
**The Barriefield
Heritage Conservation District
Plan Review**

**THE BARRIEFIELD
HERITAGE CONSERVATION DISTRICT PLAN**

PART II: APPENDICES

MAY, 1992

Prepared for
The Corporation of the
Township of Pittsburgh

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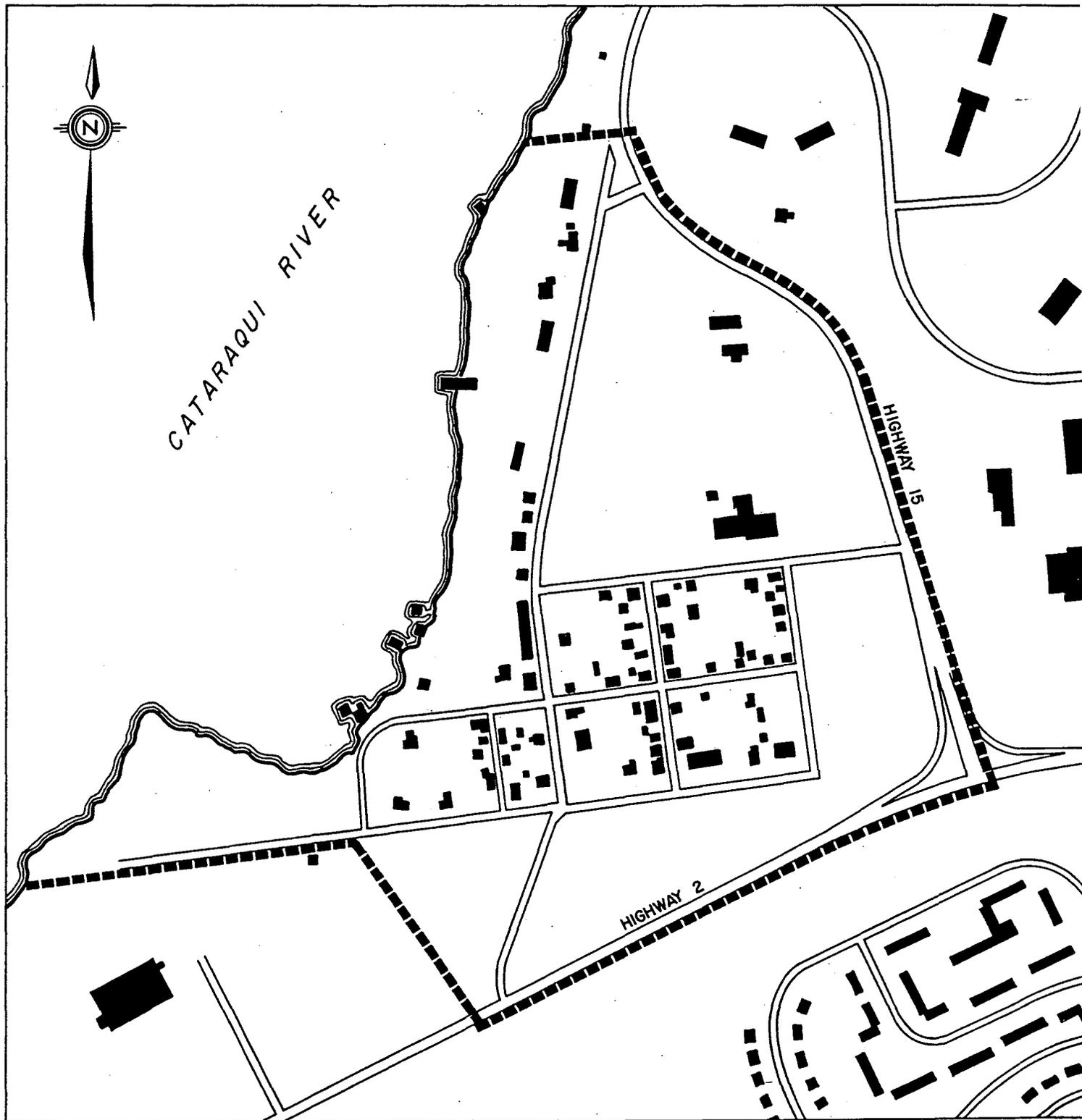
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APPENDIX 1: Introduction



----- - DISTRICT BOUNDARY

BARRIEFIELD HERITAGE CONSERVATION DISTRICT

DESIGNATING BY-LAW APPROVED - OMB 1981

1.0 INTRODUCTION

1.1 Background

The Barriefield Village Heritage Conservation District Study completed in 1978 and enacted by the Township of Pittsburgh in 1979 was one of this Province's first designated heritage districts. Although in the years since its adoption it has successfully contributed to the preservation of the village, the municipality now feels that a review of the original district plan is required in order to meet the changing needs and environment of the community.

Unterman McPhail Cuming Associates was engaged to review and amend the present district plan in order to provide a more precise and updated guide for the Township of Pittsburgh in conserving Barriefield.

1.2 Purpose of Appendices

These appendices provide background information upon which the amended heritage conservation district plan was based.

Appendix 2 describes the historical context of the Barriefield heritage conservation district study.

Appendix 3 contains the results of the historical building survey and Appendix 4 describes the building condition survey.

Appendix 5 constitutes the landscape review of the district and Appendix 6 describes the heritage plan and policies that affect the district.

Appendix 7 consists of case studies showing how additions can be accommodated on heritage properties.

APPENDIX 2: Historical Context

2.0 HISTORICAL CONTEXT

2.1 Introduction

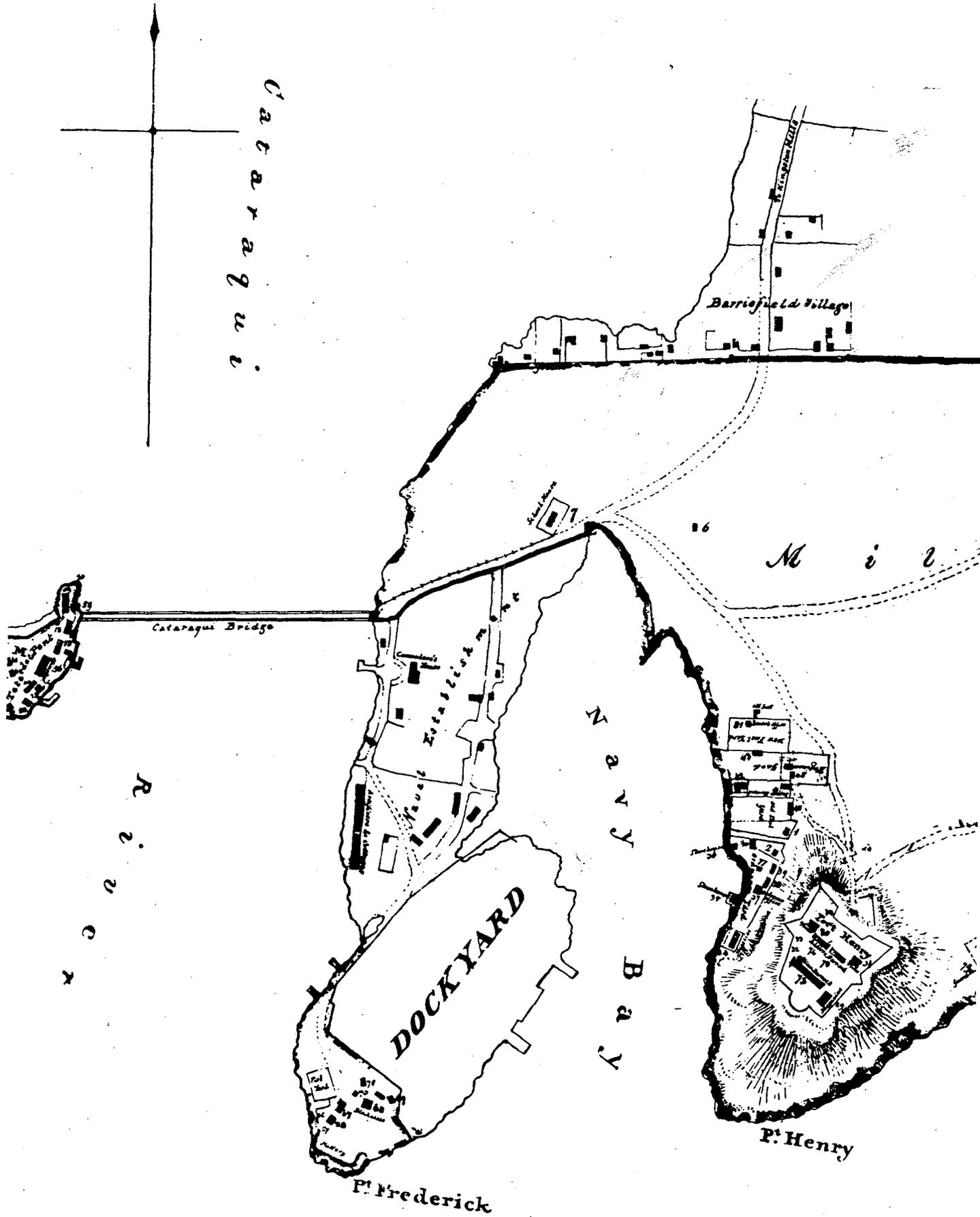
This section of the appendices documents the historical growth and development of Barriefield.

2.2 Early Township Development

The first European presence in the Pittsburgh Township area was established in 1673 by Count Frontenac when a French post was built on the west side of the Cataraqui River. The post was used by the French for fur-trading and as a link in a network of French forts leading from Montreal into the interior of North America. Cataraqui or Fort Frontenac never became a settled community and was eventually captured by the British in 1758 and subsequently abandoned.

In 1783 the British decided to establish a new military and naval base on the site of the former French fort. Although recommendations were made to establish the base on the east side of the harbour in rear of Point Frederick, docks were built on the west side and Kingston and Kingston Township grew up on the west river bank. The land on the east side of the river remained undeveloped at this time.

