACT (INC)
- ✕ FIRE DEPARTMENT CONNECTION
- ▭ EXISTING AREA NOT IN SCOPE

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KEY PLAN

ISSUE CHART

NO.	ISSUED FOR	DATE	BY
1	ISSUED FOR SPA		
2	ISSUED FOR 100% CD		

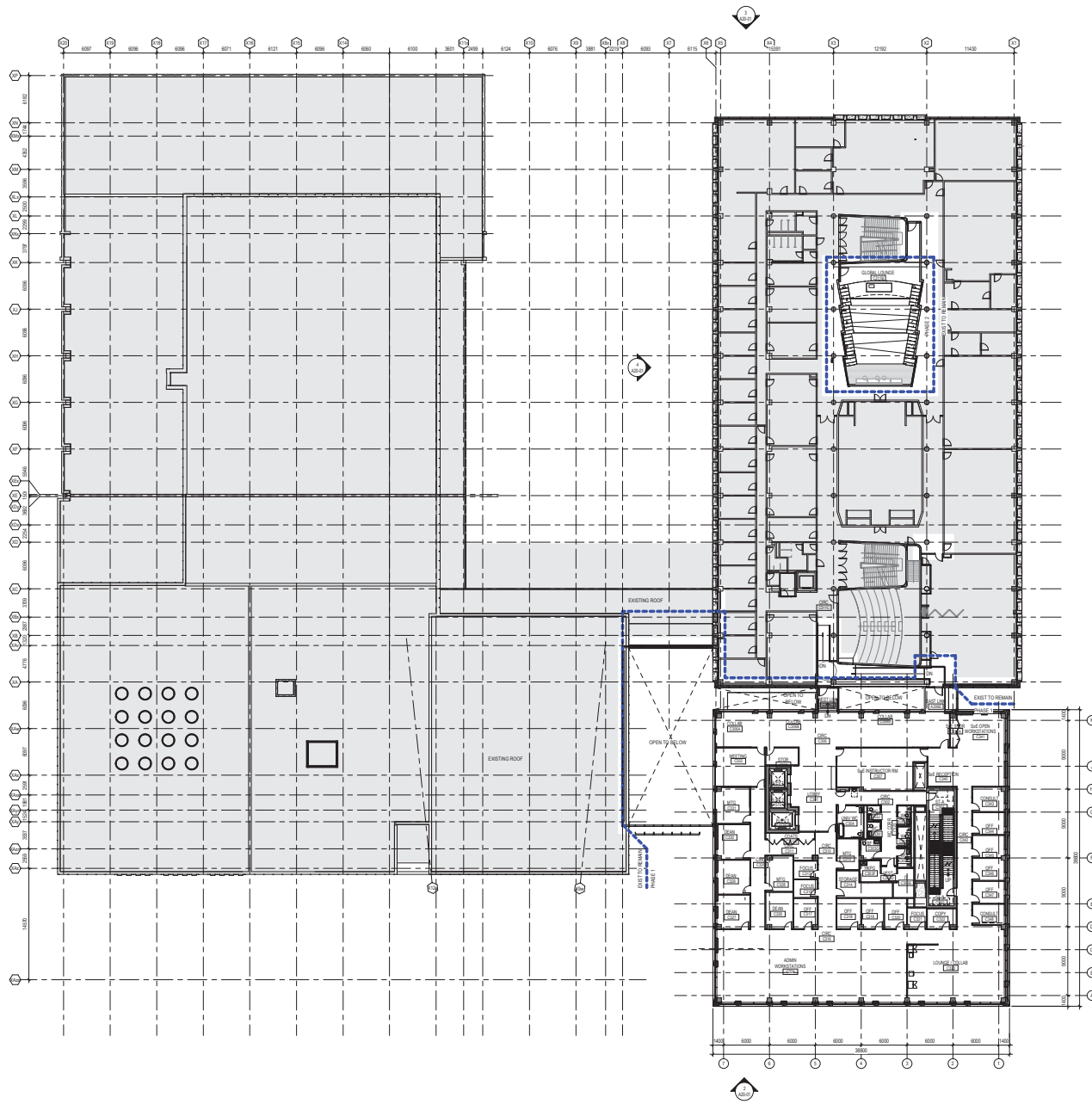
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DATE: 2021.07.21
TITLE: L02 OVERALL PLAN

L02 OVERALL PLAN

SHEET NUMBER

A10-02

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PLAN LEGEND

- WEEPING TILE
- VERTICAL CONNECTION TO WEEPING TILE
- ▶ PRIMARY ENTRY / EXIT
- ◀ SEASONAL ENTRY / EXIT
- EXIT
- FLOOR DRAIN
- ▽ DOWNSPOUT
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- ▭ MW MILLWORK
- ⋯ ITEMS NOT IN CONTRACT (N/C)
- ✕ FIRE DEPARTMENT CONNECTION
- ▭ EXISTING AREA NOT IN SCOPE

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KEYPLAN

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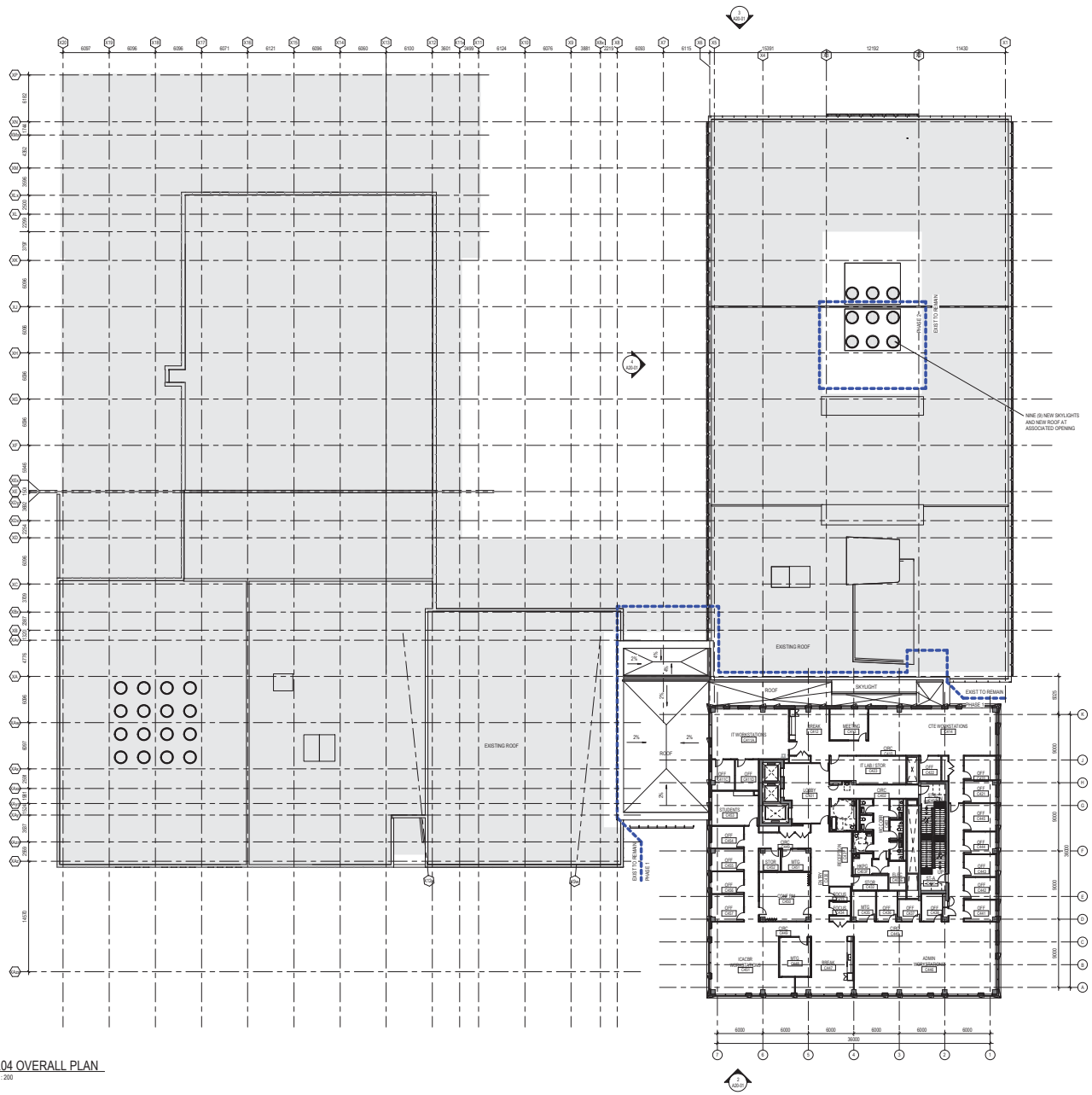
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DATE: 04/16/2022
TITLE: L03 OVERALL PLAN

