



**City of Kingston
Report to Committee of Adjustment
Report Number COA-22-043**

To: Chair and Members of the Committee of Adjustment
From: Annemarie Eusebio, Intermediate Planner
Date of Meeting: May 16, 2022
Application for: Minor Variance
File Number: D13-016-2022
Address: 14 Napier Street
Owner: Kenneth Collins
Applicant: Lot 9 Architects

Council Strategic Plan Alignment:

Theme: Regulatory & compliance

Goal: 2.1 Pursue development of all types of housing city-wide through intensification and land use policies.

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for a minor variance for the property located at 14 Napier Street. The applicant is proposing to construct a new two-storey addition onto the rear of the existing garage. A portion of the existing dwelling, garage and deck will be reconstructed. The roofline of the existing garage will be modified from a pitched roof to a flat roof. A one-storey addition is proposed at the rear of the dwelling. The single-family dwelling with an attached garage existed on site since prior to 1975 when Zoning By-Law Number 8499 was adopted.

The subject property is located within a One-Family Dwelling and Two-Family Dwelling 'A4' zone in Zoning By-Law Number 8499. Section 10.3(c)(v)(i) of Zoning By-Law Number 8499 indicates that the minimum aggregate side yard width is 3.6 metres for the subject property. The subject property is located within the Urban Residential Zone 9 in the new Zoning By-Law

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Number 2022-62. Section 11.10.1, Urban Residential Zone 9 Provisions Subsection 8 indicates that the minimum aggregate of interior setbacks for the subject property is 3.6 metres.

Under Zoning By-Law Number 8499, a minor variance is required to reduce the required minimum aggregate side yard width to facilitate the construction of the one-storey rear addition and two-storey side addition onto the existing dwelling. Under the new Zoning By-Law Number 2022-062, a minor variance is also required to reduce the minimum aggregate of interior setbacks for the proposed development.

The requested minor variances are consistent with the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The requested minor variances are desirable for the appropriate development or use of the land, building or structure and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

The final draft of the City’s new Zoning By-Law was approved by Council at its meeting held on April 26, 2022. As this application is scheduled for a Committee of Adjustment meeting subsequent to that date, the application has been reviewed against both the current Zoning By-Law Number 8499, as well as new Zoning By-Law Number 2022-062.

Variance - Zoning By-Law Number 8499

Variance Number 1: Minimum Aggregate Side Yard

By-Law Number 8499: Section 10.3 (a)(v) (i)

Requirement: 3.6 metres

Proposed: 3.3 metres

Variance Requested: 0.3 metres

Variance - New Zoning By-Law Number 2022-062

Variance 1: Minimum Aggregate of Interior Setbacks

By-Law Number 2022-62: Section 11.10.1, Urban Residential Zone 9 Provisions Subsection 8

Requirement: 3.6 metres

Proposed: 3.3 metres

Variance Requested: 0.3 metres

Recommendation:

That the minor variance application, File Number D13-016-2022, for the property located at 14 Napier Street to construct a two-storey addition on the side of the existing dwelling and to construct a one-storey rear addition be approved; and

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-22-43.

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Authorizing Signatures:

ORIGINAL SIGNED BY PLANNER

Annemarie Eusebio, Intermediate
Planner

In Consultation with the following Management of the Community Services Group:

Tim Park, Director, Planning Services
James Bar, Manager, Development Approvals

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Options/Discussion:

On March 28, 2022, a minor variance application was submitted by Lot 9 Architects, on behalf of the owner, Kenneth Collins, with respect to the property located at 14 Napier Street. The variance is requested to construct a new two-storey side addition onto the rear of the existing garage. A portion of the existing dwelling, garage and deck will be reconstructed. The roofline of the existing garage will be modified from a pitched roof to a flat roof. A one-storey addition is proposed at the rear of the dwelling.

Section 10.3(c)(v)(i) of the One-Family Dwelling and Two-Family 'A4' zone of Zoning By-Law Number 8499 indicates that the minimum aggregate side yard width is 3.6 metres for the subject property. The aggregate side yard width for the proposed one storey rear addition and two-storey side addition is 3.3 metres. Relief is required to reduce the required minimum aggregate side yard width to facilitate the construction of the proposed development under Zoning By-Law Number 8499.

Section 11.10.1, Subsection 8 of the Urban Residential Zone 9 of the new Zoning By-Law Number 2022-062 indicates that the minimum aggregate of interior setbacks is 3.6 metres for the subject property. The aggregate side yard of interior setbacks for the proposed development is 3.3 metres. Relief is required to reduce the required minimum aggregate of interior setbacks for the proposed development under the new Zoning By-Law Number 2022-062.

The location of the existing single-family dwelling and attached garage on the subject property is considered legal non-complying as the dwelling does not meet the aggregate side yard width of 3.6 metres for the One-Family Dwelling and Two-Family Dwelling 'A4' zone of Zoning By-Law Number 8499. The single-family dwelling with an attached garage existed on site since prior to 1975 when Zoning By-Law Number 8499 was adopted. With respect to the new Zoning By-Law Number 2022-062, the existing single-family dwelling does not comply with the minimum aggregate of interior setback of the Urban Residential Zone 9 'UR9' zone, which is 3.6 metres. The aggregate side yard width of the existing dwelling is 3.3 metres. It is proposed to recognize the existing development on the property in order to provide clarity for this minor variance application.

Under Zoning By-Law Number 8499, the development proposal will comply with the One-Family Dwelling and Two-Family Dwelling 'A4' zoning provisions which include the minimum lot area, interior lot width, rear yard width, minimum front yard width, minimum side yard width and the minimum percentage of landscaped open space. Under the new Zoning By-Law Number 2022-062, the proposal will comply with the Urban Residential Zone 9 'UR9' provisions regarding minimum lot area, minimum lot frontage, maximum height, minimum front yard setback, minimum rear setback, minimum interior setback, minimum landscape open space, maximum number of principle buildings per lot and maximum building depth.

The final draft of the City's new Zoning By-Law was approved by Council at its meeting held on April 26, 2022. As this application is scheduled for a Committee of Adjustment meeting

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subsequent to that date, the application has been reviewed against both the current Zoning By-Law Number 8499, as well as the new Zoning By-Law Number 2022-062.

In support of the application, the applicant has submitted the following:

- Site Plan, Floor Plans and Elevation Plans (Exhibit B)

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address”. If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located at 14 Napier Street (Exhibit C – Key Map) and has an area of approximately 625 square metres and approximately 15 metres of frontage on Napier Street. The site is currently developed with a two-storey single-family dwelling and an attached garage. The existing dwelling was constructed in 1940.

The subject property is designated Residential in the Official Plan (Exhibit D – Official Plan Map). The goal of the residential designation is to respond to the housing needs of the City’s citizens by retaining and augmenting a broad range of housing at all levels of affordability within a safe, convenient and stable setting, organized primarily into neighbourhoods. The property is zoned “A4” – One Family Dwelling and Two-Family Dwelling in Zoning By-Law Number 8499 (Exhibit E – Zoning By-Law Number 8499, Map 26) and is zoned “UR9” – Urban Residential Zone 9 in the new Zoning By-Law Number 2022-62 (Exhibit F – new Zoning By-Law Map).

The subject property is located within the Sunnyside neighbourhood (Exhibit G - Neighbourhood Context Map). The surrounding area is predominantly characterized by residential development, consisting mainly of single detached dwellings with some nearby recreational and parkland uses.

Minor Variance Application

The review of an application for minor variance(s) is not a simple mathematical calculation, but rather a detailed assessment of whether the variance(s) requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

Provincial Policy Statement

In addition to the four tests of a minor variance detailed above, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being

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considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

1) The general intent and purpose of the Official Plan are maintained

The subject property is designated Residential in the City of Kingston Official Plan.

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan. The following provides these nine requirements and an assessment of how the proposal is consistent with each.

1. The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

This Strategic Policy Direction Section of the Official Plan is intended to identify clearly the City's primary objectives, its approaches to the protection of built and natural resources, and to development and intensification. The proposed two-storey side addition and one-storey rear addition will not have any negative impacts on abutting properties or residential and/or uses or structures. The proposal will result in a development that is similar in scale, massing and height of existing dwellings along Napier Street and represents a reasonable form of development. The proposal is compatible with the surrounding residential uses and will not result in significant impacts or changes to the immediate area. There will be no impact on built and natural resources.

2. The proposed development will be compatible with surrounding uses, buildings or structures and development standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

The proposed application meets the intent and purpose of Section 2.7 by providing a modest form of redevelopment in a manner that is compatible with the established built form and context of the immediate area.

3. The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

There will be no significant impact to the function of the site in terms of access routes, parking or universal accessibility.

4. The conformity of the proposal to any applicable urban design policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

The property is not designated under Part IV or Part V of the Ontario *Heritage Act*, nor is it adjacent to any designated properties. The proposed development is appropriate for the site and purpose.

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5. If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the protected views shown on Schedule 9 of this Plan, then a heritage impact statement may be required to assist staff to determine if the resulting development is desirable;

The subject property is not listed or designated under the *Ontario Heritage Act*, nor is it adjacent to any designated properties. A Heritage Impact Statement is not required.

6. The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

The subject property is within the urban boundary and the resulting development has adequate municipal water and sewage services.

7. Whether the application and the cumulative impact of the proposed variance would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The proposed variance is considered minor and the development is consistent with the existing built form along Napier Street. Therefore a zoning by-law amendment is not required.