Beginning in 1784, the Loyalists who began to arrive in the area were settled west of the Cataraqui River. A military wharf was built on the east side of Point Frederick in 1784 and in 1788 it became a naval dockyard. Due to the lack of available settlement land, the lots on the east side of the Cataraqui River were laid out and granted by 1786. There were two distinct sets of lots in the survey of the east side consisting of twenty-three river lots plus the Gore. This section was named "Lots East of Great Cataraqui River" (EGCR). The five lots east of the Military Reserve were called "Lots Adjoining the Military Reserve" (AMR). Barriefield was eventually established on EGCR L21.



2.3 Settlement and Growth: 1814-1850

With increased activity at the Naval Dockyard due to the War of 1812 and the resulting need for developable land nearby for housing, Richard Cartwright, the original grantee of the Lot 21 EGCR, decided to divide the westerly portion of his land into two acre town lots. Located to the north of Point Frederick on the high table land above the Cataraqui, the survey was based on a plan of three streets running east-west and three streets running north-south. This provided thirteen lots of four-fifths of an acre in the survey as well as two industrial lots of two and six acres on the water front. Most of the individual lots were sold by July 1814 and a few houses were built immediately forming the nucleus of Barriefield village.

Named in 1820 after Commodore Barrie, the new settlement was already serviced by two roads. The Front Road (later Highway 2) which was established in 1790 passed through Barriefield and connected the first settled lots along the St. Lawrence. The Point Road (later Highway 15) ran from Kingston Mills to Point Frederick. Communication with Kingston, however, was severely hampered by the lack of a bridge over the Cataraqui. Although a military ferry service was available between Fort Frontenac and Point Frederick, civilian service was limited to a few small boats for foot passengers until 1817. In that year, an improved civilian service which carried horses and a carriage as well as foot passengers was opened. It was operated by William Baker owner of Barriefield House until 1827. In 1829 the Cataraqui Bridge Co. completed a new bridge greatly assisting the development of Barriefield and Pittsburgh Township and making the Point Road through Barriefield a much more important route through the township to Kingston.

Although a few dwellings had been built prior to 1820 - including Barriefield House - the next decade saw a much more rapid period of growth for the community. Several taverns are known to have been established during the 1820s including Morton's Tavern (246 & 248 James St.); the Richmond Tavern (217 Main St); and the Pittsburgh House (223 Main St.). Most houses tended to be one storey frame buildings with some stone structures and were generally built across the width of the street frontage. By 1830 Barriefield had twenty buildings, mostly located along Main Street and James Street to Green Bay.¹

¹ Patterson, William J. , *Lilacs and Limestone*, p. 73.

■ Stone Buildings

■ Brick D°

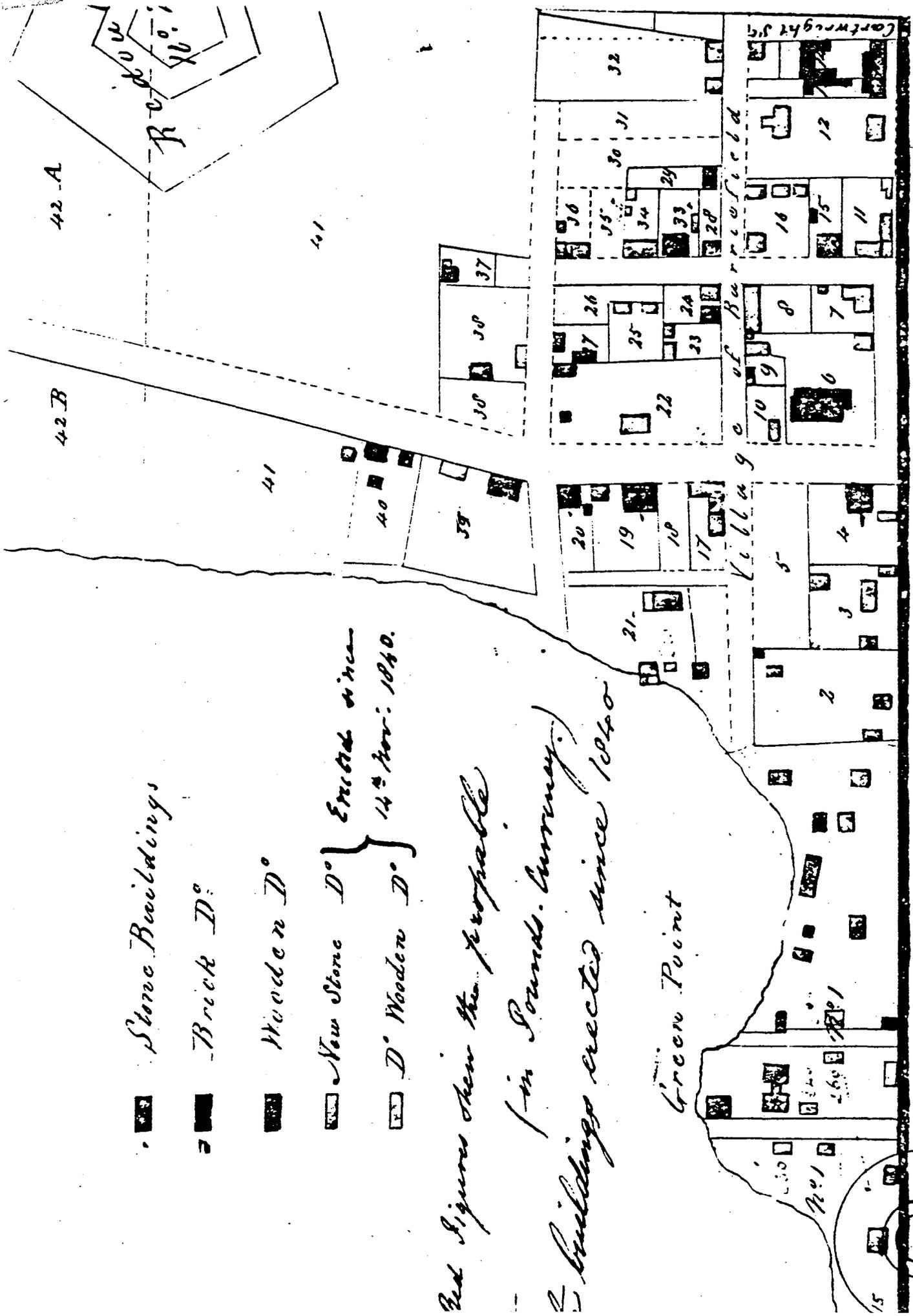
■ Wooden D°

■ New Stone D° } Erected since

■ D° Wooden D° } 14th Nov: 1840.

Red Figures show the probable
in Souds. Curruway.
Buildings erected since 1840

Green Point



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Village of Burfield

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In 1828 John McLean had his town lot bounded by Wellington Street, Regent Street, Main Street and Green Bay surveyed by William H. Kilborn and subdivided. The survey provided for a cross street from Regent to Wellington below Main Street with a row of five parallel lots on either side. The boundaries of the cross street were marked at the lot lines by stone monuments, some of which still exist today. The cross street provided access to the properties on either side of the lane and more importantly a route to the waterfront at the end of Wellington Street. Due to the steep nature of the slope of the land towards the water from Main Street, the buildings on the east lots were oriented across the width of the lot towards Main St. and the waterfront development - which was generally associated with the boat-building business - was oriented towards the water.

The only waterfront areas open to the public were at the foot of Regent and Wellington Streets. This cross street or lane provided a route which by-passed the steep incline of both Wellington and Regent Streets to the waterfront and the wharf at the foot of Wellington St. This route seems to have been established at an early date in village history and possibly pre-dates the 1828 survey. Although depicted in numerous maps of Barriefield throughout the 1800s, it was not shown on Registered Plan 51 of Barriefield, 1870, probably because it was based upon the 1814 Cartwright survey. It was closed as a right-of-way in 1967. Sharman's Lane, which still exists today below Main street running between Regent and James Streets, was dedicated as a public lane in 1842 although it also was not shown on the 1870 Registered Plan of Barriefield.

A school was established as early as 1819 on the lower portion of the common and continued to operate until 1850. The boat-building business was opened by the Knapp family on the waterfront in 1832 and an annual Barriefield regatta was established in 1833. The Knapp house was built on lots six and seven near the waterfront.

The construction of Fort Henry which began in 1832 resulted in a demand for more housing in the immediate vicinity and thus continued to push Barriefield's building boom into the 1830s. By 1840s this boom subsided due to the lack of available land to develop. St. Marks Anglican Church was completed in 1844. The village had reached its present size.