L03 OVERALL PLAN

SHEET NUMBER
A10-03

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① L03 OVERALL PLAN
1:200



① L04 OVERALL PLAN
1:200

PLAN LEGEND

- WEEPING TILE
- VERTICAL CONNECTION TO WEEPING TILE
- ▶ PRIMARY ENTRY / EXIT
- ◀ SEASONAL ENTRY / EXIT
- EXIT
- FLOOR DRAIN
- ▽ DOWNSPOUT
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- ▭ MW MILLWORK
- ⋯ ITEMS NOT IN CONTRACT (N/C)
- ✕ FIRE DEPARTMENT CONNECTION
- ▭ EXISTING AREA NOT IN SCOPE

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PROJECT

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K7M 2H3, Canada

Queen's University
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K7M 2H3, Canada

KEYPLAN

ISSUE CHART

NO.	ISSUED FOR PERMITS	REVISIONS
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2	ISSUED FOR PERMITS	REVISIONS

Job Number: 22-028
DATE: 04/19/22
TITLE: L04 OVERALL PLAN

L04 OVERALL PLAN

SHEET NUMBER
A10-04

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PLAN LEGEND

- WEEPING TILE
- VERTICAL CONNECTION TO WEEPING TILE
- ▶ PRIMARY ENTRY / EXIT
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- EXIT
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- ▭ EXISTING AREA NOT IN SCOPE

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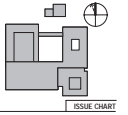


PROJECT

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ISSUED FOR SITE PLAN APPLICATION 2022.07.27/10

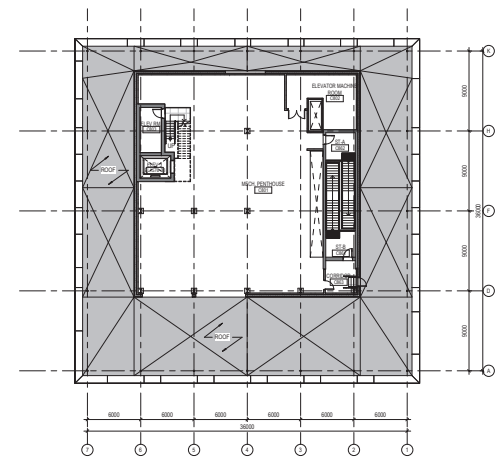
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2	ISSUED FOR 10% CO.	2022.08.10	AW

L05, L06, L07, MECH PH & ROOF OVERALL PLAN

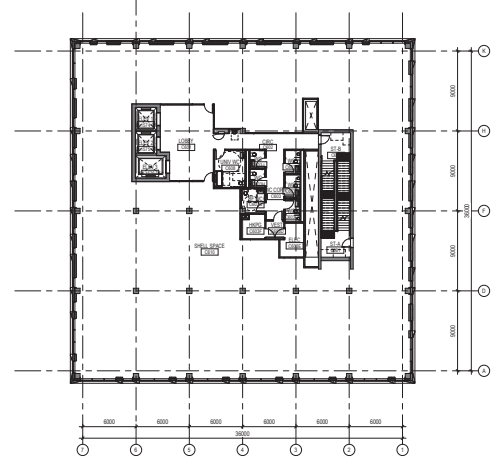
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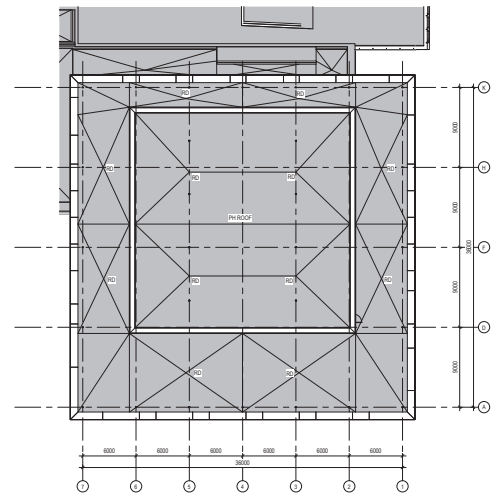
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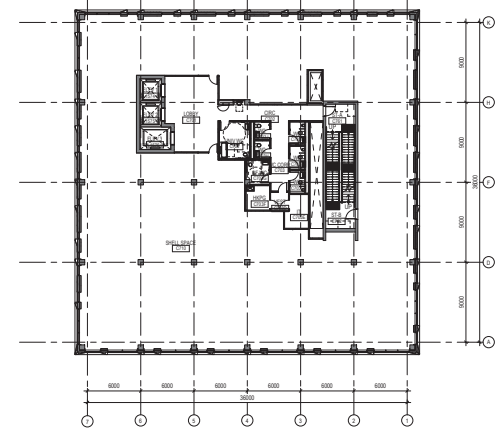
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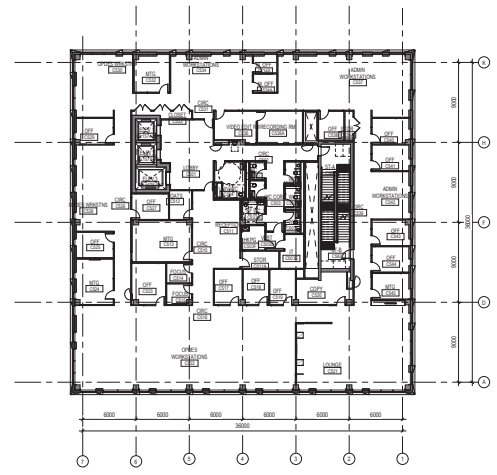
② L06 OVERALL PLAN
1:200