8. The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

The Committee of Adjustment may require additional conditions as it deems appropriate to the approval of the application. There are several recommended conditions of approval associated with the recommendation, as outlined in Exhibit A.

9. The degree to which such approval may set an undesirable precedent for the immediate area.

The proposed development is consistent with the existing built form of the immediate area. It is not anticipated that an undesirable precedent will be set based on the approval of the requested variance. The proposal meets the intent of the Official Plan, as the proposed addition will not result in any negative impacts to adjacent properties or to the neighbourhood.

2) The general intent and purpose of the zoning by-law are maintained

The subject property is zoned One-Family Dwelling and Two-Family Dwelling 'A4' in the City of Kingston Zoning By-Law Number 8499, entitled "Restricted Area (Zoning) By-Law of the Corporation of the City of Kingston", as amended. The A4 zone permits single-family dwellings.

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The subject property is zoned Urban Residential 9 “UR9” in the new Zoning By-Law Number 2022-062, which also permits single family dwellings.

The proposal requires a variance to the following sections:

Variance - Zoning By-Law Number 8499

Variance Number 1: Minimum Aggregate Side Yard Width

By-Law Number: 8499	Section 10.3 (a)(v)(i)
Requirement:	3.6 metres
Proposed:	3.3 metres
Variance Requested:	0.3 metres

Variance - New Zoning By-Law Number 2022-62

Variance Number 1: Minimum Aggregate of Interior Setbacks

By-Law Number 2022-62:	Section 11.10.1, Urban Residential 9 Zone Provisions, Subsection 8
Requirement:	3.6 metres
Proposed:	3.3 metres
Variance Requested:	0.3 metres

Minimum Aggregate Side Yard Width

Under Zoning By-Law Number 8499, a side yard is defined as a yard extending from the front yard to the rear yard and from the side lot line of the lot to the nearest part of any main building or excavation on the lot. The intent of the required minimum side yard and minimum aggregate side yard provisions is to maintain adequate landscaped amenity area, to prevent loss of privacy from intrusive overlook onto neighbouring properties, and to achieve appropriate separation between buildings. Section 10.3(c)(v)(i). of Zoning By-Law Number 8499 indicates that the minimum aggregate side yard width is 3.6 metres for the subject property. Relief from the minimum aggregate side yard width will be required to facilitate the construction of the proposed two-storey side addition and one-storey rear addition.

Minimum Aggregate of Interior Setbacks

Under the new Zoning By-Law Number 2022-062, interior setbacks means the setback between the interior lot line and the nearest part of any building on the lot. Section 11.10.1 Subsection 8 indicates that the minimum aggregate of interior setbacks is 3.6 metres for the subject property.

For clarity purposes and zoning interpretation, the minimum aggregate side yard width and the minimum aggregate of interior setbacks are similar in definition. The proposed development provides an aggregate side yard width or minimum aggregate of interior setback of 3.3 metres, with a 1.58-metre-wide side yard along the northern lot line of the site and a 1.75-metre-wide side yard along the south lot line. Though the proposal complies with the minimum side yards, it does not meet the required minimum aggregate

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side yard width of 3.6 metres. Despite the reduced aggregate yard width, the development will provide appropriate separation from neighbouring properties to the north and south and will not create any privacy issues or intrusive overlook. The proposal will comply with the landscaped open space and the rear yard width provisions of the A4 zone in Zoning By-Law Number 8499 and the UR9 provisions of the new Zoning By-Law Number 2022-62. The proposed reduction in minimum aggregate side yard will result in a development that is compatible in terms of scale and massing with the surrounding area and the existing street.

With respect to Zoning By-Law Number 8499, the proposal will comply with the minimum lot area, interior lot width, rear yard width, minimum front yard width, minimum side yard and the minimum percentage of landscaped open space of the 'A4' zone. Under the new Zoning By-Law Number 2022-062, the proposal will comply with the Urban Residential Zone 9 'UR9' provisions regarding minimum lot area, minimum lot frontage, maximum height, minimum front yard setback, minimum rear setback, minimum interior setback, minimum landscape open space, maximum number of principle buildings per lot and maximum building depth.

The general intent and purpose of the zoning by-law are maintained.

3) The variance is minor in nature

The variance is considered minor as there will be no negative impacts on abutting properties or residential and/or uses or structures. The use of the property as a single-family dwelling will remain unchanged. The requested variance will result in a development that is consistent with the existing built form of residential development along Napier Street. There will be no impacts to the existing streetscape.

4) The variance is desirable for the appropriate development or use of the land, building or structure

The use of the property as a single-family dwelling is consistent with the Residential designation in the Official Plan. The proposed two storey addition to the rear of the garage and the one-storey rear addition will create additional living space which will meet the functional needs for residents. The proposed development represents a modest form of development. The proposal is appropriate and compatible with the surrounding residential uses and will not result in significant impacts or changes to the immediate area.

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Technical Review: Circulated Departments and Agencies

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance | <input checked="" type="checkbox"/> Utilities Kingston | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue | <input type="checkbox"/> Kingston Hydro | <input type="checkbox"/> City’s Environment Division |
| <input checked="" type="checkbox"/> Solid Waste | <input type="checkbox"/> Parks Development | <input type="checkbox"/> Canadian National Railways |
| <input type="checkbox"/> Housing | <input checked="" type="checkbox"/> District Councillor | <input type="checkbox"/> Ministry of Transportation |
| <input type="checkbox"/> KEDCO | <input type="checkbox"/> Municipal Drainage | <input type="checkbox"/> Parks of the St. Lawrence |
| <input type="checkbox"/> CRCA | <input type="checkbox"/> KFL&A Health Unit | <input type="checkbox"/> Trans Northern Pipelines |
| <input type="checkbox"/> Parks Canada | <input type="checkbox"/> Eastern Ontario Power | <input type="checkbox"/> CFB Kingston |
| <input type="checkbox"/> Hydro One | <input type="checkbox"/> Enbridge Pipelines | <input type="checkbox"/> TransCanada Pipelines |
| <input type="checkbox"/> Kingston Airport | | |

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment. The property is located within an Area of Composite Archaeological Potential as indicated in the City of Kingston Archaeological Master Plan. An Archaeological Report is not required as the proposed building footprint is marginally larger than what currently exists and the site is already fairly disturbed as a result of the construction of the existing dwelling. Any further technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Public Comments

At the time this report was finalized, one piece of correspondence has been received in support of the application have been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

There are no concurrent or relevant historic planning applications on the subject property.

Conclusion

The requested variance maintains the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law Number 8499. The proposed development is desirable for the appropriate development or use of the land, building or structure and the requested variance is minor in nature. The proposal will not result in undue adverse impacts on the surrounding properties and neighbourhood. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act*, and the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will allow for the construction of a two-storey side addition and a one-storey rear addition onto the existing single-family dwelling on the subject property.

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Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Provincial Policy Statement, 2020

Municipal

City of Kingston Official Plan

Zoning By-Law Number 8499

New Zoning By-Law Number 2022-062

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on May 16, 2022. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 30 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard (Exhibit H – Public Notification).

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Annemarie Eusebio, Intermediate Planner, 613-546-4291 extension 3183

Other City of Kingston Staff Consulted:

None

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Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Site Plan, Floor Plans and Elevations
- Exhibit C Key Map
- Exhibit D Official Plan Map
- Exhibit E Zoning By-Law Number 8499, Map 26
- Exhibit F New Zoning By-Law Map
- Exhibit G Neighbourhood Context (2021)
- Exhibit H Public Notification
- Exhibit I Site Photo

Recommended Conditions

Application for minor variance File Number D13-016-2022

Approval of the foregoing application shall be subject to the following recommended conditions:

1. Limitation

That the approved minor variance applies only to the minimum aggregate side yard width as shown on the approved drawings attached to the notice of decision.

2. No Adverse Impacts

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. Building Permit Application Requirements

The owner/applicant shall provide to the Building Division a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings.