BARRIEN

PITTSBURGH

Scale 8 chains to an inch

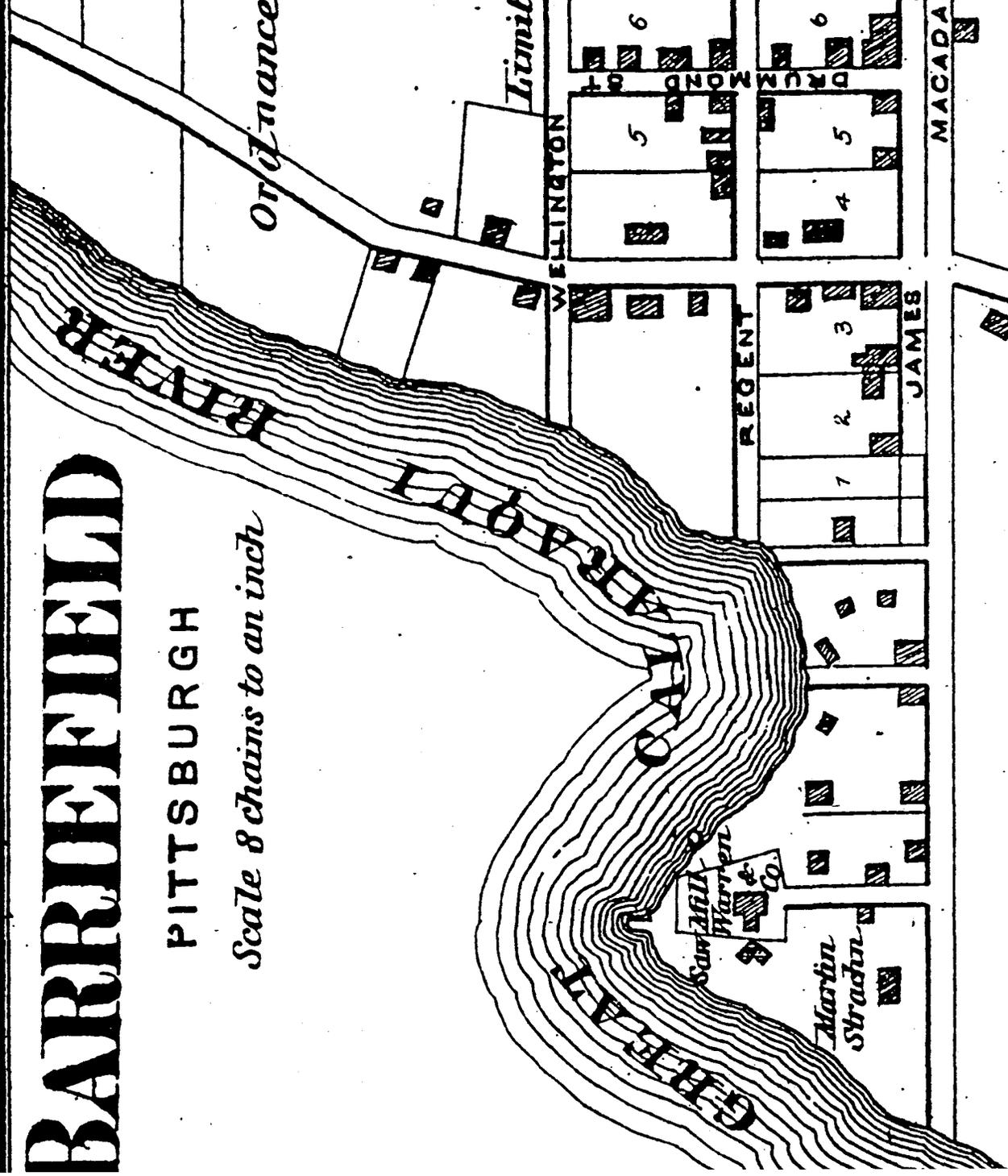
18

20

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Ordnance Land

Limit. bet. Lot 20 & 27



Reserve

Military

In 1843 a steam saw and shingle factory was established on Green Bay Point. It burned down in 1845 but was re-established by 1851 by Martin Strachan. It was later owned by McRossie and Co in 1867 and Warren & Co, in 1873.

In 1846 assessment rolls indicated that 66 buildings including 2 shops and one mill were located in Barriefield. The buildings consisted of the following types of structures: 6, one storey timber; 46, one storey frame; 1, two storey frame; 11, one storey brick or stone; and 2, two storey brick or stone.² In the the same year, Smith's Canadian Gazetteer described Barriefield as having a population of 300, two small stores, three taverns, two blacksmiths and one shoemaker.

2.4 Barriefield: 1850 to 1900

With the decline in activity at the fort and the shipyards after 1850, Barriefield stabilized in population and building growth. A new school was built on the southwest corner of James and Main Streets in 1850. In 1855 a lime kiln operation was located on lot 20 to the southwest of St. Mark's Church. In 1861 the census listed approximately 67 buildings in Barriefield consisting of the following: 1, one storey stone; 5, one-and-a-half storey stone; 8, two storey stone; 22, one-and-a-half storey frame; 4, two storey frame; 5, one storey log; 2, one-and-a-half storey log; 1, one-and-a-half storey brick; and 17, one storey frame.³ By 1871 there were four boat building shops along Green Bay.

In December 1870 a registered plan of Barriefield was filed at the land office indicating that it consisted of 21 acres, 12 lots and 2 blocks. The number of dwellings built were noted as 68 and the population was 188 people. As the main population centre in Pittsburgh Township, Barriefield continued to have a prominent position in the township. A post office was opened in 1876. In 1886 the Pittsburgh Town Hall (now the Town Library) was built in the village on the southwest corner of Regent and Drummond Streets.

² Pittsburgh Township LACAC Files, Assessment Roll Research

³ Pittsburgh Township LACAC Files, 1861 Census Research

2.5 Early 1900s to the Present

From 1900 to 1945 Barriefield had a stable population with little new construction. Most of the inhabitants were descendents of the original families. In 1919 Front Road became known as Highway 2. It was paved in 1921 and in 1930 the Barriefield Cut was opened by-passing the village.

After 1945 there was a general migration away from the village of the older residents resulting in the poor maintenance of the housing stock and a decline in the land value. The present school was built in 1953 on Lot 20 on the northern edge of Barriefield to replace the 1850 school which was then used for a number of years as the parish hall for St. Mark's. An addition was built for the new school in 1968.

Since 1977 Barriefield has been under increasing development pressures. The Highway 15 by-pass was opened in 1979 thus relieving the village of the heavy traffic which passed along Main Street. On April 21, 1980, Pittsburgh Township Council passed By-law #17-80 designating Barriefield Village as a heritage conservation district under the Ontario Heritage Act as a means of preserving the village's unique character and as a developmental control. During the 1980s, the continued pressure for the development and construction of new housing to service the rapidly expanding Kingston area and numerous applications for additions and alterations to existing heritage properties have greatly accelerated.

2.6 Sources

Bray, Carl. Barriefield Village Heritage Conservation District Study, 1978.

Cardwell, Bob, "Origins and History of the "Cross Street", 1980.

Goad's Fire Insurance Plan of Barriefield, 1908.

Meacham's Illustrated Historical Atlas, 1878.

Patterson, William J. Lilacs and Limestone: An Illustrated History of Pittsburgh Township 1787-1987. Pittsburgh Historical Society, 1989.

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Rollason, Bryan, ed. County of a Thousand Lakes: The History of the County of Frontenac 1673-1973. Kingston: Frontenac County Historical Committee; and Frontenac County Council, 1982

Smith's Canadian Gazetteer, 1846.

Maps:

Sketch of Points Henry and Frederick, 1827, Inspector General of Fortifications Canada.

Upper Canada Land Papers No. 16, No. 13, 1829.

Plan of Barriefield, Ordnance Department, 1842

Plans of Proposed Fortifications, Ordnance Department, 1850

Walling's Map of Frontenac, Lennox & Addington Counties, Barriefield Village, 1860.

War Department, Map of Barriefield, 1869.

Plan No. 51, Barriefield (Re-Survey), Township of Pittsburgh, Dec. 12, 1870.

APPENDIX 3: Historical Building Inventory

3.0 HISTORICAL BUILDING INVENTORY

3.1 Typical Architectural Design Found in Barriefield

Stone

The pre-1850 stone houses are typically side gable design, one-and-a half storeys high with end chimneys. A few have two storeys. The post 1850 stone houses generally have a central gable over the front door. Several of the earlier side gable roofs have been altered by the later addition of a central front gable. Many have a rear wing built at the same time or later as a kitchen wing. The roof is generally low pitched for pre-1830s houses and medium pitched for post 1830s houses.

All of the houses are of local Kingston limestone and are constructed of either coursed, uncoursed or broken coursed squared limestone rubble. Stone quoins are often found on the building corners and window and door openings. Some have cut stone fronts and rubblestone sides and back. Foundation walls are coarsely laid rubblestone.

Most of the smaller houses have a central hall plan with a three bay facade. A number of the doorways are set off-centre in the three bays. The larger two storey dwellings are generally divided into five bays. Chimneys are located principally on the ridge of the roof slightly inset from the gable ends and are either built of stone or brick. Some of the earlier houses have outside chimneys running up the side elevations.

Window openings are rectangular in shape and usually symmetrically arranged on each elevation with untrimmed openings and sills of wood or cut stone and vertical stone voussoirs. Most original windows are double hung and many still have 6/6 lights in the sash. The front central gable window is generally semi-circular. The main entranceway of the end-gabled stone houses is typically on the long wall.

Frame

The earlier frame buildings follow the same general form as the stone houses. They tend to be one to one-and-a-half storey in height with end gables. The late nineteenth century frame houses were built with front gable plans consisting of an off-centre door and side-hall. Foundation walls tend to be rubble and the exterior siding was either clapboard or shiplap. Window openings are rectangular in shape and entranceways are plain. Some entranceways have transoms. Exterior decorative detailing is minimal on the earlier frame buildings.

Brick

Brick was not typically used in Barriefield as a building material. Only two brick buildings in the village pre-date 1870. The modest design of these one-and-a-half storey houses was similar to the contemporary stone and frame buildings with side gables, symmetrical facades, centre door and chimneys at each gable end. The two later nineteenth century brick buildings were designed as front gable plans with an offset front entrance and side-hall plan. Additions were usually attached to the rear of the building.