⑤ ROOF PLAN OVERALL
1:200



③ L07 OVERALL PLAN
1:200



① L05 OVERALL PLAN
1:200

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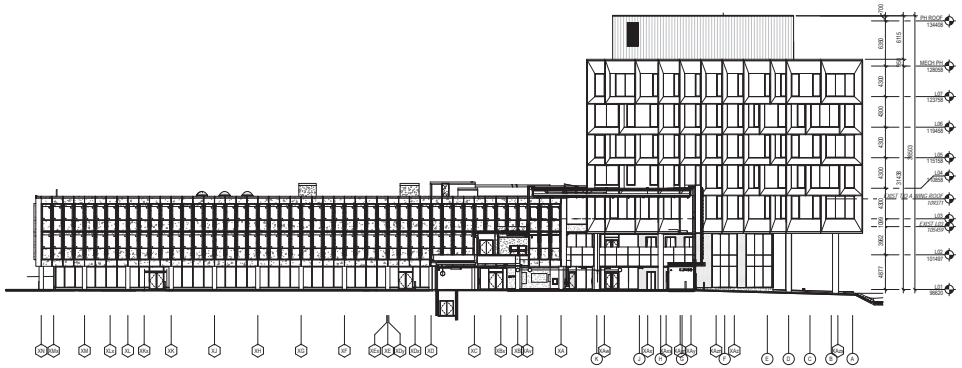
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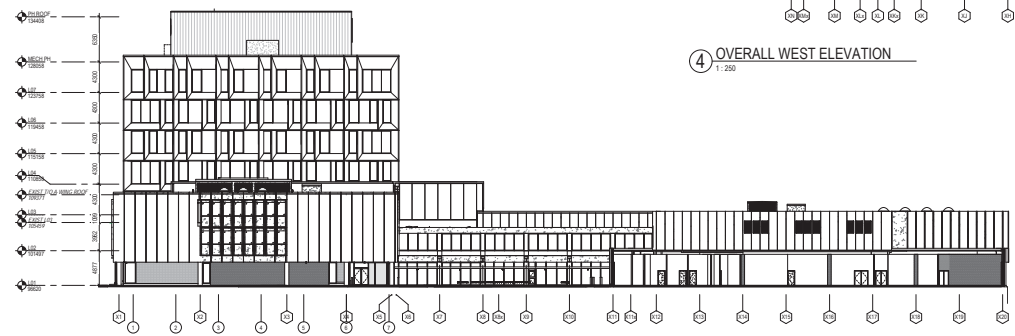
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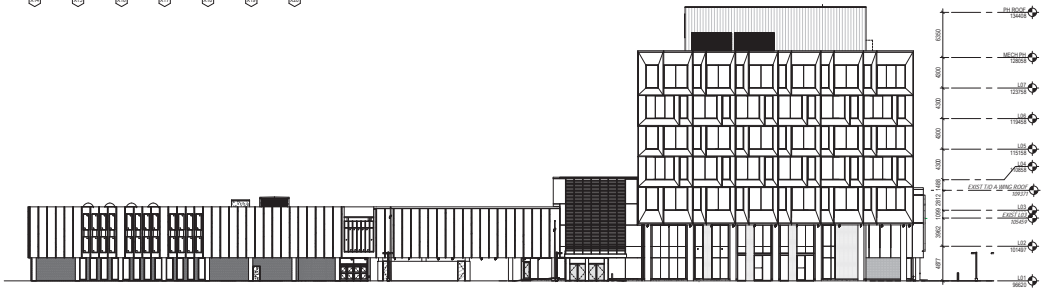
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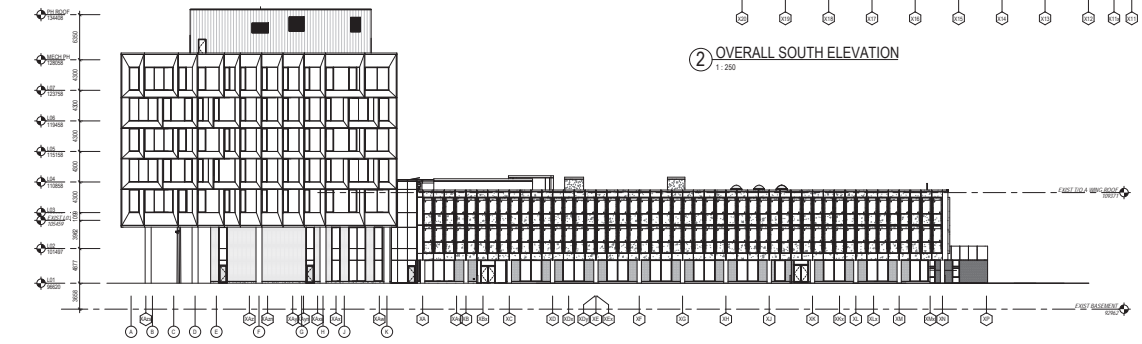
④ OVERALL WEST ELEVATION
1:250



③ OVERALL NORTH ELEVATION
1:250



② OVERALL SOUTH ELEVATION
1:250



① OVERALL EAST ELEVATION
1:250

ISSUED FOR SITE PLAN APPLICATION 2022.07.27/10

PROJECT

Duncan McArthur Hall
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K7M 2H3, Canada



Queen's University
511 Union St W, Kingston, ON
K7M 2H3, Canada
KEYPLAN

ISSUE CHART

NO.	ISSUED FOR SPA	REVISIONS
1	ISSUED FOR SPA	REVISED FOR 100% CD
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OVERALL EXTERIOR ELEVATIONS

SHEET NUMBER

A20-01

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EXTERIOR SCREEN NOTES

1. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION ON DOORS IN SCREENS.
2. CURTAIN WALL AND SCREEN DIMENSIONS AS PER ROUGH OPENING.
3. SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
4. ALL MULLIONS ARE TO BE REINFORCED, BASED ON DIMENSIONS NOTED, TO MEET APPLICABLE CODES AND DEFLECTION CRITERIA.
5. FINISH TO ALUMINUM DOORS (SWING AND SLIDING DOORS) TO MATCH FINISH OF ADJACENT CURTAIN WALL. TYPICAL GARNETS, GILSONE, AND SEALANTS TO BE BLACK, UNLESS OTHERWISE NOTED.

EXTERIOR SCREEN LEGEND

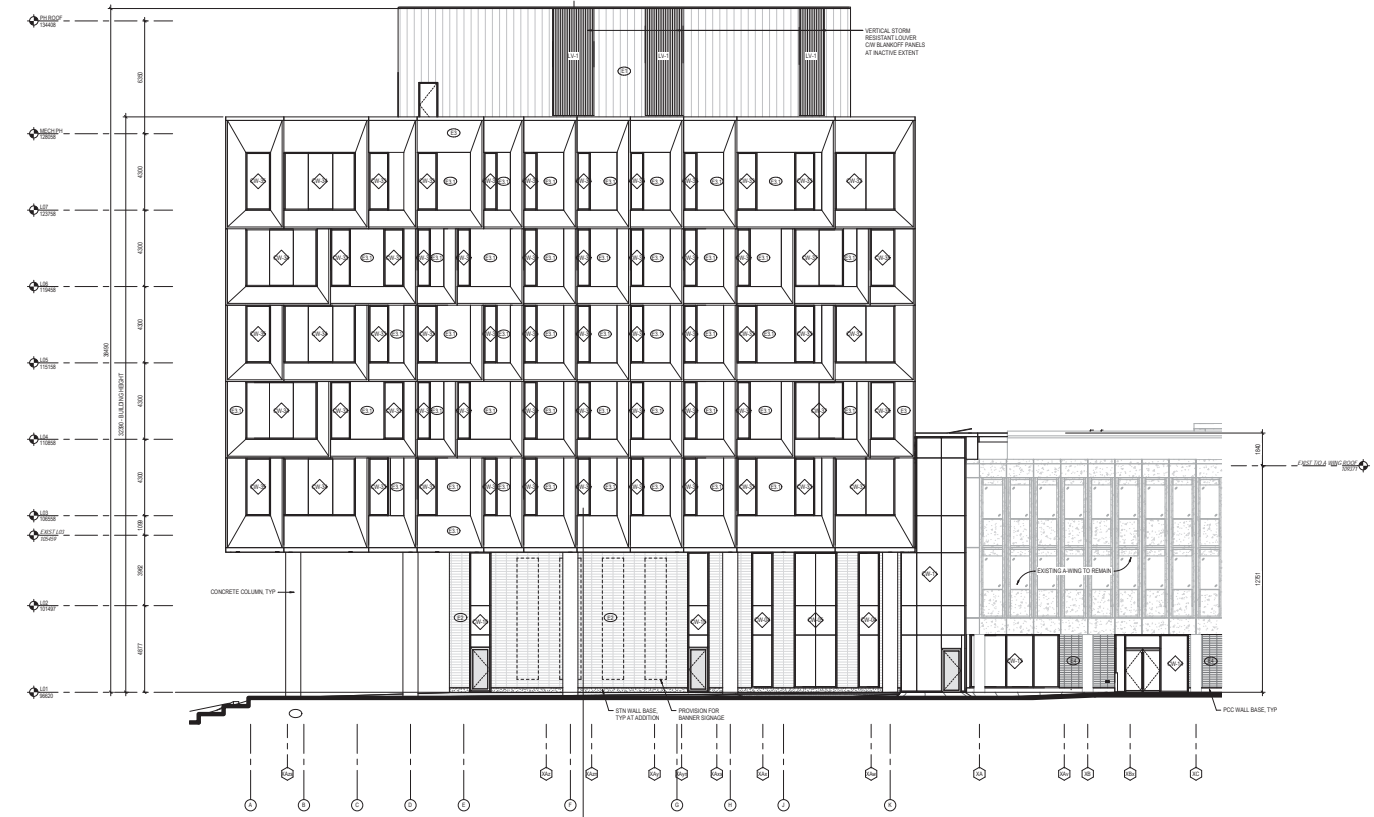
- GLAZING SYSTEM TYPES
- GS01 - CURTAIN WALL SCREEN FRAME (6R 41 13)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, SSG INTERMEDIATE MULLIONS, CAPS AROUND DOORS
LOCATION: NEW TOWER L03-L07
 - GS02 - CURTAIN WALL SCREEN FRAME (6R 41 13)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, SSG INTERMEDIATE MULLIONS, CAPS AROUND DOORS
LOCATION: NEW ADDITION BASE L01-L02 BELOW TOWER, L01-L02 AT ATRIUM AND L06
 - GS03 - CURTAIN WALL SCREEN FRAME (6R 41 13)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, WCAPPED INTERMEDIATE MULLIONS
LOCATION: NEW ARIING W/FL. ADDITION EXTENTS AT L01
 - GS04 - STRUCTURAL GLASS GUARD (S9 73 10)
 - GS05 - STRUCTURAL GLAZING SCREEN (S8 41 28)