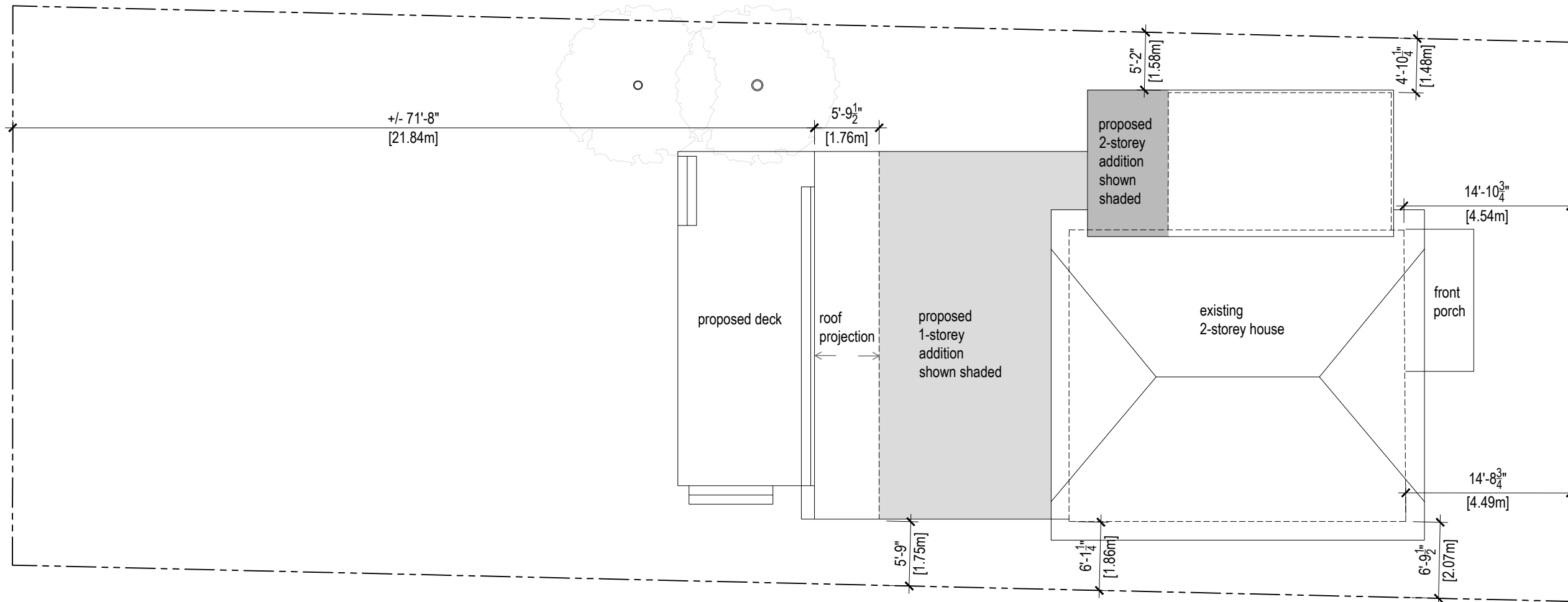
The drawings submitted with the building permit application must, in the opinion of the City, conform to the general intent and description of the approved drawings, including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. Additional variances may be required should further zoning deficiencies be identified through the Building Permit application process.

4. Standard Archaeological Condition

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132) and the City of Kingston's Planning Services Department (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries at the Ministry of Government and Consumer Services (416-326-8404), the Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132), and the City of Kingston's Planning Services Department (613-546-4291, extension 3180) must be immediately contacted.

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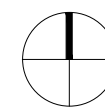


Survey Information

Survey By: Smith & Smith Ontario Land Surveyors

Lot 9 Architects

17 Colborne Street
Kingston, ON K7K 1C5
T: 613-766-8776



Project:

Collins House

Address: 14 Napier Street, Kingston

Project No.: 2005

Date: March 25, 2022

Drawing:

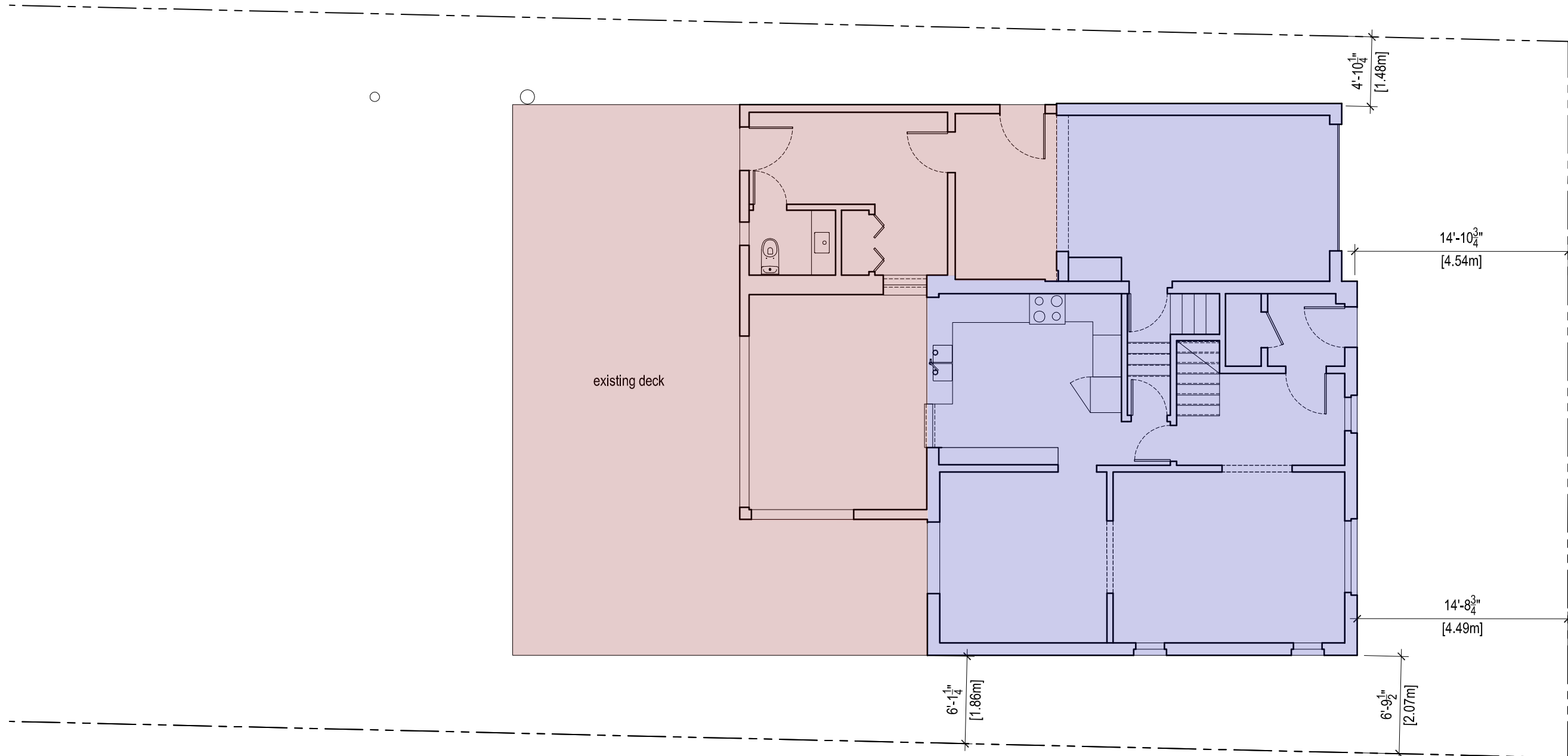
Site Plan

Proposed

Drawing No.:

A01

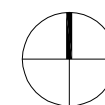
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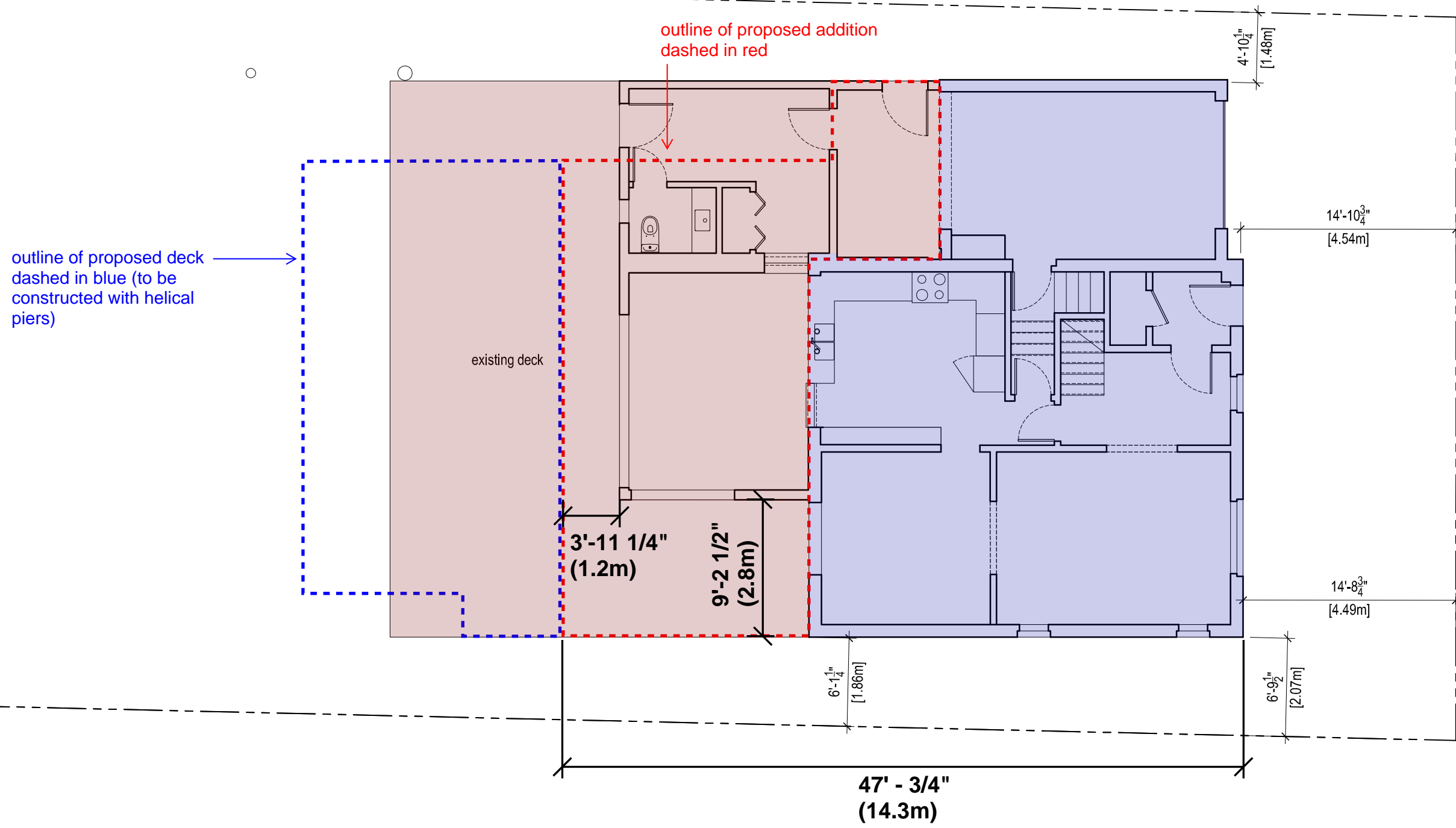
Lot 9 Architects
 17 Colborne Street
 Kingston, ON K7K 1C5
 T: 613-766-8776