3.2 Inventory Forms

St. Mark's Anglican Church, Main Street	6
Barriefield House, 206 Main Street	7
Hutton House, 207 Main Street	9
210 Main Street	10
George Medley House, 215 Main Street	11
217 Main Street	12
223 Main Street	13
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233 Main Street	15
Willowmere, 239 Main Street	16
247 Main Street	17
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John Marks House, 273 Main Street	19
2 Sharman's Lane	21
404 Wellington Street	22
406 Wellington Street	23
412 Wellington Street	24
402 Regent Street	25
404 Regent Street	26
406 Regent Street	28
407 Regent Street	29
412 Regent Street	30
Township Hall/Library, 414 Regent Street	31
413 Regent Street	32
417 Regent Street	33
418 Regent Street	34
419 Regent Street	35
421 Regent Street	36
423 Regent Street	37
James Medley House, 230 James Street	38
Sharman House, 232 James Street	40
234 James Street	41
Pittsburgh Inn, 236 James Street	42
238 James Street	44
244 James Street	45
246 James Street	46

248 James Street.....	47
6-8 Drummond Street	48
10 Drummond Street.....	49
13 Drummond Street.....	50
12-14 Drummond Street	51
18 Drummond Street.....	52
7 George Street.....	53
9 George Street.....	54

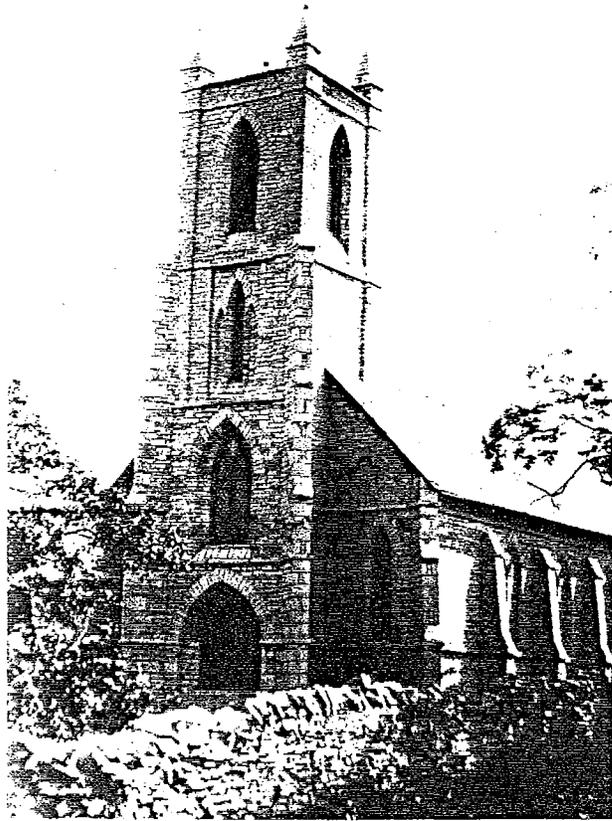
Address: St. Mark's Anglican Church, Main Street

Building Type: stone church

Construction Date: 1843-1844

Architectural/Historical Description:

A public meeting was held in March 1843 at the James Medley house to discuss erecting a church for Barriefield. Land was donated by John Marks and a tender was let to Richard Jones to build a stone church by May 1844. St. Mark's was opened for services in July 1844 by Archdeacon George Okill Stuart of Kingston. The church underwent a major renovation in 1897 with the addition of a chancel and sanctuary. The balcony and choir were moved to front of the church. Several Barriefield buildings have served as the parish rectory over the years including Barriefield House, Willowmere, and the John Marks house. The parish hall has been at different times located in the township hall and the 1850 Barriefield school. A new hall was erected in 1961 next to the church. The property is still partially enclosed with a handsome dry stone fence and imposing stone pillars at the entranceway. St. Mark's is an important landmark building within the heritage conservation district.



Address: Barriefield House, 206 Main Street (formerly 2 Main St.)

Building Type: limestone; side gable with later central front gable addition; 5 bays; 2 & 1/2 storeys

Construction Date: 1814 to 1816

Architectural/Historical Description:

Barriefield House pre-dates the naming of Barriefield Village and is one of the oldest surviving limestone houses in the community. It was built by William Baker, a British immigrant employed as a cabinet maker at the naval dockyard. Baker lived in the house until 1822 when Walter McCaniffe, a local merchant purchased the property. The H.M. naval storekeeper, John R. Glover resided in the house from 1826 to 1832. In 1863 it was acquired by St. Mark's Church as a Rectory. The Department of National Defence now owns Barriefield House and uses it for the residence of the Commandant of the Canadian Land Forces Command and Staff College at Fort Frontenac.

The building is a two-and-a-half storey rectangular structure with a high pitched side gable roof built in the early vernacular neo-classical or "Loyalist" tradition of Ontario architecture. Four brick chimneys, two on each gable, once serviced the interior fireplaces in the house. The original roofing material was wooden shingles. The eaveline of the front elevation is punctuated by the later addition of a central gable with a semi-circular headed attic window. Directly underneath the central gable french doors open onto a small balcony at the second storey level.

The front entrance is centrally situated in a five bay facade and has a semi-elliptical fanlight and side windows typical of its original classical style. The two original first floor windows to the right of the entrance were replaced by a large multi-paned picture window in the twentieth century. The present open deck with its central portico is believed to be a more modern adaptation of an earlier porch which spanned the full width of the facade when built. The present deck area is accentuated by a railing with plain square balusters and the portico has square Tuscan order pilasters and columns. A two storey limestone kitchen wing with a side gable roof extends from the north side of the main house on the main facade.

Located on a prominent site at the corner of James and Main Streets, Barriefield House one commanded a fine view down to the river. Immediately in front of the house stands a section of a wooden picket fence which joins with a dry stone wall to enclose the corner lot. As one of the earliest and largest houses in Barriefield, this building is considered to be one of its finest.



Address: Hutton House, 207 Main Street (formerly 203 Main St.)

Building Type: limestone; central front gable; 3 bays;
1 & 1/2 storeys

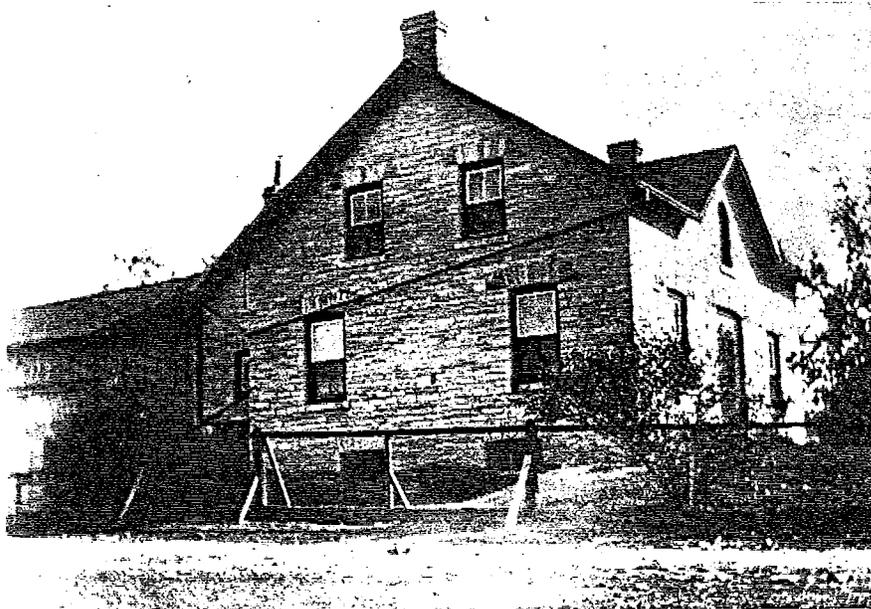
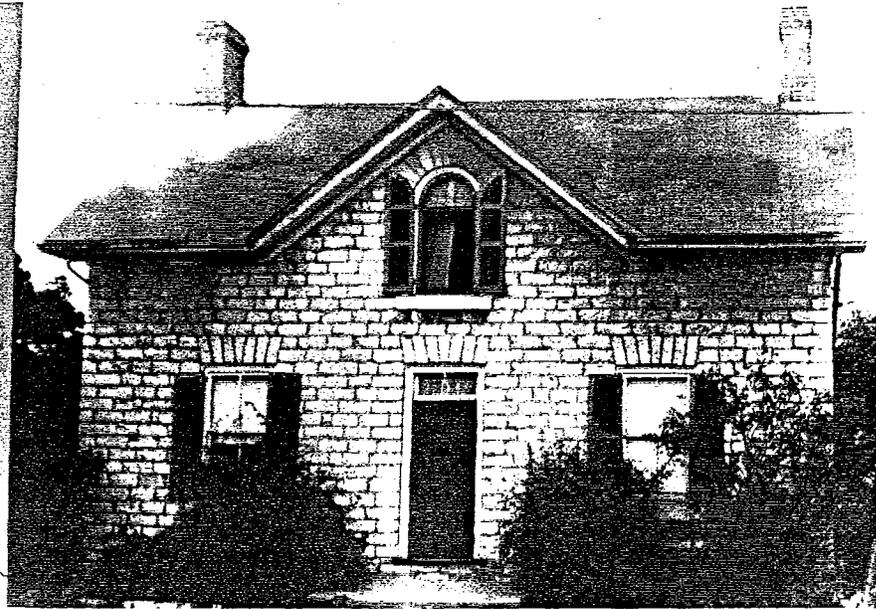
Construction Date: circa 1874

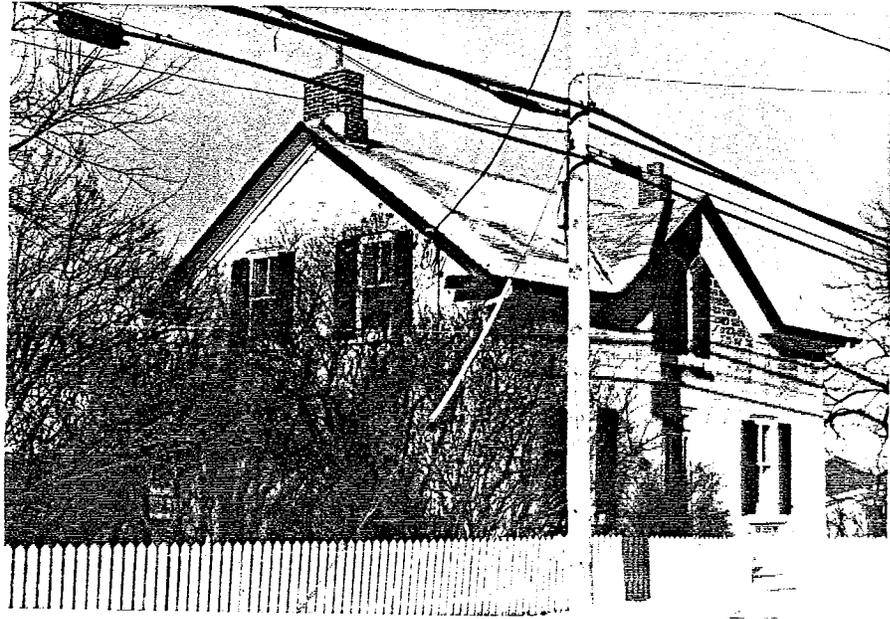
Architectural /Historical Description:

Built by William Carpenter, owner of the Dominion House Hotel circa 1874, this one-and-a-half story limestone house is a later addition to the village. It is clearly shown on the 1878 Illustrated Historical Atlas Map of the Village of Barriefield. Always part of the larger land parcel associated with 201 Main Street, members of the Hutton Family owned the house continuously from 1874 to 1969. In 1978, the present property at 207 Main Street was severed from the main property at 201 Main Street.