EXTERIOR WALL MATERIAL LEGEND

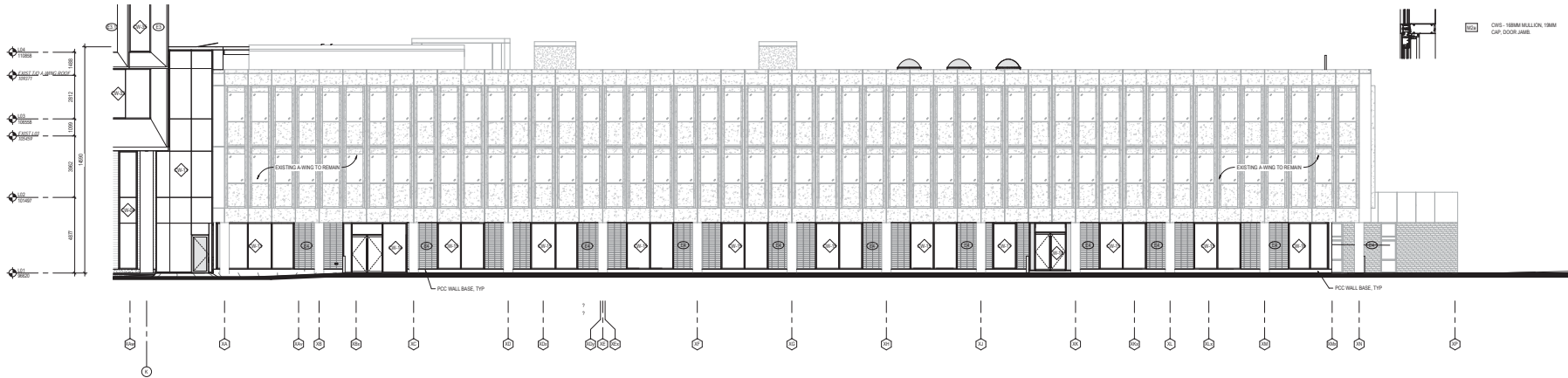
- WALL SYSTEM TYPES
- E1 - PREFINISHED METAL SIDING SYSTEM, LIGHT GREY/SLIVER FINISH
S904 x FULL HEIGHT VERTICAL FINISH
 - E2 - TERRA COTTA PANEL SYSTEM, WHITE GLAZED FINISH
S904 x 3000 FORMAT
 - E3 - PREFINISHED ALUMINUM HONEYCOMB BACKED PANEL SYSTEM
LIGHT GOLD FINISH
LARGE FORMAT GEOMETRIC PANELS AS SHOWN
 - E4 - BRICK MASONRY WALL SYSTEM, TERRACOTTA FINISH TO MATCH EXISTING
 - F01 - PRECAST CONCRETE PANELS
 - L01-L1 - PREFINISHED METAL VERTICAL STORM RESISTANT LOUVER SYSTEM
FINISH TO MATCH WALL TYPE E1
- NOTE: SEE RENDERINGS FOR MATERIAL REPRESENTATION

MULLION PROFILE TYPES

- NOTE: MULLION PROFILE TYPES IN PROGRESS
- MS01 - CWS - 18MM MULLION, 18MM CAP, SCREEN BORDER
 - MS02 - CWS - 18MM MULLION, CAPLESS SSG, HORIZ. & VERT.
 - MS03 - CWS - 18MM MULLION, CAPLESS SSG, HORIZ. & VERT.
 - MS04 - CWS - 18MM MULLION, CAPLESS SSG, CORNER
 - MS05 - CWS - 18MM MULLION, 18MM CAP, DOOR JAMB



1 EAST ELEVATION - SOUTH
1:100



2 EAST ELEVATION - NORTH
1:100

ISSUED FOR SITE PLAN APPLICATION 2022.07.27/10



PROJECT

Duncan McArthur Hall
511 Union St W, Kingston, ON
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Queen's University
511 Union St W, Kingston, ON
K7M 2H3, Canada
KEYPLAN

ISSUE CHART

1	ISSUED FOR SPA	2022.07.27
2	ISSUED FOR 100% CD	2022.07.27
3	ISSUED FOR 100% CD	2022.07.27
4	ISSUED FOR 100% CD	2022.07.27

EXTERIOR ELEVATIONS - EAST

SHEET NUMBER

A20-02

CONSULTANTS

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Quanta University

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EXTERIOR SCREEN NOTES

1. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION ON DOORS IN SCREENS.
2. CURTAIN WALL AND SCREEN DIMENSIONS AS PER ROUGH OPENING.
3. SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
4. ALL MULLIONS ARE TO BE REINFORCED, BASED ON DIMENSIONS NOTED, TO MEET APPLICABLE CODES AND DEFLECTION CRITERIA.
5. FINISH TO ALUMINUM DOORS (SWING AND SLIDING DOORS) TO MATCH FINISH OF ADJACENT CURTAIN WALL TYPICAL GASKETS, GULCONE, AND SEALANTS TO BE BLACK, UNLESS OTHERWISE NOTED.