Project:
Collins House
 Address: 14 Napier Street, Kingston
 Project No.: 2005
 Date: March 25, 2022

Drawing:
**Ground Floor Plan
 Existing**
 Scale @ 11x17: 1/8" = 1'-0"

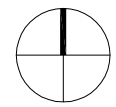
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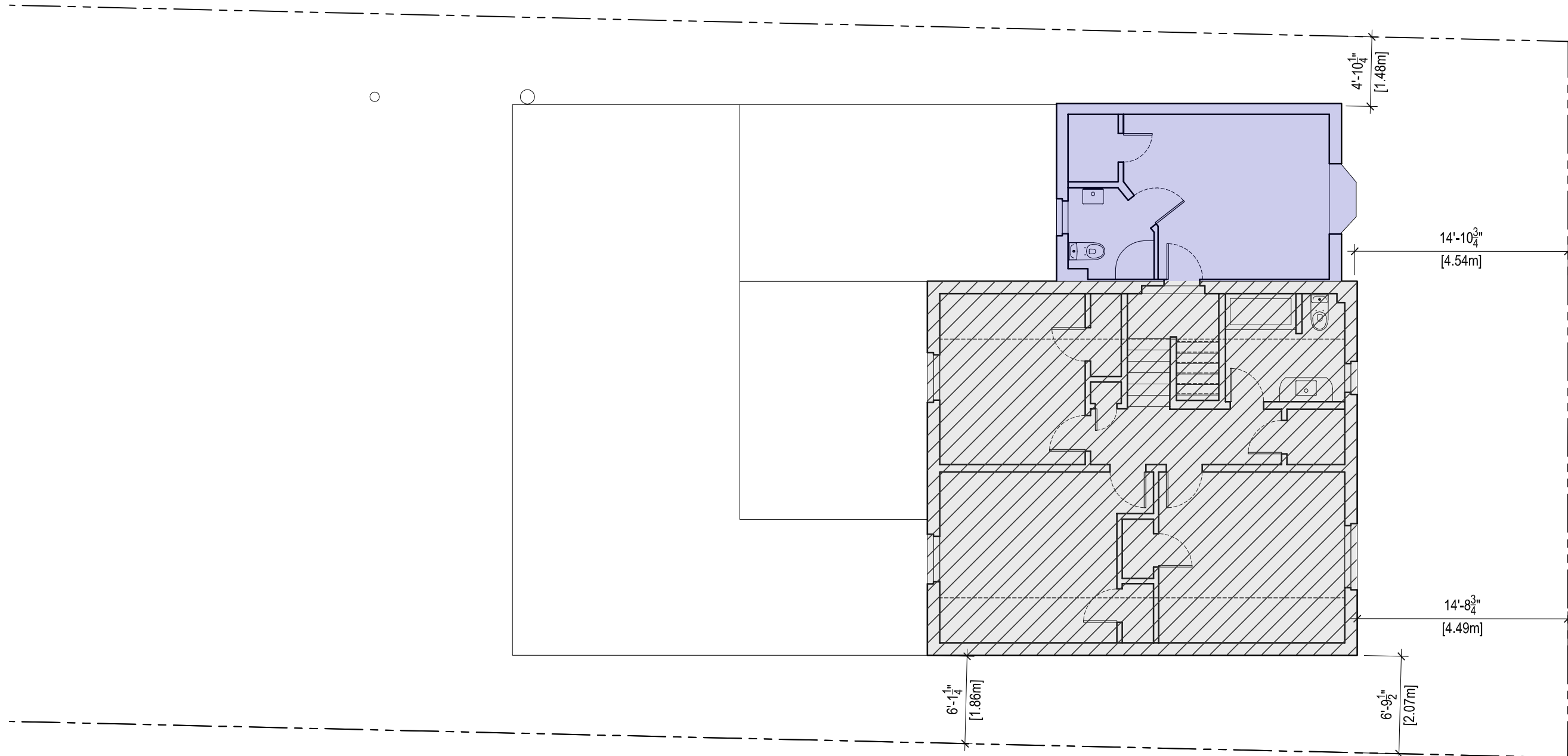
Lot 9 Architects
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Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
Ground Floor Plan Existing
Scale @ 11x17: 1/8" = 1'-0"

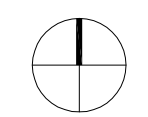
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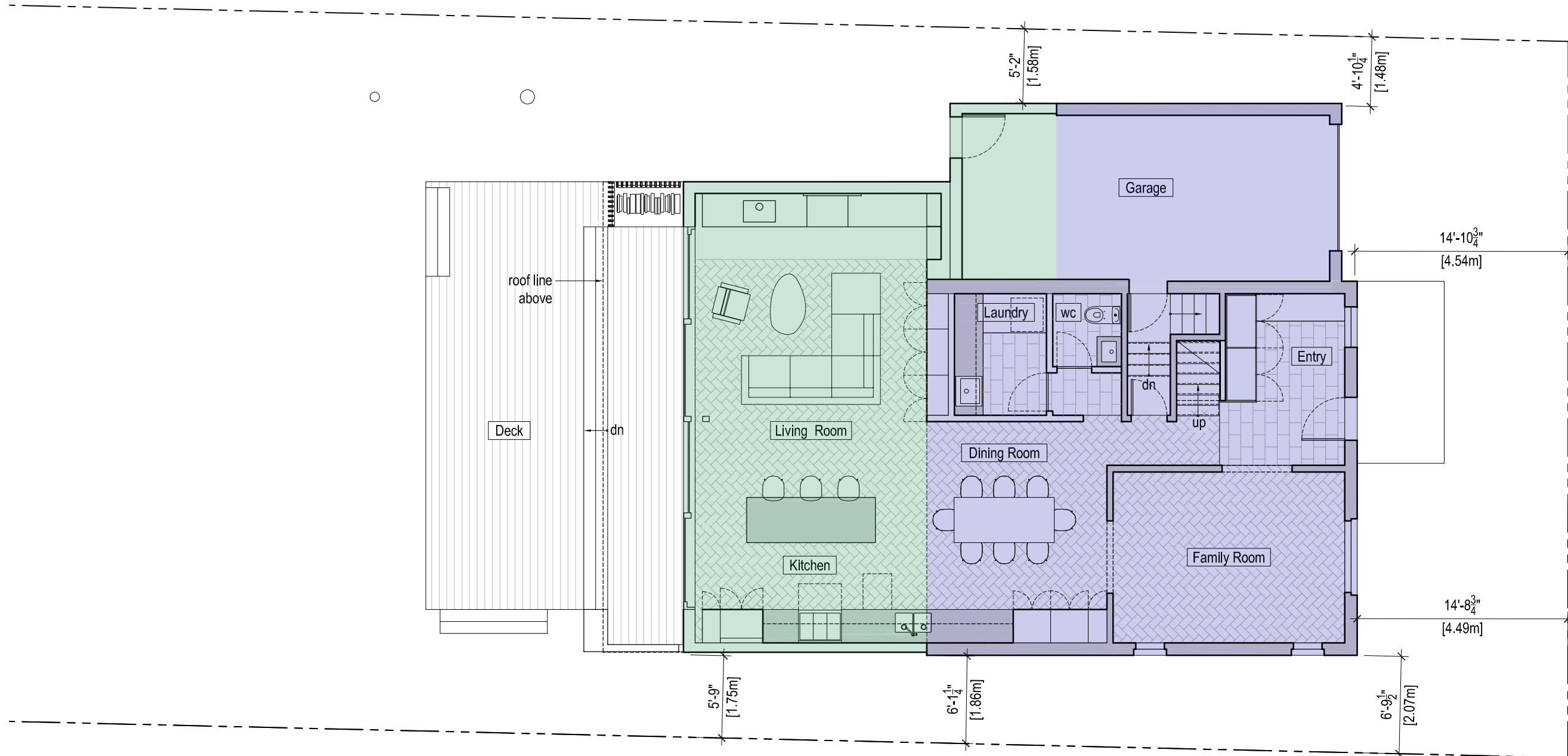
Lot 9 Architects
17 Colborne Street
Kingston, ON K7K 1C5
T: 613-766-8776



Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Second Floor Plan
Existing**
Scale @ 11x17: 1/8" = 1'-0"