This building has undergone very few external alterations over the years. It is built into the slope of the land resulting in a one-and-a-half storey front building and a full basement level on the rear. It is constructed of squared and evenly coursed limestone. The main building is rectangular in plan with a medium pitched central gable gable roof. The roof has a wide projecting eaves, a simple soffit moulding and frieze and returned eaves on each gable end. The original roofing material was wooden shingles. Modern chimneys are presently located in the same position as the original two. The front gable has a semi-circular headed window opening placed immediately above the central door. The main entrance door is simple with a transom overhead to light the interior hallway.

The main facade is divided into a typical three bay arrangement with a central front entrance and two flanking side windows. The 1908 Fire Insurance Plan indicates that a one-and-a-half storey rear addition extended from the rear of the main house. The present two storey frame addition was apparently built circa 1928 and has been recently renovated. The later rear additions give the house its " T " shaped plan.





Address: 210 Main Street

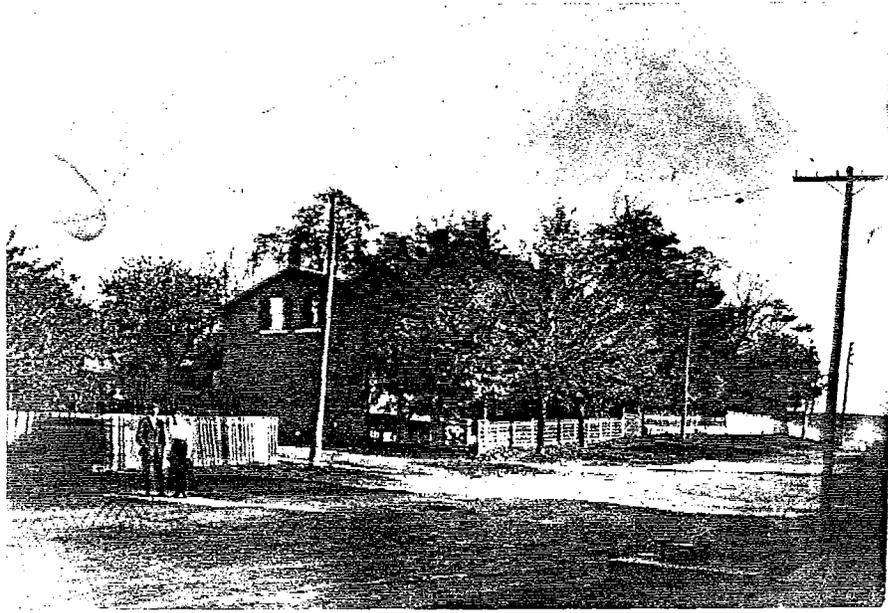
Building Type:: brick; end gable; 3 bays; 1 & 1/2 storeys

Construction Date: 1867

Architectural/Historical Description:

This property was once part of the Barriefield house estate purchased by William Baker in 1814 from Richard Cartwright. It was subsequently subdivided from Barriefield House and sold to Duncan Thompson in 1820. The John Pugh family owned the land from 1823 to 1853 when Elizabeth Medley bought it. In 1860 a log house was located on the property and it is believed that George Medley, brother of Elizabeth Medley, lived there. In 1867 George Medley contracted builder John Mitchell to construct a one-and-a-half storey brick house on the site. The house has remained in the Medley Family up to the present.

This plain red brick building built on a fieldstone foundation has a medium pitched side gable roof. The projecting boxed eaves are returned on the side elevations. The front elevation is arranged in a typical three bay fashion with a central door and side windows. The window sills are limestone. At one time all windows had operable exterior wooden louvred shutters. The present enclosed porch is a more modern addition replacing an earlier structure which ran the entire width of the facade. The main entrance door has a two light transom.



Address: George Medley House, 215 Main
Street; (formerly 205 and 5 Main Street)

Building Type: frame; front gable; 2 bays; 2 storeys

Construction Date: late 19th century

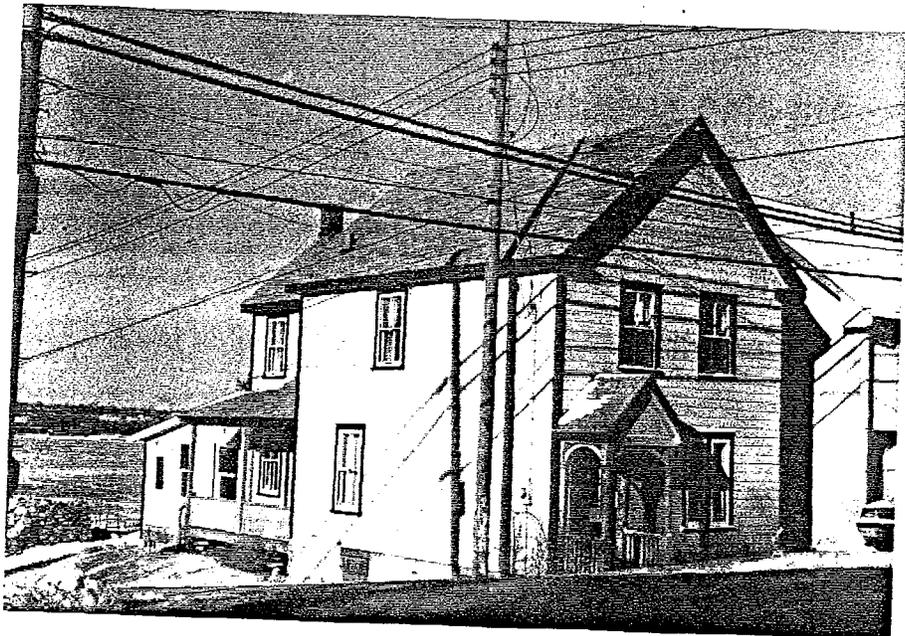
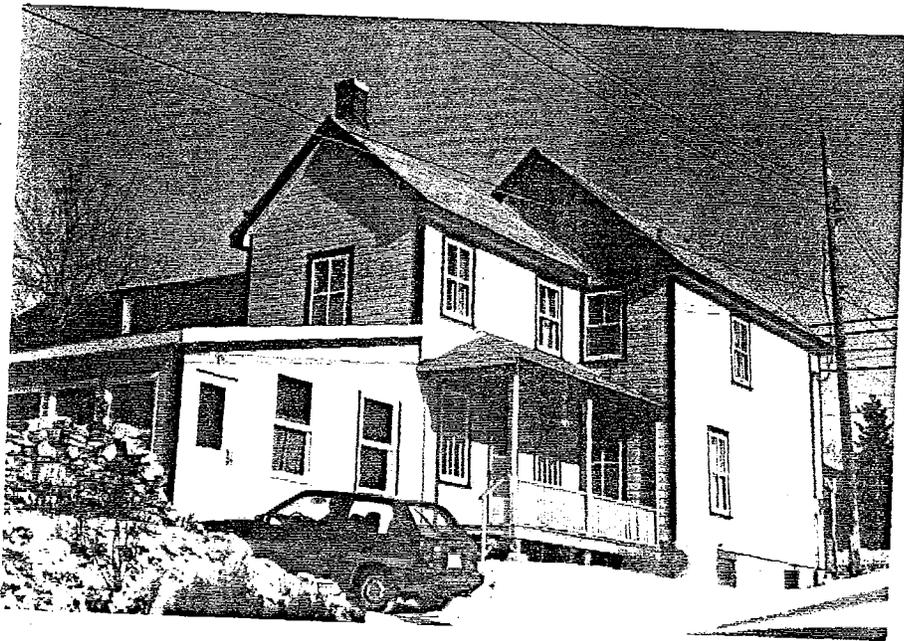
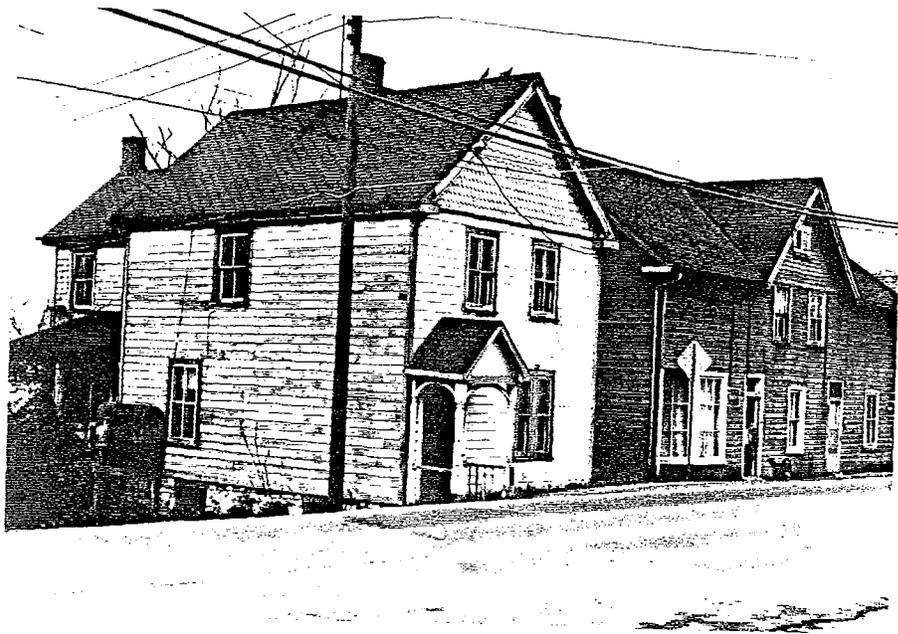
Architectural/Historical Description:

Constructed by local builders William and Frederick Allen for George Medley in the late nineteenth century, this two story frame house sits on the northwest corner of Regent and Main Streets. It is very similar in detailing to its neighbour 217 Main Street which was also built by the Allen Bros. for George Medley during the same period.