EXTERIOR SCREEN LEGEND

GLAZING SYSTEM TYPES

- G01 - CURTAIN WALL SCREEN FRAME (6R 41.3)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, SSG INTERMEDIATE MULLIONS, CAPS AROUND DOORS
LOCATION: NEW TOWER L03-L07
- G02 - CURTAIN WALL SCREEN FRAME (6R 41.3)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, SSG INTERMEDIATE MULLIONS, CAPS AROUND DOORS
LOCATION: NEW ADDITION BASE L01-L02 BELOW TOWER, L01-L02 AT ATRIUM AND L06
- G03 - CURTAIN WALL SCREEN FRAME (6R 41.3)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, WCAPPED INTERMEDIATE MULLIONS
LOCATION: NEW ATRIUM INFILL ADDITION EXTENTS AT L01
- G04 - STRUCTURAL GLASS GLAZING (6R 73 16)
- G05 - STRUCTURAL GLAZING SCREEN (6R 41.2B)

EXTERIOR WALL MATERIAL LEGEND

WALL SYSTEM TYPES

- E1 - PREFINISHED METAL SIDING SYSTEM: LIGHT GREY/SILVER FINISH
200 x FULL HEIGHT VERTICAL FINISH
 - E2 - TERRA COTTA PANEL SYSTEM: WHITE GLAZED FINISH
600 x 2000 FORMAT
 - E3 - PREFINISHED ALUMINUM HONEYCOMB BACKED PANEL SYSTEM
LIGHT GOLD FINISH
LARGE FORMAT GEOMETRIC PANELS AS SHOWN
 - E4 - BRICK MASONRY WALL SYSTEM: TERRACOTTA FINISH TO MATCH EXISTING
 - F01 - PRECAST CONCRETE PANELS
 - L1-V-1 - PREFINISHED METAL VERTICAL STORM RESISTANT LOUVER SYSTEM
FINISH TO MATCH WALL TYPE E1
- NOTE: SEE RENDERINGS FOR MATERIAL REPRESENTATION

MULLION PROFILE TYPES

- NOTE: MULLION PROFILE TYPES IN PROGRESS
- M01 - CWS - 18MM MULLION, 18MM CAP, SCREEN BORDER
 - M02 - CWS - 18MM MULLION, CAPLESS SSG, HORIZ. & VERT.
 - M03 - CWS - 18MM MULLION, CAPLESS SSG, HORIZ. & VERT.
 - M04 - CWS - 18MM MULLION, CAPLESS SSG, CORNERS
 - M05 - CWS - 18MM MULLION, 18MM CAP, DOOR JAMB



1 SOUTH ELEVATION
1:100

ISSUED FOR SITE PLAN APPLICATION 2022.07.27.10

PROJECT

Duncan McArthur Hall
511 Union St W, Kingston, ON
K7M 2H3, Canada

Queen's University
511 Union St W, Kingston, ON
K7M 2H3, Canada
KEYPLAN

ISSUE CHART

1	ISSUED FOR SPA	2/2/2022
2	ISSUED FOR 100% CD	2/2/2022
3	ISSUED FOR 100% CD	2/2/2022
4	ISSUED FOR 100% CD	2/2/2022

EXTERIOR ELEVATIONS - SOUTH

SHEET NUMBER

A20-03

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Queens University
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EXTERIOR SCREEN NOTES

1. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION ON DOORS IN SCREENS.
2. CURTAIN WALL AND SCREEN DIMENSIONS AS PER ROUGH OPENING.
3. SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
4. ALL MULLIONS ARE TO BE REINFORCED, BASED ON DIMENSIONS NOTED, TO MEET APPLICABLE CODES AND DEFLECTION CRITERIA.
5. FINISH TO ALUMINUM DOORS (SWING AND SLIDING DOORS) TO MATCH FINISH OF ALUMINUM CURTAIN WALL. TYPICAL GASKETS, GULCHES, AND SEALANTS TO BE BLACK, UNLESS OTHERWISE NOTED.

EXTERIOR SCREEN LEGEND

GLAZING SYSTEM TYPES

- G01 - CURTAIN WALL SCREEN FRAME (GR 41.3)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, SSG INTERMEDIATE MULLIONS, CAPS AROUND DOORS
LOCATION: NEW TOWER L03-L07
- G02 - CURTAIN WALL SCREEN FRAME (GR 41.3)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, SSG INTERMEDIATE MULLIONS, CAPS AROUND DOORS
LOCATION: NEW ADDITION BASE L01-L02 BELOW TOWER, L01-L02 AT ATRIUM AND L03
- G03 - CURTAIN WALL SCREEN FRAME (GR 41.3)
MATERIAL: ALUMINUM
FINISHES: CLEAR ANODIZED UNLESS NOTED OTHERWISE
NOTES: CAPPED PERIMETER MULLIONS, WCAPPED INTERMEDIATE MULLIONS
LOCATION: NEW A-WING W/FLL ADDITION EXTENTS AT L01
- G04 - STRUCTURAL GLASS GLAZED (S9 73 10)
- S01 - STRUCTURAL GLAZING SCREEN (S9 41 20)

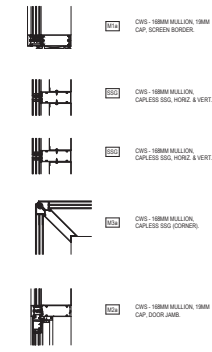
EXTERIOR WALL MATERIAL LEGEND

WALL SYSTEM TYPES

- E1 - PREFINISHED METAL SIDING SYSTEM - LIGHT GREY/SILVER FINISH
S9W x FULL HEIGHT VERTICAL FORMAT
 - E2 - TERRA COTTA PANEL SYSTEM - WHITE GLAZED FINISH
S9W x 2000 FORMAT
 - E3 - PREFINISHED ALUMINUM HONEYCOMB BACKED PANEL SYSTEM
LIGHT GOLD FINISH
LARGE FORMAT GEOMETRIC PANELS AS SHOWN
 - E4 - BRICK MASONRY WALL SYSTEM - TERRACOTTA FINISH TO MATCH EXISTING
 - F01 - PRECAST CONCRETE PANELS
 - LV-1 - PREFINISHED METAL VERTICAL STORM RESISTANT LOUVER SYSTEM
FINISH TO MATCH WALL TYPE E1
- NOTE: SEE RENDERINGS FOR MATERIAL REPRESENTATION

MULLION PROFILE TYPES

NOTE: MULLION PROFILE TYPES IN PROGRESS



ISSUED FOR SITE PLAN APPLICATION 2022/11/27/10

PROJECT

Duncan McArthur Hall
511 Union St W, Kingston, ON
K7M 2H3, Canada

Queens University
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KEYPLAN

ISSUE CHART

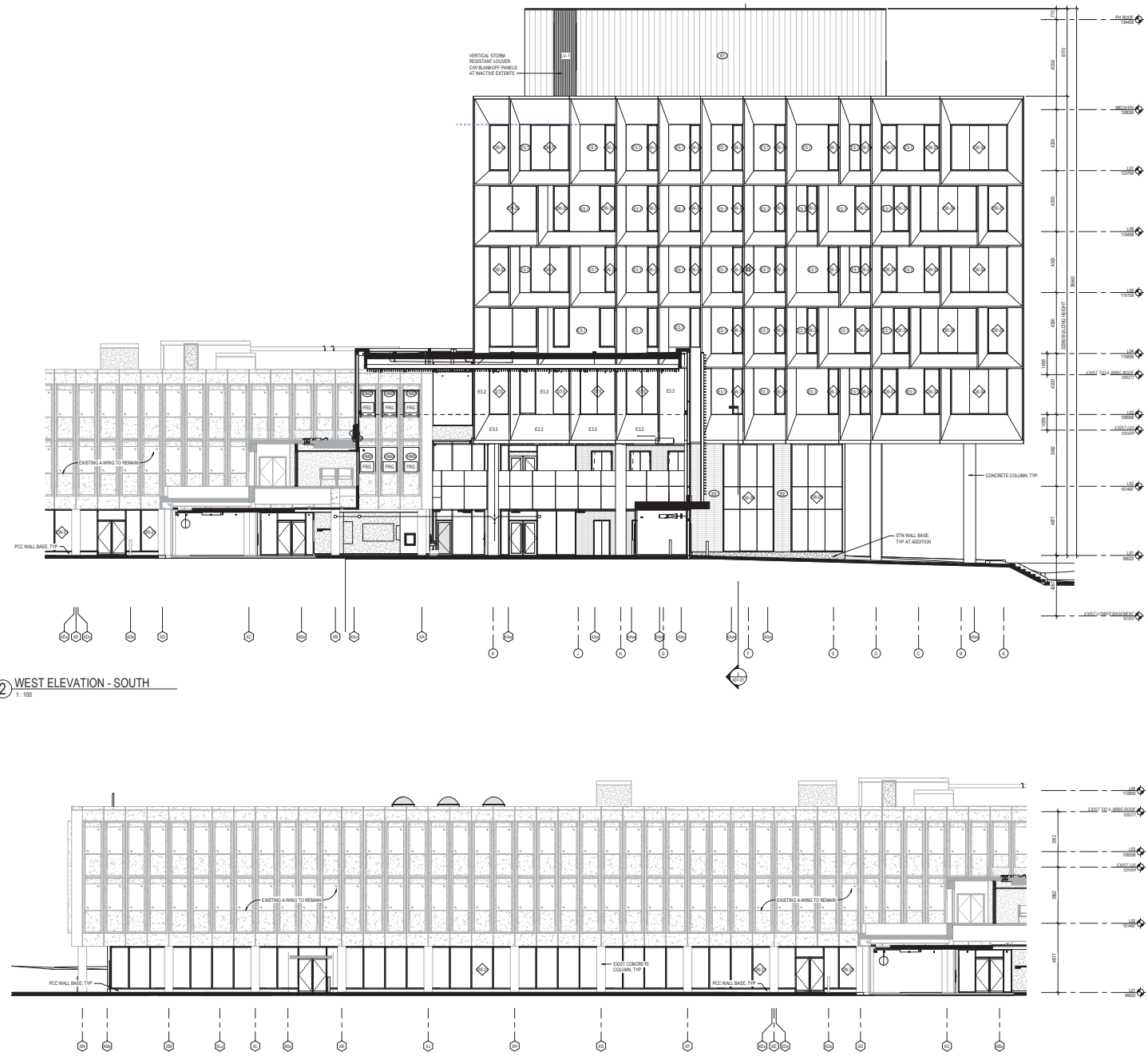
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3	ISSUED FOR 100% CD	2023/01/10	PERKINS+WILL