Drawing No.:
A03

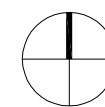


 ADDITION
 RENOVATION

 EXISTING TO REMAIN

Lot 9 Architects

17 Colborne Street
Kingston, ON K7K 1C5
T: 613-766-8776

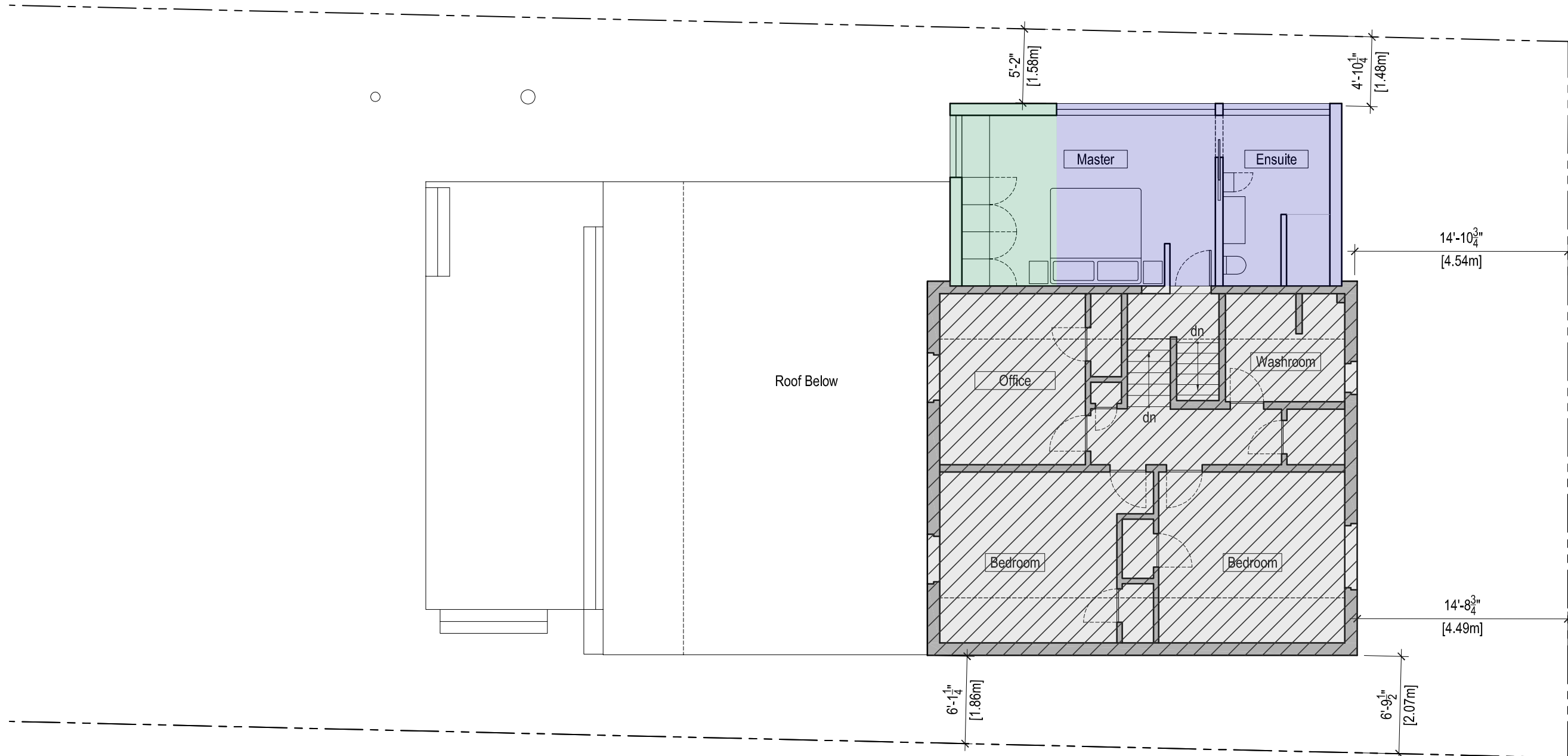



Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Ground Floor Plan
Proposed**

Drawing No.:
A04

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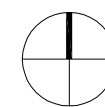


 ADDITION
 RENOVATION

 EXISTING TO REMAIN

Lot 9 Architects

17 Colborne Street
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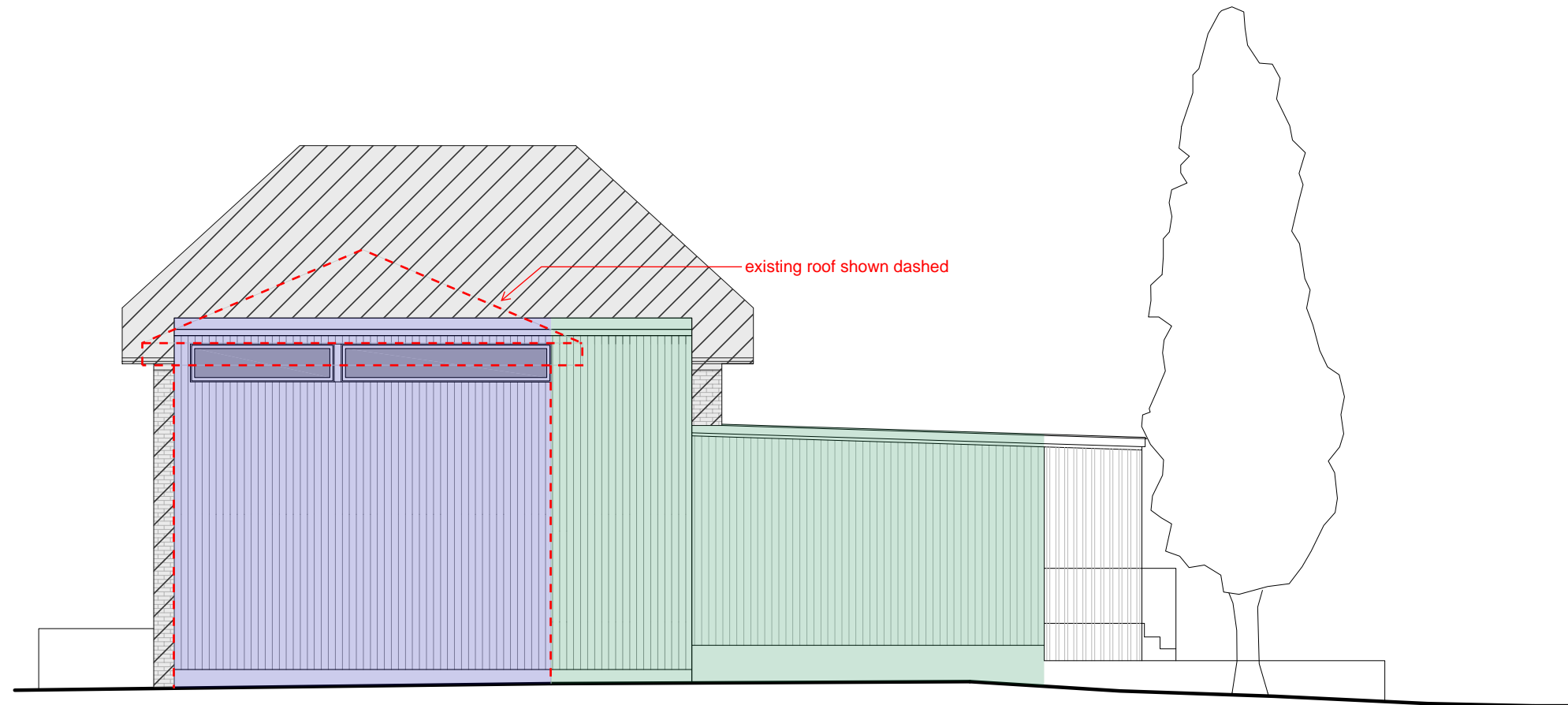




Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Second Floor Plan
Proposed**

Drawing No.:
A05

Scale @ 11x17: 1/8" = 1'-0"