The building consists of a rectangular shaped main block facing Main St. and a rear wing - which is later addition - facing onto Regent Street to create a "L" plan. Both the main block and the rear wing have high pitched gable roofs. A full width front gable dominates the Main St. facade of the primary block. The gable detailing consists of a variety of decorative wooden shingles designs and a simple solid vergeboard with decorative rosettes and a return eaves. A single row of dentils are located immediately below the decorative shingles.

The main section sits on a coursed rough-faced limestone foundation and is clad in shiplap siding with accenting cornerboards. The boxed eaves and soffit lack ornamental detailing. The side front entrance has a small gable portico which consists of turned supporting posts, separate semi-circular arches fixed between each post as a decorative element and side railings with turned balusters. The window sash consist of typical late nineteenth century 2/2 lights. An early historical photograph shows that a number of windows had exterior louvred shutters on the main block.

The rear wing is also clad in shiplap siding. It has a one storey hip roof side porch with plain squared supporting posts with a plain square balustrade and hand rail on the south elevation. A one storey shed roof addition has recently been-constructed behind the two storey rear wing.



Address: 217 Main Street
(formerly 207 ; and 7 & 9 Main Street)

Building Type: frame; central front gable; formerly
commercial/residential; 5 bays; 2 storeys

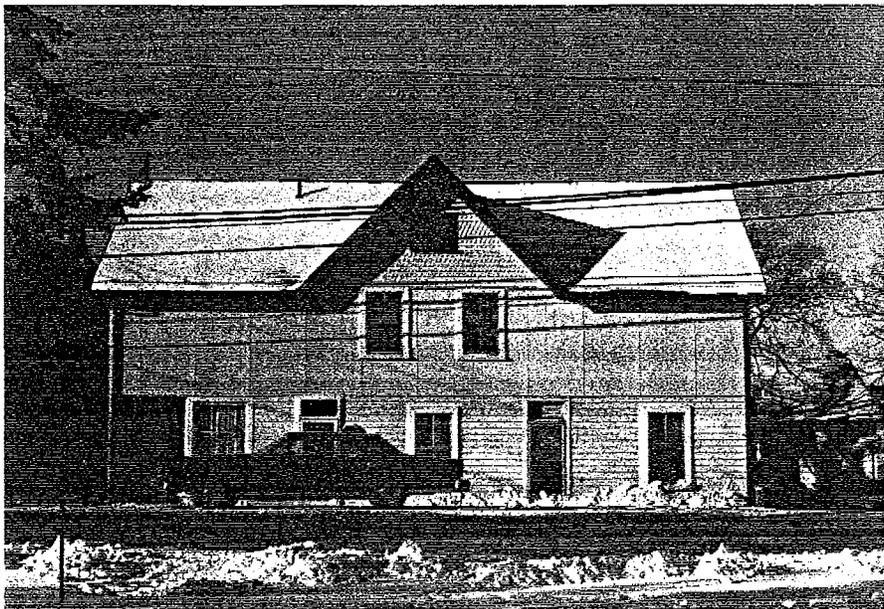
Construction Date: late 19th century

Architectural /Historical Description:

Built for George Medley as a grocery store in the late nineteenth century, this two storey frame structure has also served as a post office and a semi-detached house. Local builders Frederick and William Allen were responsible for the construction of this building. It is very similar to its neighbour 215 Main St. also built by the Allen Bros. for George Medley around the same period. W.J. Norris ran the grocery store circa 1920s.

Rectangular in plan, the principal axis of this structure runs parallel to Main Street. It has a high pitched gable roof with a large central gable on the front elevation. The original eaves were returned on the side gables. At one time the gable was ornamented with a decorative fascia which has been replaced. The decorative wooden shingle work is still extant. The siding was originally shiplap with accenting end boards on the corners. Presently the shiplap siding on the front elevation has been covered over with vertical board cladding at the second storey level. The two original brick chimneys located on the end gables have been demolished and the original cedar shingle roof has been replaced by asphalt shingles.

The southeast corner of the building has a recessed entrance door and a typical shop display window with fifteen lights indicating its early mercantile use. The front elevation at street level is divided into five bays with alternating doors and windows. At one time a retractable awning covered the shop window and entrance. Each door has a single transom overhead. An incomplete brick veneer wall covers the shiplap siding on the north side.



Address 223 Main Street
(formerly 211 & 213)

Building Type: limestone; side gable; 3 bays; 1 & 1/2 storey

Construction Date: circa 1834

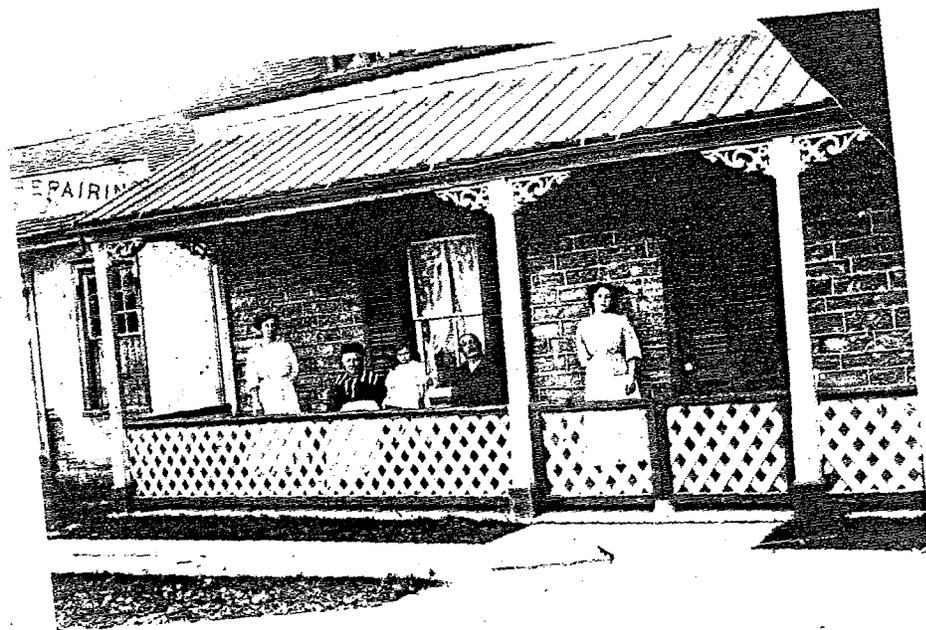
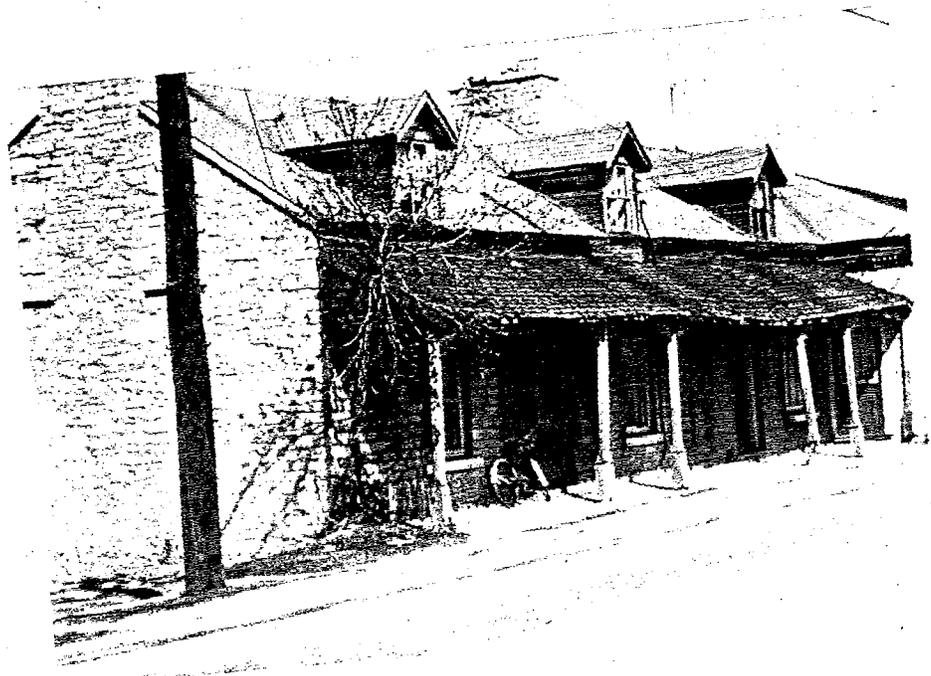
Architectural /Historical Description:

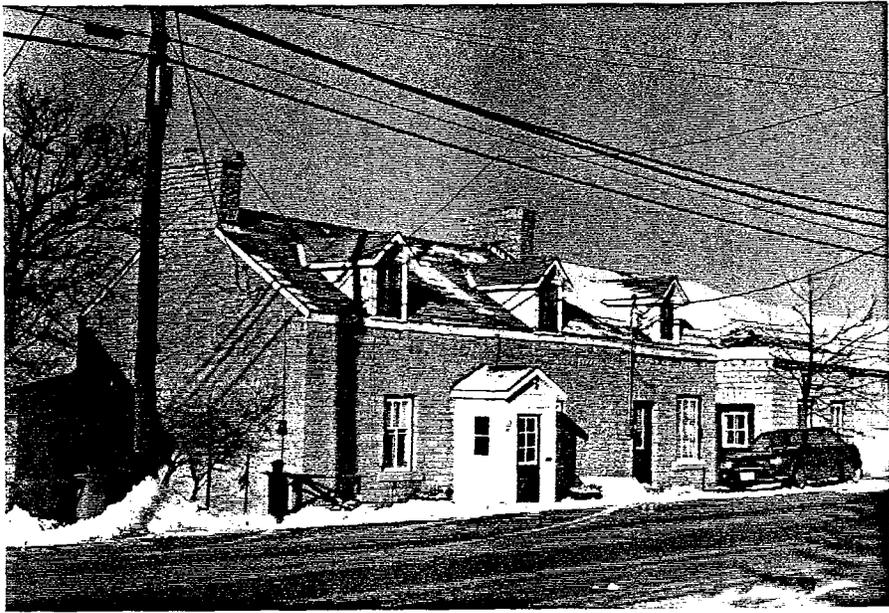
Built in the early 1830s by Alexander Mayberry, a local blacksmith, this one-and-a-half storey limestone cottage was originally a single dwelling. In 1862 it was sold and became the "Pittsburgh Inn". From 1873 to 1913 cabinetmaker Miles Byrnes operated a grocery store and tavern in this location. It has also been a post office.