EXTERIOR ELEVATIONS - WEST

SHEET NUMBER

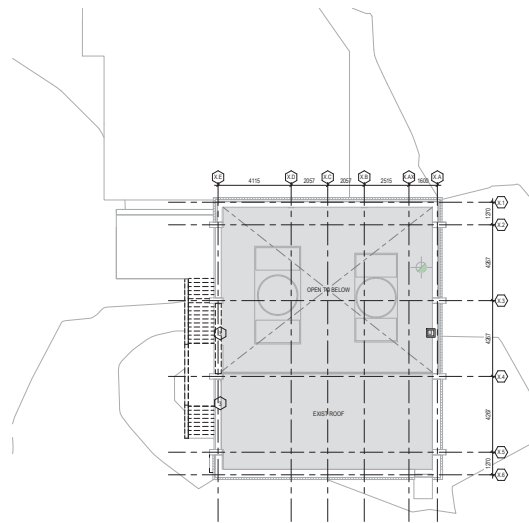
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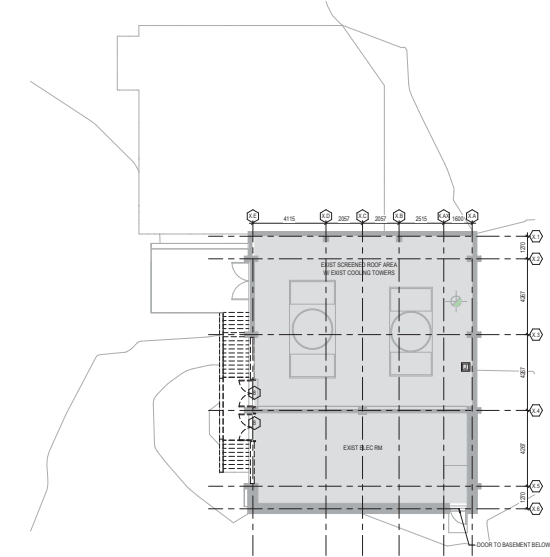


② WEST ELEVATION - SOUTH
1:100

① WEST ELEVATION - NORTH
1:100



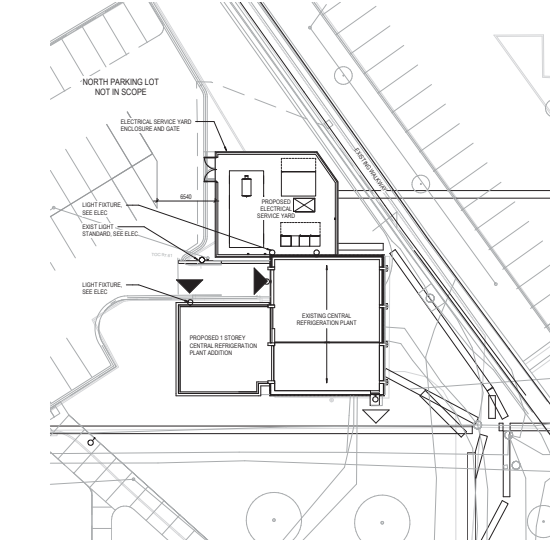
3 REFRIGERATION PLANT - ROOF DEMOLITION PLAN
1:100



2 REFRIGERATION PLANT - FIRST FLOOR DEMOLITION PLAN
1:100



1 REFRIGERATION PLANT - BASEMENT DEMOLITION PLAN
1:100



4 REFRIGERATION PLANT - SITE PLAN
1:200

- DEMOLITION GENERAL NOTES**
- REFER TO SPECIFICATIONS FOR INTER-LIFE SAFETY REQUIREMENTS
 - CONSTRUCT TEMPORARY PARTITIONS AS REQUIRED BY PHASING TO MINIMIZE THE SPREAD OF DUST AND NOISE. FAST TRACKING REQUIRED TO PROTECT SERVER ROOM
 - THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION
 - REPAIR ANY DAMAGED FIRE RATED ASSEMBLIES TO THEIR ORIGINAL SPECIFICATION AND
 - REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOW FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REPAIR TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ALL JOINTS, WALLS, FLOORS AND CEILING SURFACES TO RECEIVE NEW FINISHES PER FINISH SCHEDULE OR PER INTERIM FINISH PLAN
 - WHERE NEW FINISHES ARE TO BE INSTALLED ON TO EXISTING SURFACES, REMOVE THE EXISTING FINISH AND PREPARE THE EXISTING SURFACE TO RECEIVE THE NEW FINISH
 - COORDINATE WITH THE OWNER ANY ITEMS TO BE STORED AND/OR RELOCATED
 - SEE CIVIL, MECHANICAL, PLUMBING AND/OR ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES
 - FOR EXTENT AND LOCATION OF CHANNELLING OF FLOOR SLABS, REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. IF PIPING OR CONDUIT WORK OTHER THAN THE DESIGNER'S DESIGN IS ENCOUNTERED WHILE CHANNELLING, NOTIFY THE ARCHITECT BEFORE CONTINUING
 - VERIFY THAT CONSTRUCTION OF WALLS WITHIN THE AREA OF DEMOLITION (BASIC COMPARTMENTS) MEETS THE FIRE PROTECTION AND RATING DESIGNATED ON THE DRAWINGS. ANY ADDITIONAL REVISIONS OR MODIFICATIONS NECESSARY TO BRING WALLS TO MEET THESE REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FIRE PROTECTION RATING, DOORS AND/OR FRAMES SHALL HAVE THE PROOF RATING AS SHOWN
 - VERIFY THAT EXIST FORESIS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION
 - DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES
 - BRACE ALL STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION
 - DO NOT CUT ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER
 - THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES
 - REPLACE OR REPAIR ANY TO REMAIN FINISHES WHICH ARE DAMAGED DURING DEMOLITION (E.G. CEILING JOINT, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.)
 - REPLACE OR REPAIR ANY TO REMAIN FINISHES WHICH ARE DAMAGED DURING DEMOLITION (E.G. CEILING JOINT, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.)
 - NOTIFY THE ARCHITECT IMMEDIATELY IF THE REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATIVE OR MEP SYSTEMS OUTSIDE THE LIMIT OF DEMOLITION
 - SCHEDULE ALL DEMOLITION WITH THE OWNER
 - SEE MEP AND ELEC FOR DEMOLITION AND RELOCATED EQUIPMENT. DOORS IN LOWER LEVEL, REAR AND REAR DOOR EXISTING WALLS, FLOORS AND CEILING AS REQUIRED TO FACILITATE MECHANICAL AND ELECTRICAL WORK