 ADDITION
 RENOVATION

 EXISTING TO REMAIN

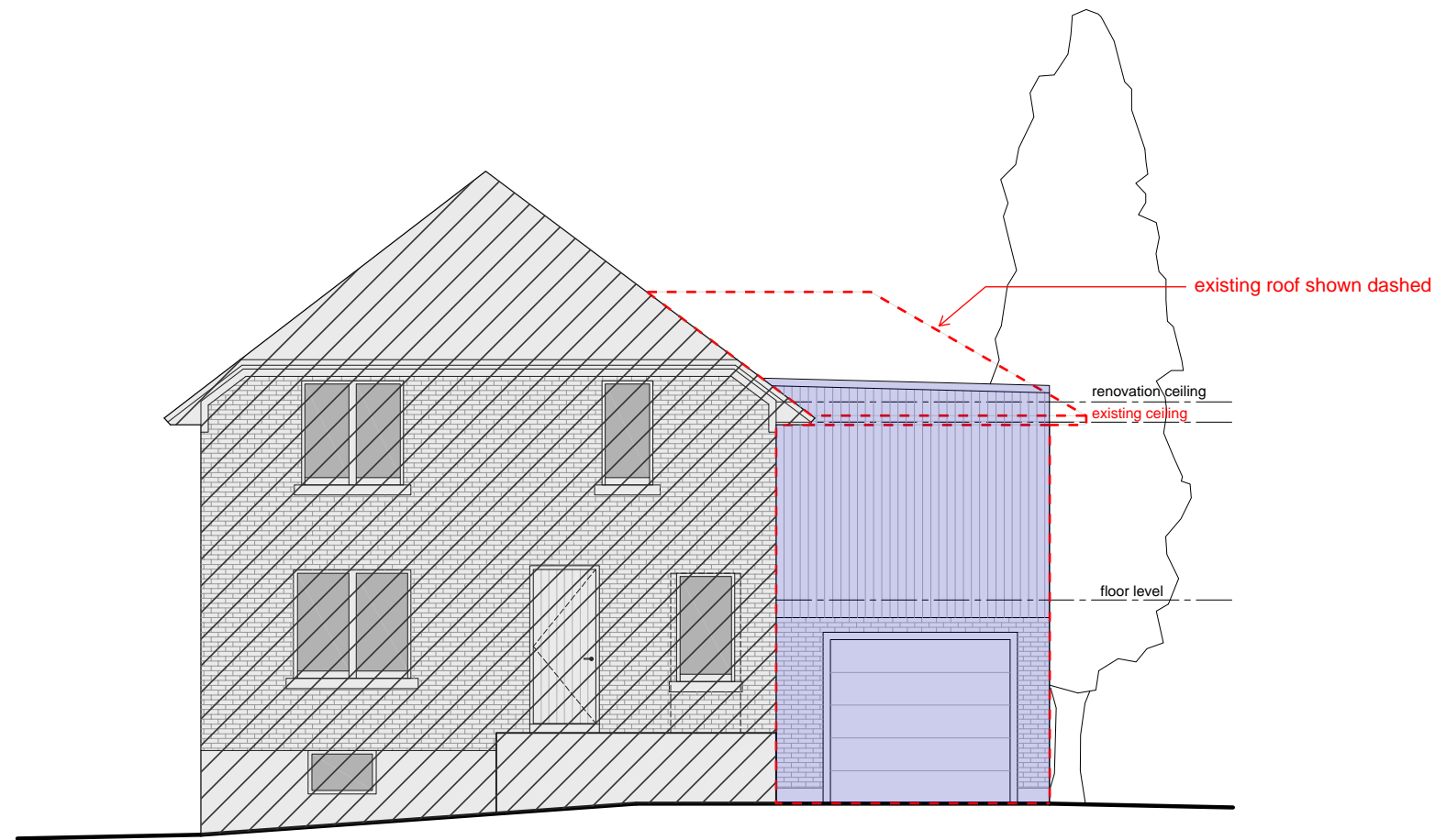
Lot 9 Architects

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T: 613-766-8776

Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Exterior Elevations
Proposed - North**
Scale @ 11x17: 1/8" = 1'-0"

Drawing No.:
A06



ADDITION

RENOVATION

EXISTING TO REMAIN

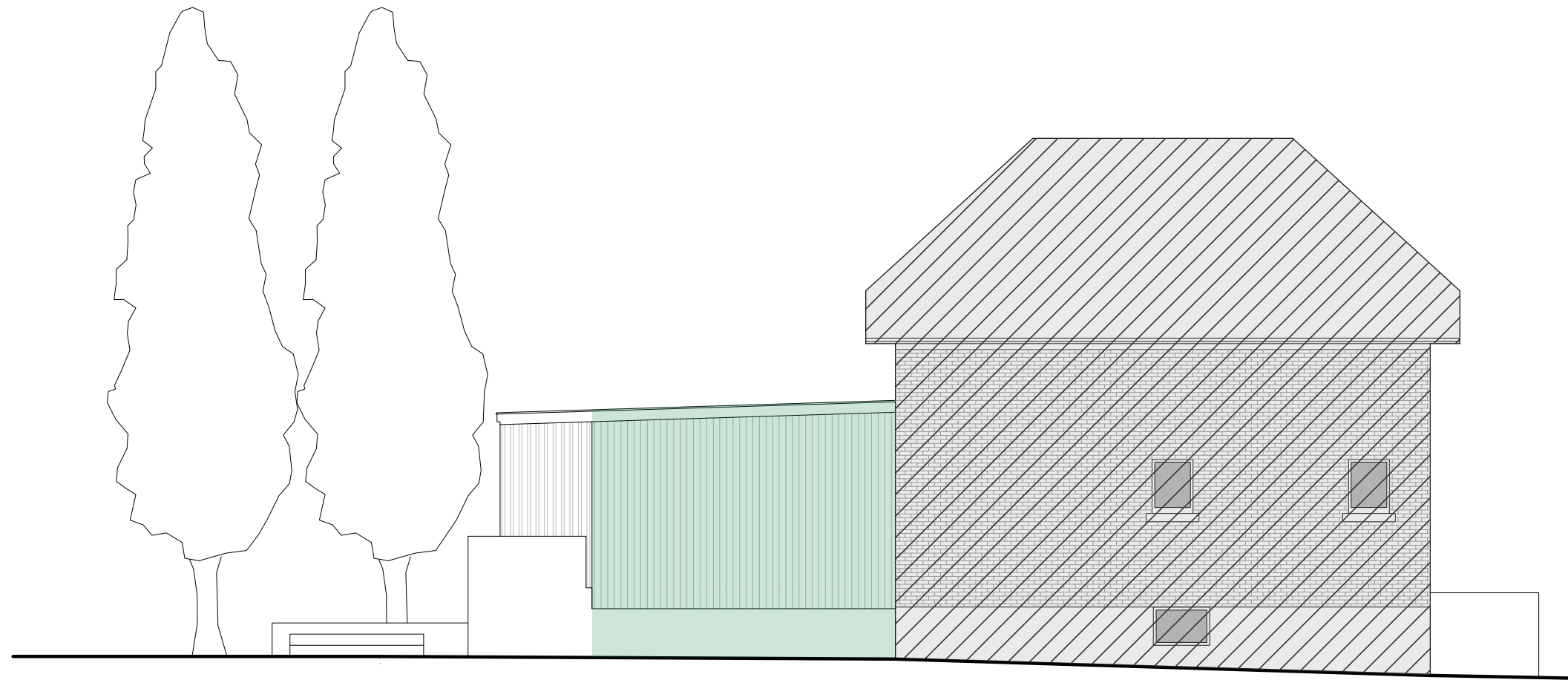
Lot 9 Architects

17 Colborne Street
Kingston, ON K7K 1C5
T: 613-766-8776

Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Exterior Elevations
Proposed - East**
Scale @ 11x17: 1/8" = 1'-0"

Drawing No.:
A07



 ADDITION

 EXISTING TO REMAIN

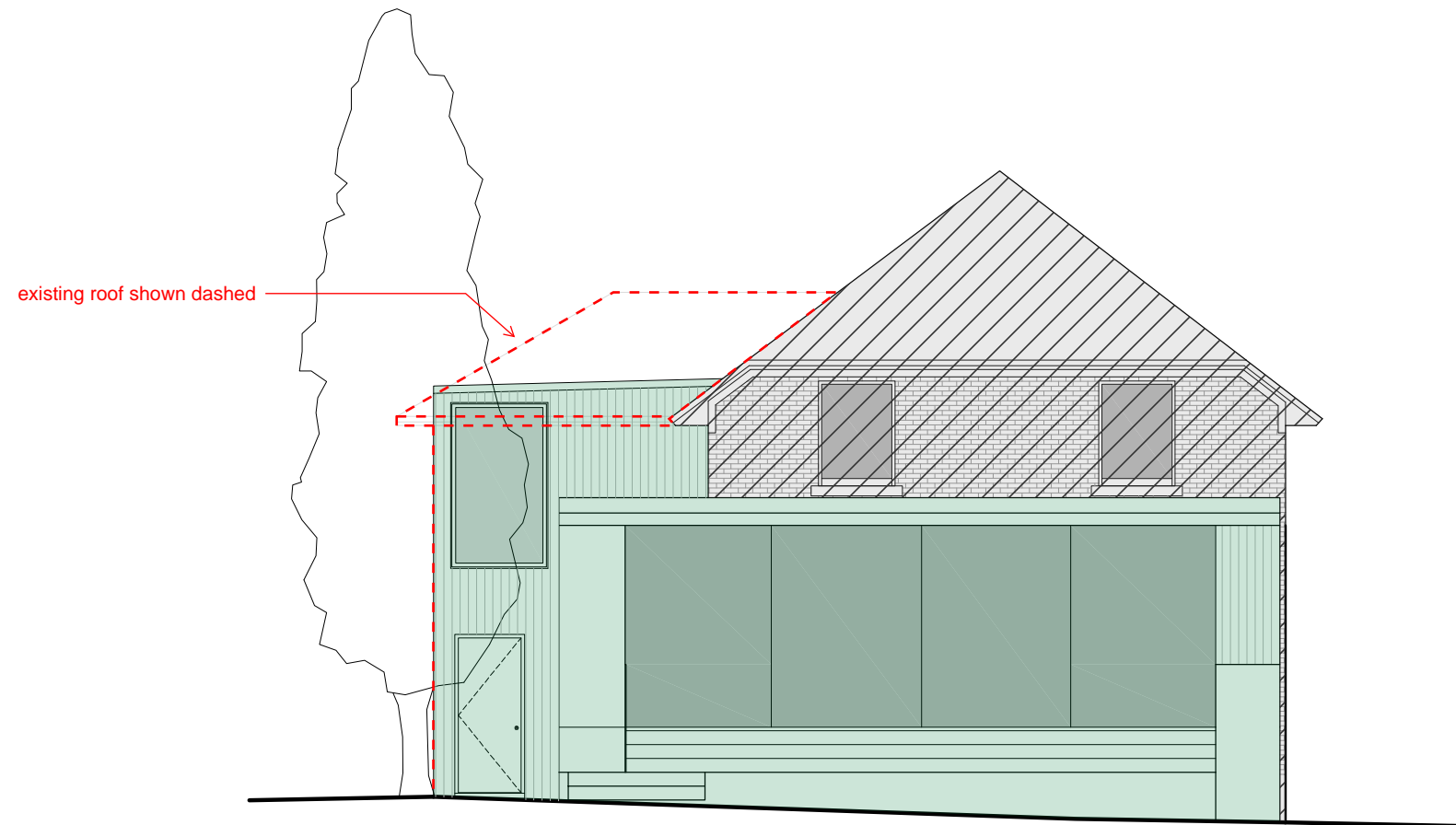
Lot 9 Architects

17 Colborne Street
Kingston, ON K7K 1C5
T: 613-766-8776

Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Exterior Elevations
Proposed - South**
Scale @ 11x17: 1/8" = 1'-0"