The original building consisted of a three bay front facade with a central doorway and two flanking windows. The side gable roof is a medium pitch and the eaves are flush with the wall planes. Two multi-flue stone chimneys are located at either end of the original building and are integral to the side wall masonry. The limestone is squared and evenly coursed on all sides. An historical photograph shows that the front elevation was tuck pointed to emphasize the horizontal lines of the masonry joints.

The roof has two wooden gable dormers sided with shiplap cladding which are probably later nineteenth century additions. The original roofing material was wooden shingles. A small frame enclosed vestibule is located at the main entrance door. The first floor windows on the main facade once had exterior louvred shutters. The masonry of the south elevation shows the outline of two former second floor windows since blocked in with rubble.

A full width open verandah once stretched across the front facade. It had a simple shed roof covered with a metal batten roof, plain chamfered supporting posts with a boxed base, decorative fretwork at the top of each post, a wooden floor and a handrail and trellis-style enclosure along the edges. At one time a one storey frame and stucco building stood on the south end of the building. As well, A one-and-a-half storey limestone extension was also built on the north end probably by the mid 19th century.





Address: 226-228 Main Street
(formerly 208 and 210; 8 and 10 Main St.)

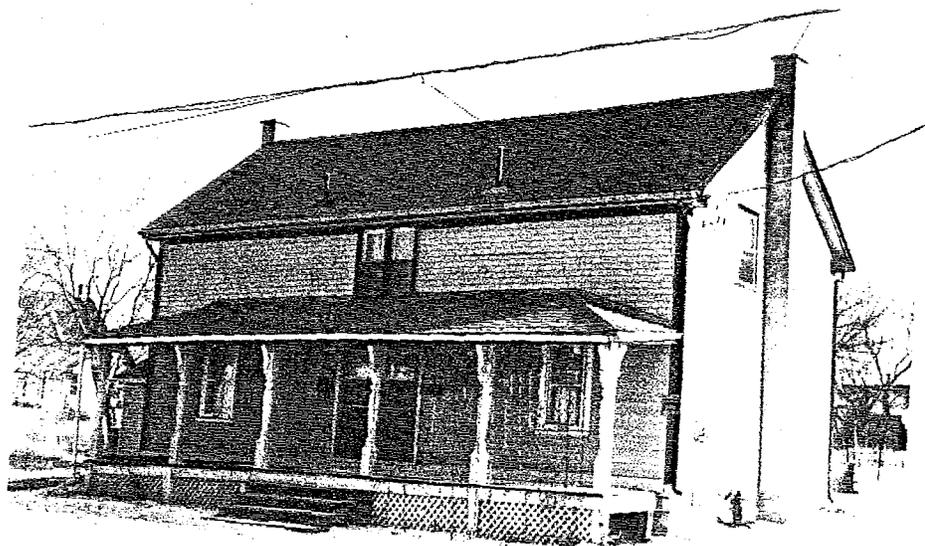
Building Type: frame; side gable; double house; 2 storeys

Construction Date: late 19th century

Architectural /Historical Description:

Relocated to its present position in the late nineteenth century, this double frame house was apparently placed on the foundations of an earlier 1816 structure which had been destroyed by fire. Its rectangular plan is placed with the long axis oriented to the street. Two storeys high, it has a medium pitched side gable roof with a boxed returned eave on each side wall. A plain frieze board is located below. The original central brick chimney has been removed and two modern outside concrete block chimneys have been built on each side elevation. The original roofing material was wooden shingles.

A one storey open verandah with supporting turned posts and decorative brackets runs the full width of the main elevation. Some of the original brackets on the posts have been removed. Exterior louvred shutters once framed all of the window openings but have also been removed. Extant decorative corner boards once accented the original shiplap siding which is now covered by modern synthetic cladding.



Address: 233 Main Street
(formerly 215 Main Street)

Building Type: limestone; side gable; 3 bays; originally 1 storey
now 2 storeys

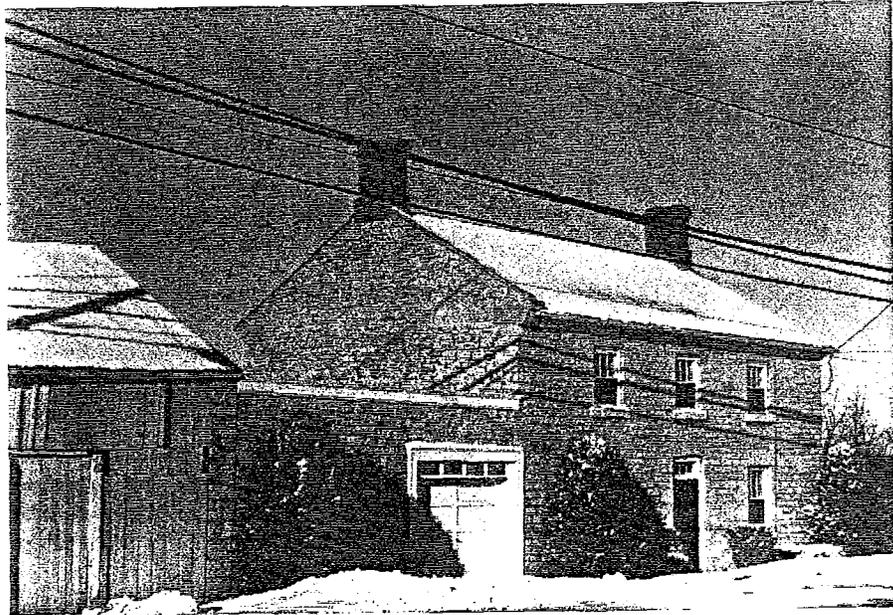
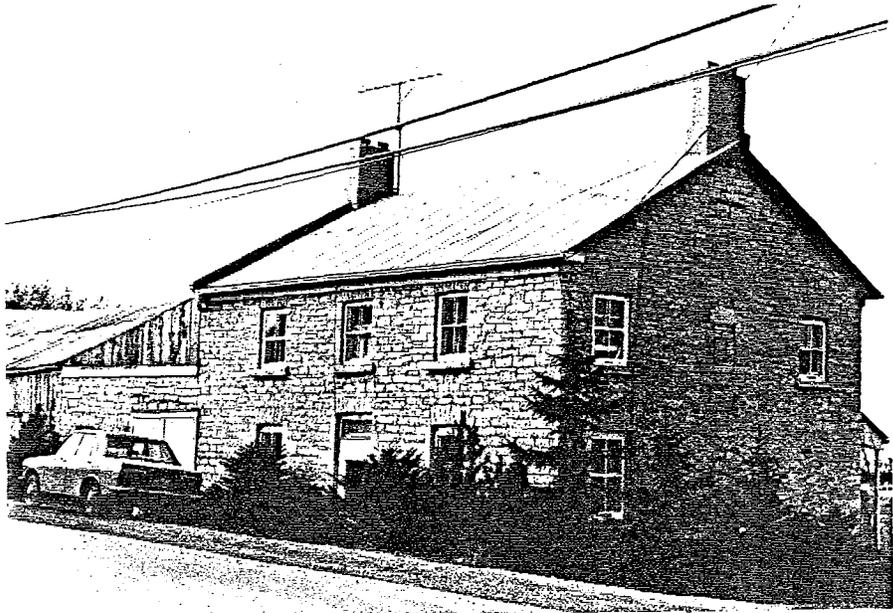
Construction Date: circa 1821 -1830

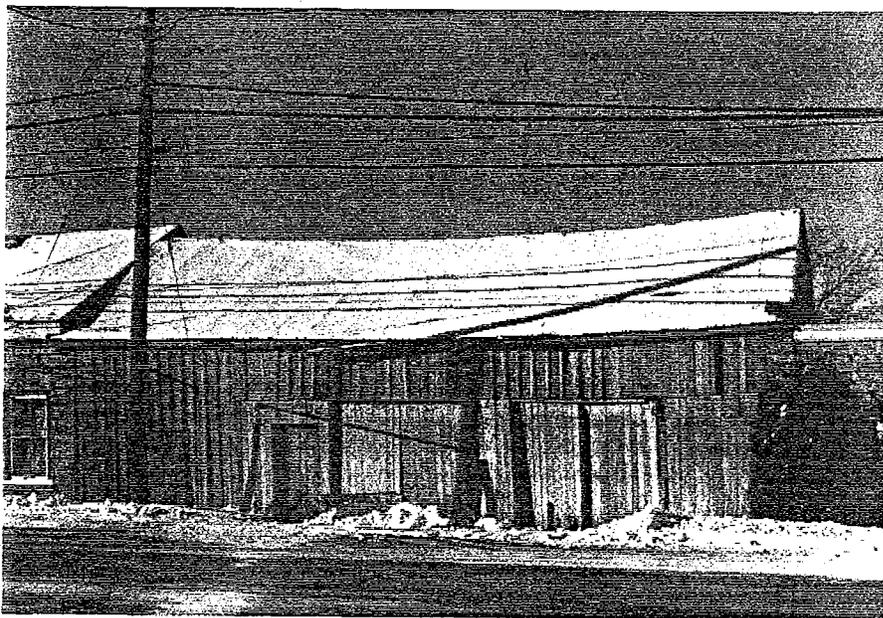
Architectural /Historical Description:

Built by John Mason, a stone mason, this structure was originally a one storey single stone cottage. At some point in the nineteenth century the roofline was raised to create the present two storey dwelling. This change is evident in the stonework on each gable end. It has a rectangular plan and typically is arranged with the long axis parallel to Main Street. The main elevation is divided into three bays with a central doorway and two flanking side windows, one on each end. The doorway has a simple transom which is divided into four lights.