- DEMOLITION NOTE BY NUMBER**
- REMOVE EXISTING CLADDING INCLUDING ASSOCIATED FRAMING AND FLASHING. PROVIDE NEW TRUSSED WALL FRAMING AND INSULATION. RECONSTRUCT ASSEMBLY TO NEW BASE HEIGHT
 - REMOVE EXISTING WINDOW FRAMING, GLAZING AND PANELS. FILL OPENING WITH NEW CONSTRUCTION REFER TO DETAILS IN NEW FLOOR PLANS
 - COMPLETELY REMOVE AND DISPOSE OF EXTERIOR WALL. PREPARE STRUCTURAL WORKING AS REQUIRED TO MAINTAIN INTEGRITY OF FLOORS. REMOVE REFER TO STRUCTURAL DRAWINGS
 - COMPLETELY REMOVE AND DISPOSE OF EXISTING FLOOR FINISH (CARPET, TILE, SHEET FLOORING)
 - REMOVE AND REINSTALL EXISTING CEILING AS REQUIRED TO COMPLETE MECHANICAL, SPRINKLER AND ELECTRICAL WORK AS NOTED ON DRAWINGS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS
 - REMOVE ALL EXISTING WINDOW COVERINGS (BLINDS, CURTAINS, PLEATED) INCLUDING BRACKETS ON WINDOWS AND DISPOSE
 - COMPLETELY REMOVE AND DISPOSE OF EXISTING INTERIOR WALLS
 - REMOVE DOOR AND FRAME
 - MAKE ROUGH SURFACE READY FOR NEW FINISH
 - EXISTING CAMERA TO BE RELOCATED
 - RELOCATE EXISTING FIRE EXTINGUISHER
 - RELOCATE EXISTING LIGHT SWITCH, CONDUIT AND WIRING
 - REMOVE EXISTING CEILING
 - REMOVE EXISTING ROOF
 - COMPLETE INTERIOR DEMOLITION
COMPLETELY REMOVE AND DISPOSE OF EXISTING FLOOR FINISH (CARPET, TILE, SHEET FLOORING)
COMPLETELY REMOVE AND DISPOSE OF EXISTING CEILING
REMOVE DOOR AND FRAME
REMOVE EXISTING CEILING
REMOVE EXISTING CABINETS, COUNTER TOPS, SINK, SERVICE WALL CABINETS
REMOVE EXISTING CABINETS, COUNTER TOPS, SINK, SERVICE WALL CABINETS, OVERHEAD SHOWER, STATIONS, SPRINKLER HEADS, COOK HOODS, LOCKERS, FIXED SEATS, FUME HOODS, DUCTS AND OTHER RELATED ITEMS. MAKE SURFACE READY AND
PREP FOR FINISHES WHERE INDICATED ON DRAWINGS
 - MAKE ALL ROUGH SURFACE READY FOR NEW FINISH
REMOVE AND REINSTALL EXISTING CEILING AS REQUIRED TO COMPLETE NEW SHEET WALL
- DEMOLITION LEGEND**
- CONSTRUCTION TO REMAIN
 - CONSTRUCTION TO BE DEMOLISHED. SEE NOTE 1 OF DEMOLITION GENERAL NOTES
 - AREA OUT OF SCOPE. REFER TO MEP AND STRUCTURAL DEMOLITION DOCUMENTS FOR ADDITIONAL WORK IF REQUIRED
 - OUTLINE OF STAGING & HOUSING (PHASE 1)
 - OUTLINE OF STAGING & HOUSING (PHASE 2)

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PROJECT

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KEYPLAN

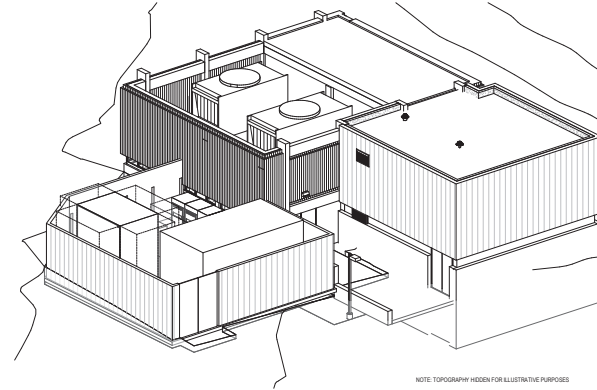
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REFRIGERATION BUILDING - SITE PLAN, DEMOLITION PLANS

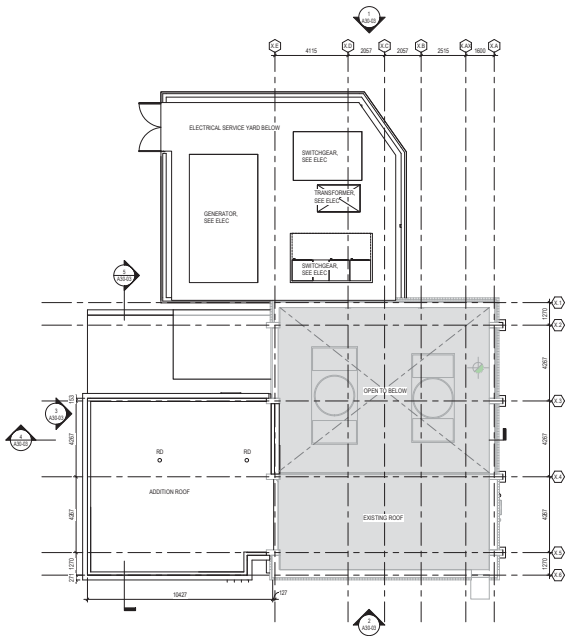
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A30-01

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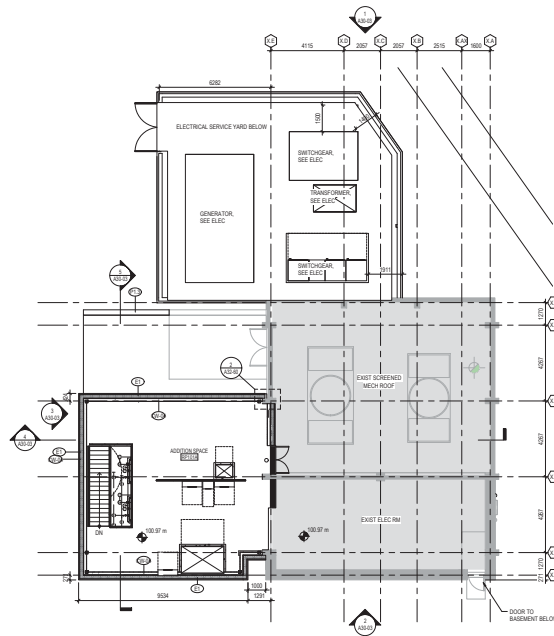