Drawing No.:
A08



 ADDITION

 EXISTING TO REMAIN

Lot 9 Architects

17 Colborne Street
Kingston, ON K7K 1C5
T: 613-766-8776

Project:
Collins House
Address: 14 Napier Street, Kingston
Project No.: 2005
Date: March 25, 2022

Drawing:
**Exterior Elevations
Proposed - West**
Scale @ 11x17: 1/8" = 1'-0"

Drawing No.:
A09




Planning Services

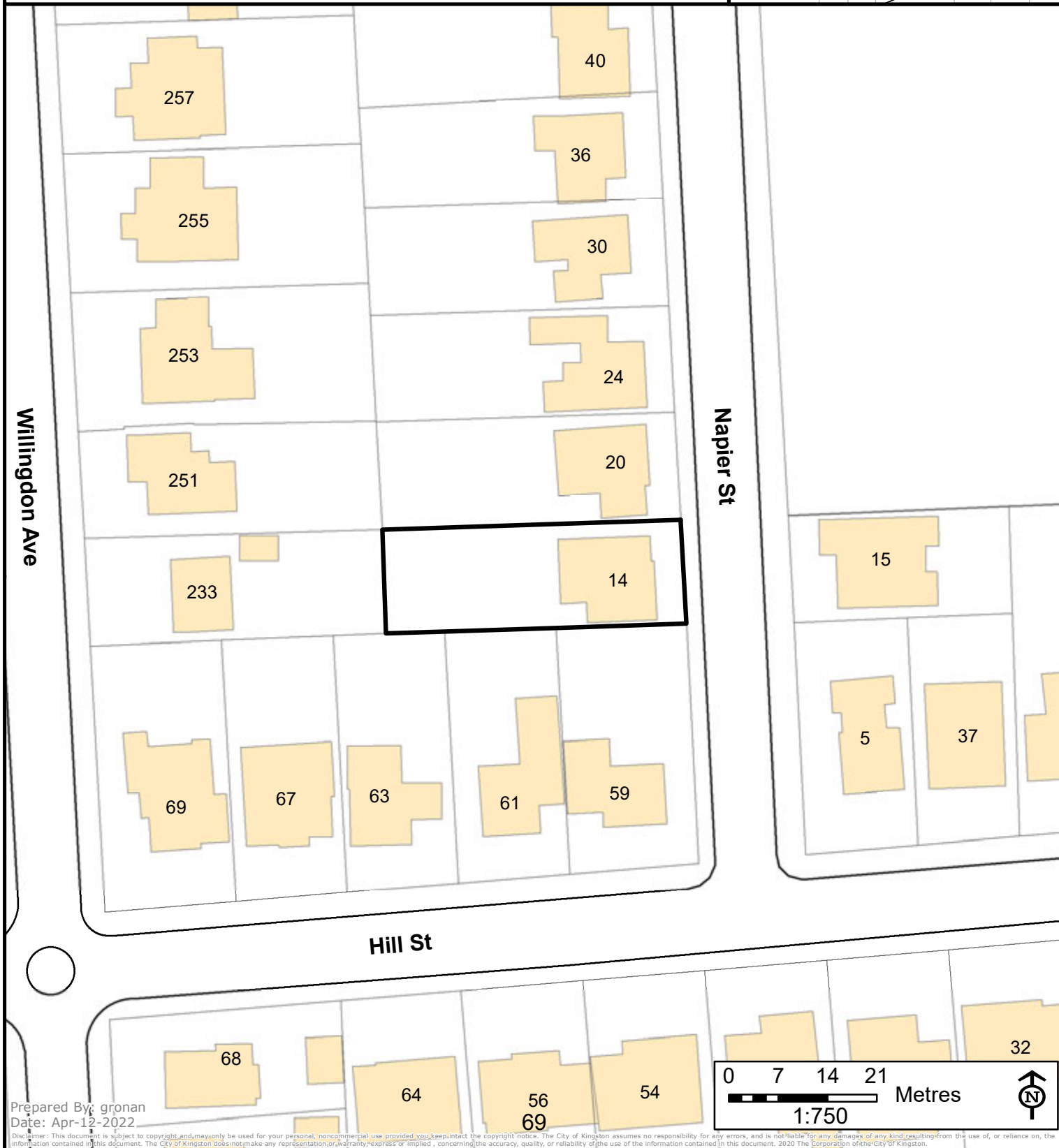
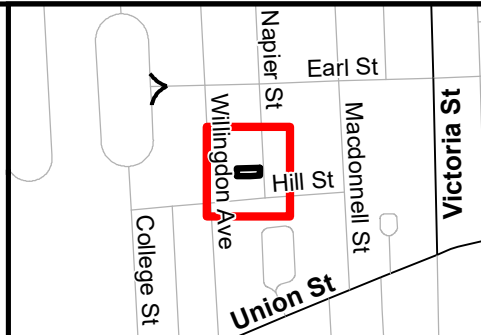
Committee of Adjustment

Key Map

Address: 14 Napier St

File Number: D13-016-2022

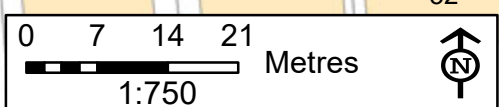
 Lands Subject to Minor Variance



Wellington Ave

Napier St

Hill St






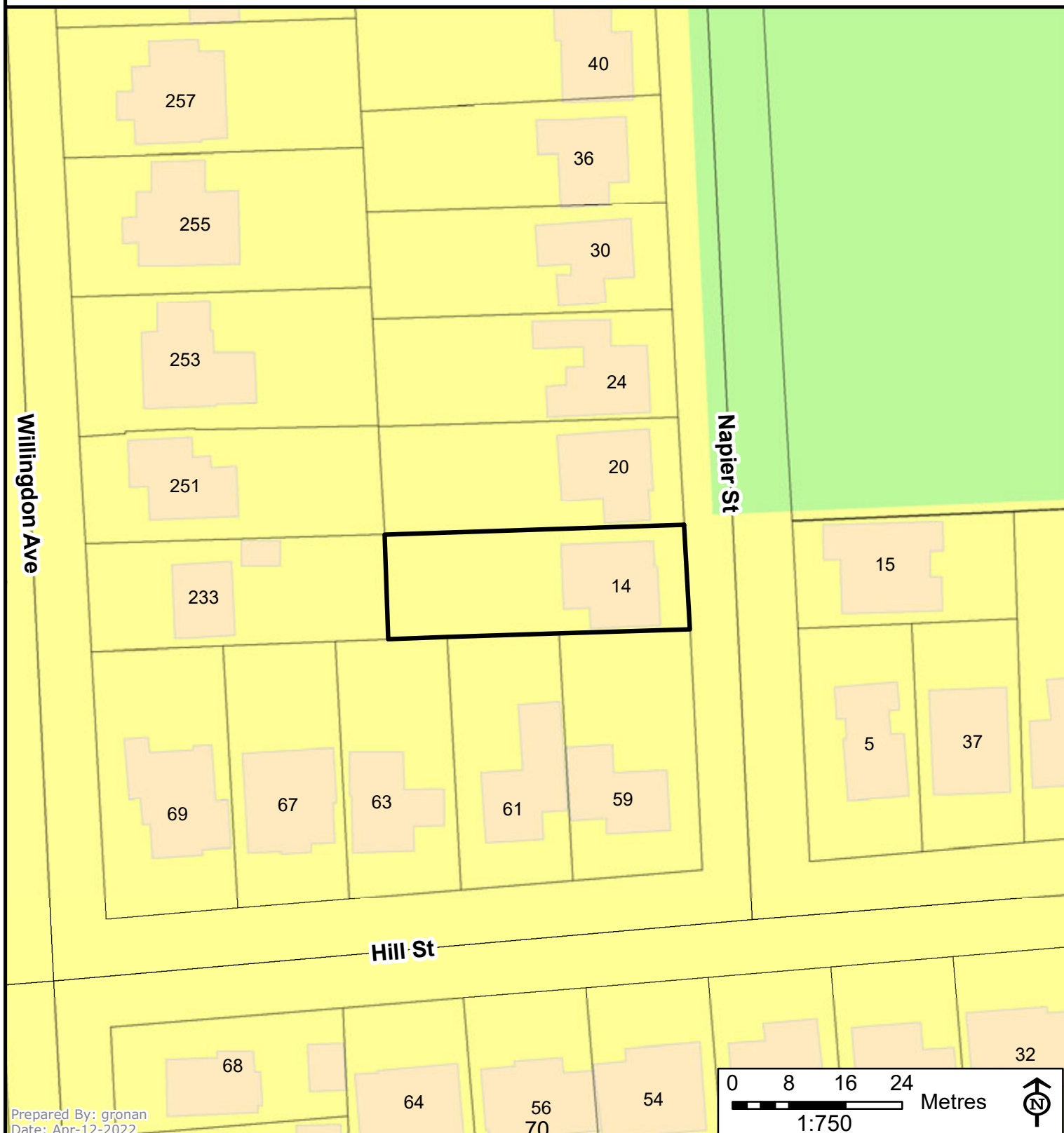


Planning Services

Committee of Adjustment Official Plan, Existing Land Use

Address: 14 Napier St
File Number: D13-016-2022

-  Subject Lands
-  OPEN SPACE
-  RESIDENTIAL





Committee of Adjustment
Existing Zoning - By-law 8499, Map 26
Address: 14 Napier St
File Number: D13-016-2022