NOTE: TOPOGRAPHY HIDDEN FOR ILLUSTRATIVE PURPOSES

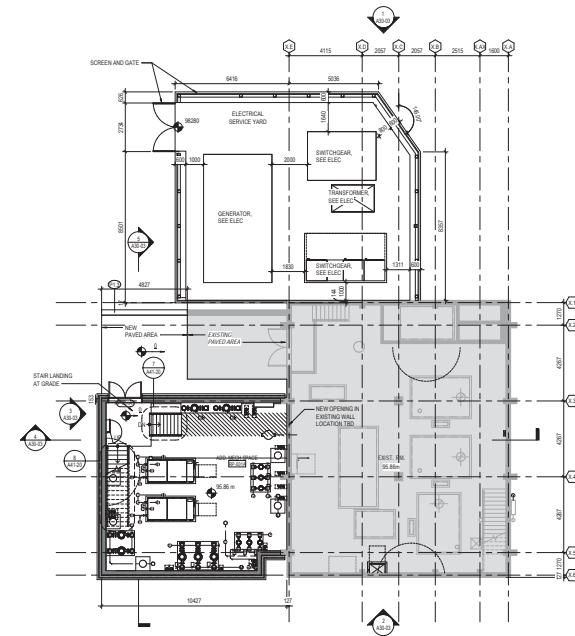
④ REFRIGERATION PLANT - 3D VIEW LOOKING SOUTHEAST
NOT TO SCALE



③ REFRIGERATION PLANT - ROOF PLAN
1:100



② REFRIGERATION PLANT - FIRST FLOOR PLAN
1:100



① REFRIGERATION PLANT BASEMENT PLAN
1:100



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Queen's University

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KEY PLAN



ISSUE CHART

NO.	ISSUED FOR	DATE	BY
1	ISSUED FOR SPA	2022.07.27	LEA
2	ISSUED FOR 100% CD	2022.07.27	LEA
3	ISSUED FOR 100% CD	2022.07.27	LEA

TITLE

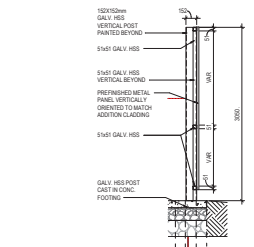
REFRIGERATION BUILDING

- ENLARGED PLANS

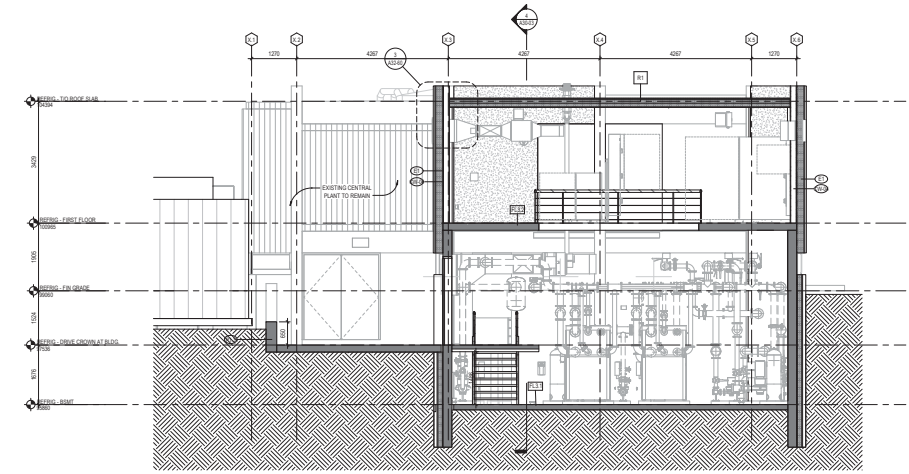
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A30-02

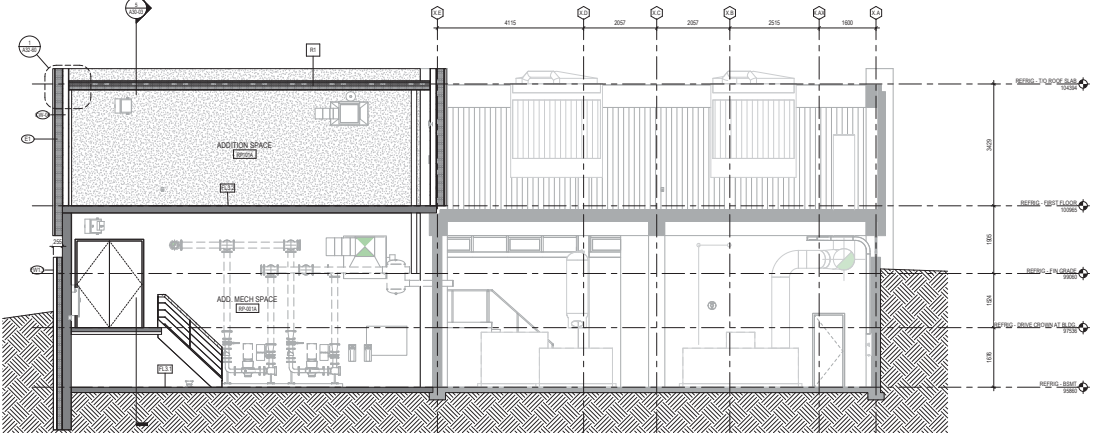
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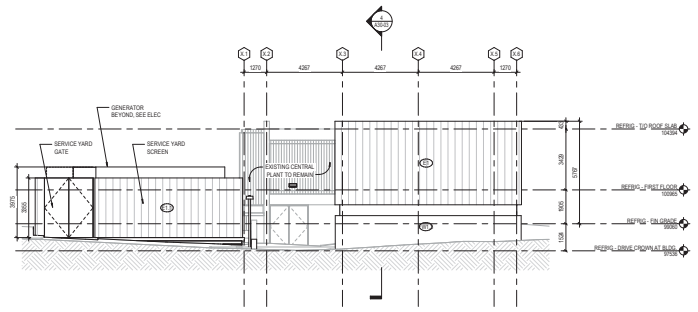
6 SERVICE YARD ENCLOSURE - TYP SECTION
1:25



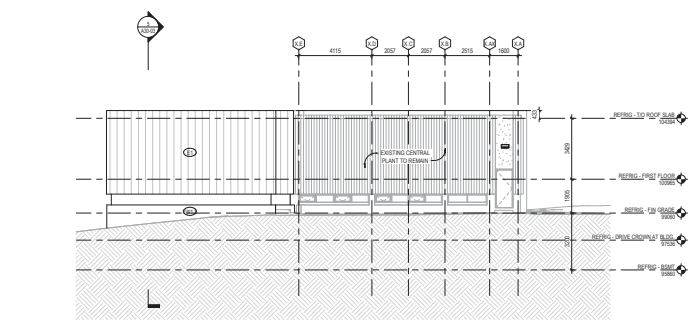
5 REFRIGERATION PLANT - SECTION B
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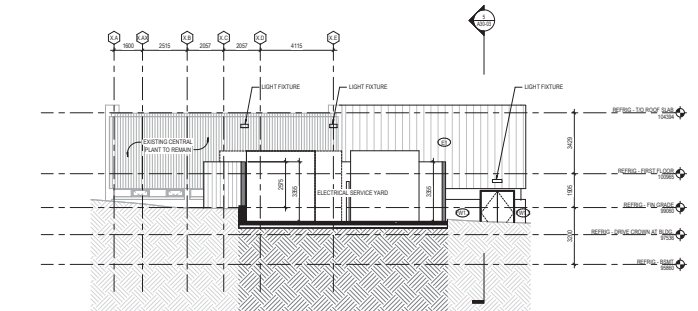
4 REFRIGERATION PLANT - SECTION A
1:50



3 REFRIGERATION PLANT - WEST ELEVATION
1:100



2 REFRIGERATION PLANT - SOUTH ELEVATION
1:100



1 REFRIGERATION PLANT - NORTH ELEVATION
1:100



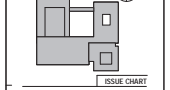
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NO.	REVISION	DATE
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2	ISSUED FOR SPA	2022.07.27

REFRIGERATION BUILDING - SECTIONS AND ELEVATIONS

SHEET NUMBER

A30-03

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Committee of Adjustment
Public Notice Notification Map
Address: 511 Union St
File Number: D13-005-2022

- 60m Public Notification Boundary
- Subject Lands
- Property Boundaries
- Proposed Parcels
- 78 Properties in Receipt of Notice (MPAC)