- Subject Lands
- Consolidated Zoning








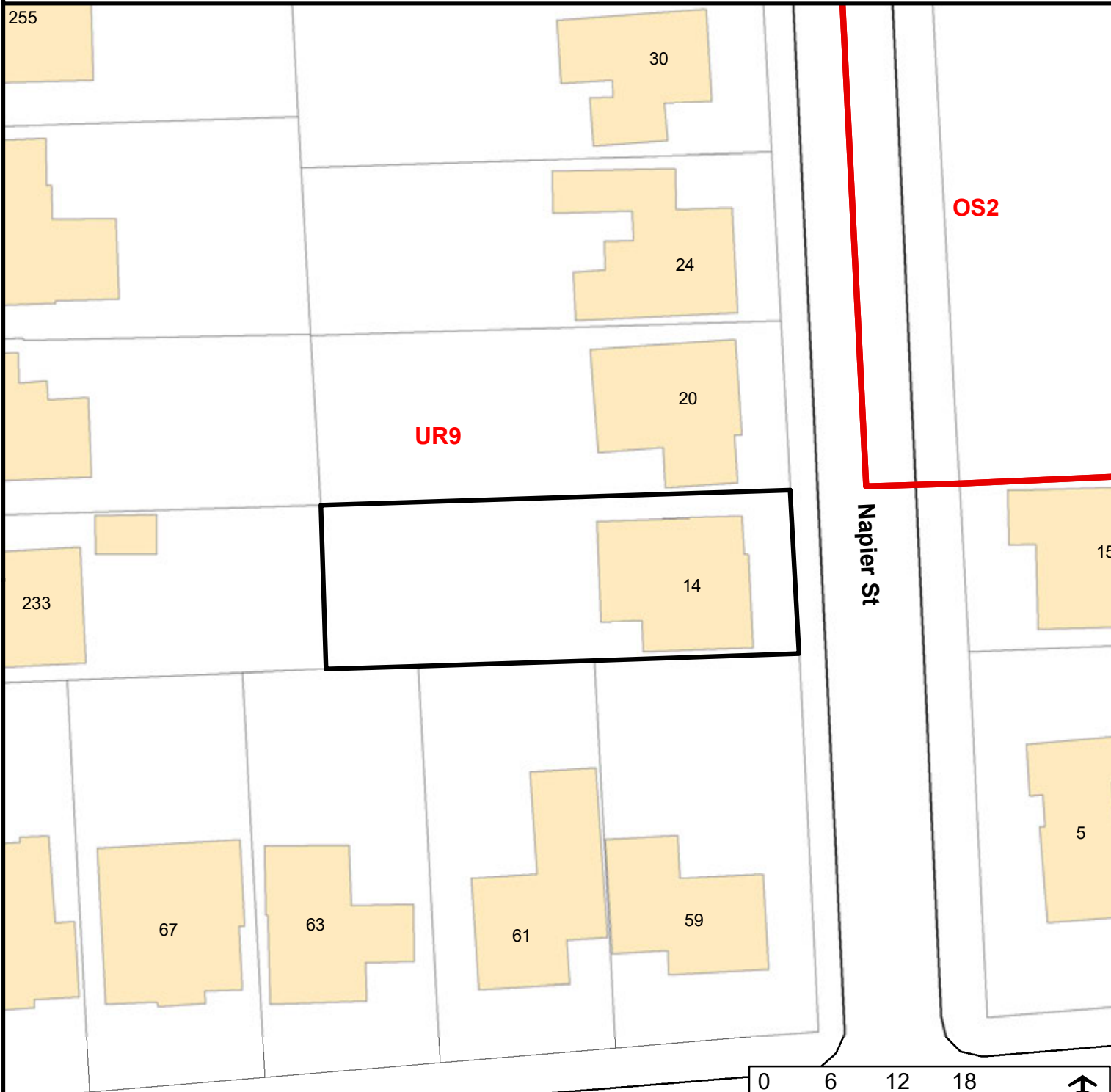


Planning Services

CITY OF KINGSTON Reference Kingston Zoning Bylaw

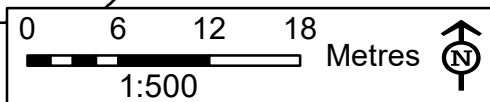
File Number: D13-016-2022
Address: 14 Napier Street

-  Subject Lands
- Schedule 1 Zoning Map
-  Zone
- Schedule E - Exception Overlay
-  Legacy Exceptions (LXXX)
-  Exceptions (EXXX)
- Schedule F - Holding Overlay
-  Holding Overlay (HXXX)



Prepared By: gronan
Date: May-03-2022

72 Hill St



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Committee of Adjustment
Neighbourhood Context (2021)

Address: 14 Napier St
File Number: D13-016-2022

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: gronan
Date: Apr-12-2022





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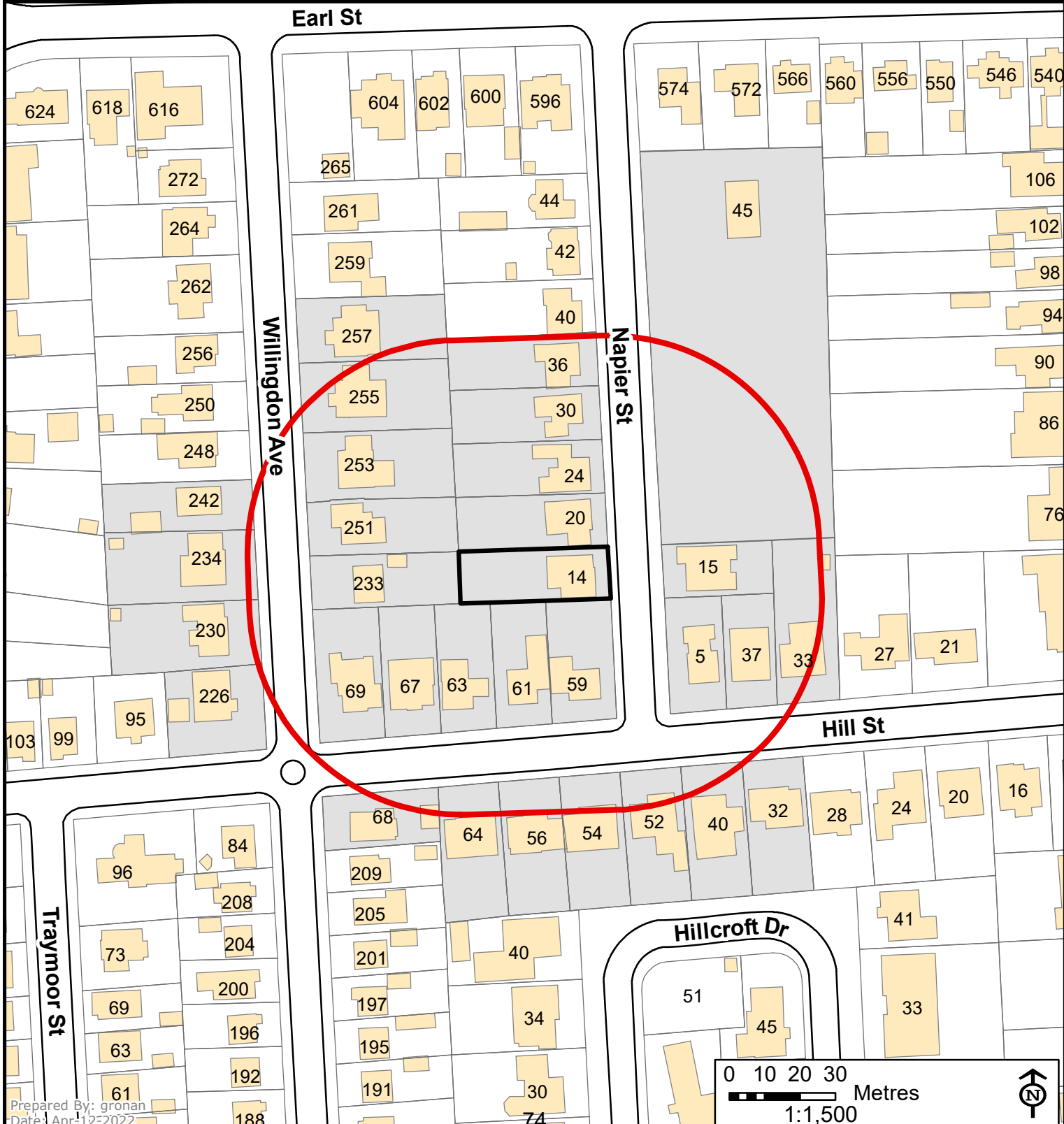


Planning Services

Committee of Adjustment Public Notice Notification Map

Address: 14 Napier St
File Number: D13-016-2022

-  60m Public Notification Boundary
-  Subject Lands
-  Property Boundaries
-  30 Properties in Receipt of Notice (MPAC)



Prepared By: gron
Date: Apr-12-2022

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Site Photo