The limestone used in the exterior walls is squared and evenly coursed on the east elevation and the windows and entrance doorway are accentuated with large dressed quoins. The two side and rear walls consist of coursed rubblestone. A balcony on the west side overlooks the Cataraqui River. The medium pitched gable roof which is presently clad in metal roofing was originally covered with wooden shingles. Two gable end chimneys are located along the ridge. A parapet wall with large corbelled end stones is located on the south end of the building. The north gable has a returned eaves detail.

The stone addition on the south end of the structure now serves as a garage. It once consisted of a one and a half storey stone building with a gable roof, a three bay south elevation and a central doorway.





Address: Willowmere, 239 Main Street
(Formerly 217 and 17 Main St.)

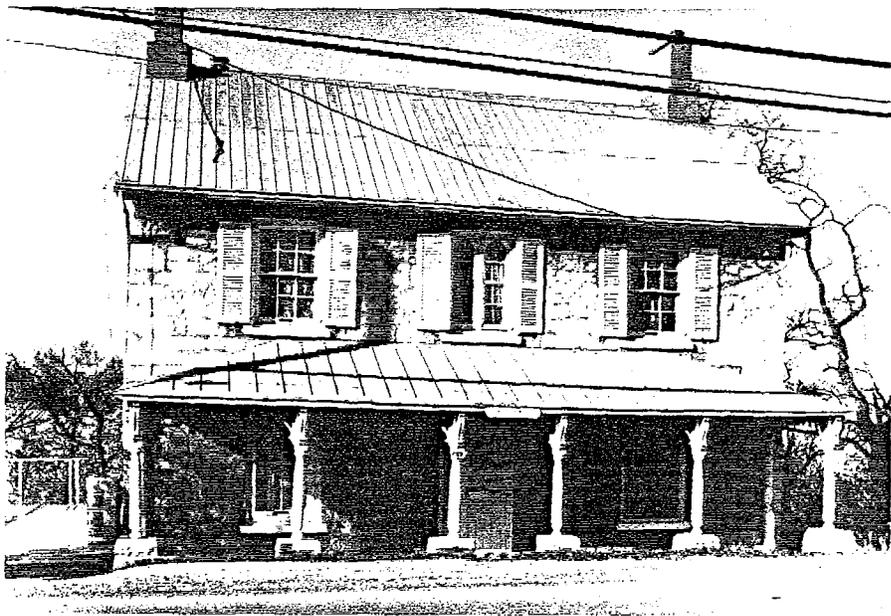
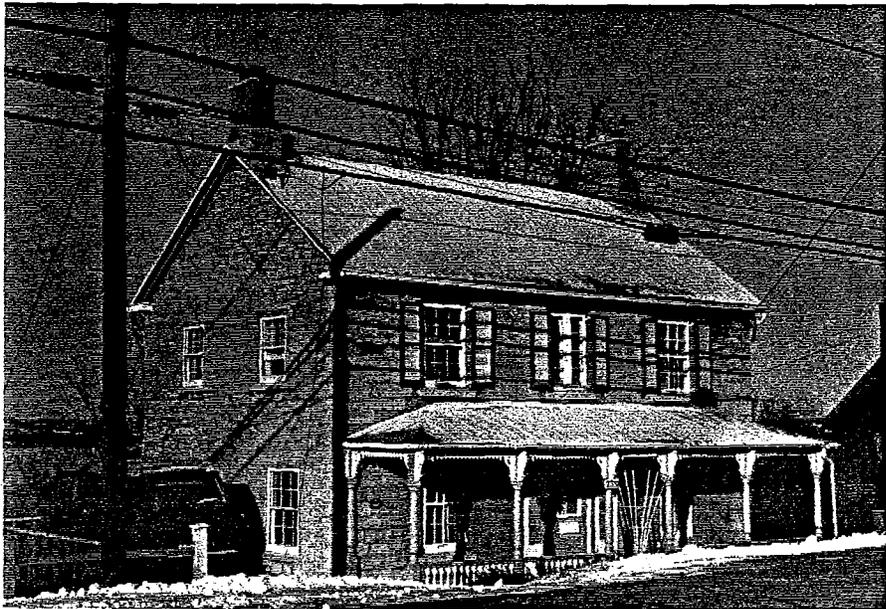
Building Type:: Limestone; side gable; 3 bays;
originally 1 storey, raised to 2 storeys

Construction Date: 1818-1819

Architectural /Historical Description:

Once known as the Richmond Hotel, this building was erected in 1818-1819 by John Hendry as a one-and-a half storey single dwelling. The roof was raised to its present two storeys later in the nineteenth century. The original roofing material was wooden shingles. Rectangular in plan with the long wall parallel to the street, the main facade is divided into three bays with a central doorway. The central window on the second floor is a casement window in contrast to the other double hung units. The steeply pitched side gable roof has a metal batten roof with two brick end chimneys. Each gable end has a returned eaves.

A full width one storey verandah with a metal batten roof runs across the main elevation. It has turned supporting posts, decorative brackets and fretwork, and a handrail with turned balusters. The first floor window openings have quoins. A one-and-a-half storey frame shed once stood on the south end but has since been removed for a driveway. At one time a decorative post and wire fence immediately in front of the verandah separated it from the roadway.





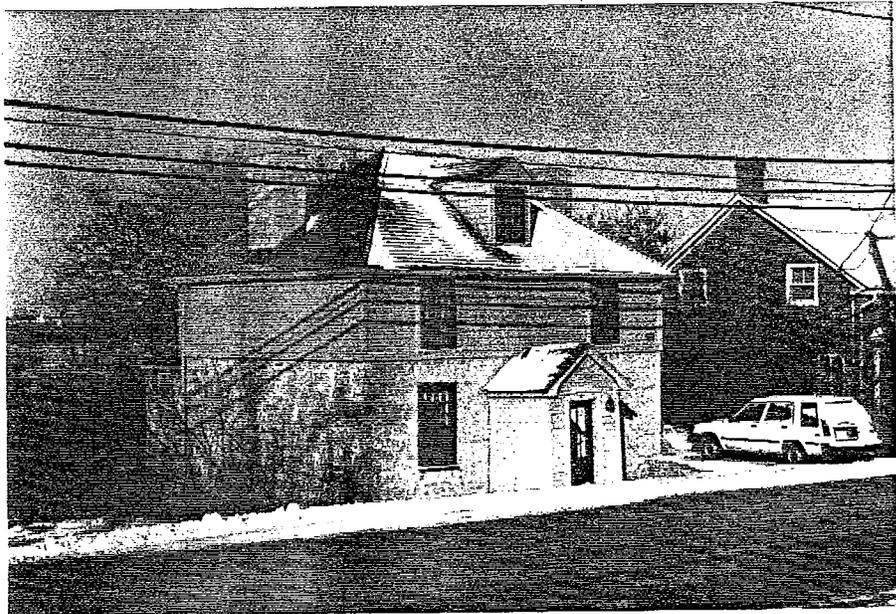
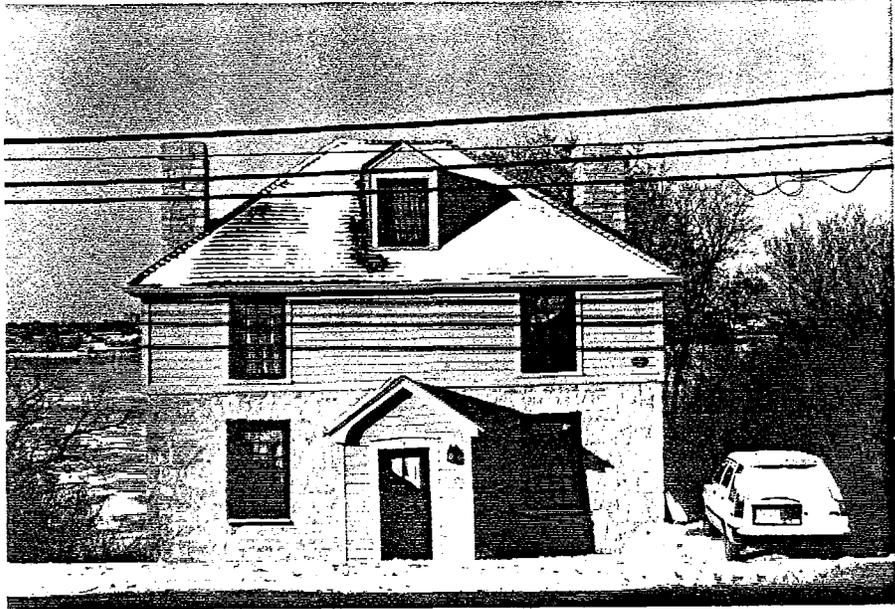
Address: 247 Main Street
(formerly 219 Main St.)

Building Type: stone & frame; truncated hip roof; 3 bays;
originally 1 storey , now 2 & 1/2 storeys

Construction Date: 1830

Architectural /Historical Description:

Recently restored, this building was originally built in 1830 as a one storey unevenly coursed limestone cottage with a square plan. The present structure is two-and-a-half storeys in height due to the 1928 addition of a frame second storey and attic by the Hewitt family. The roof is a high truncated hip with a central front gable dormer and two large stone chimneys located on each side elevation inset for the eaves. The main facade is divided into three bays with a central doorway. Built into the slope of the land, the basement wall in the rear of the house is fully exposed. A stone addition extends from the rear of the building. The main entrance door is covered with a frame vestibule with a gable roof.



Address: 249 Main Street
(formerly 221 and 21 Main St.)

Building Type: brick; side gable; 3 bays; 1 & 1/2 storeys

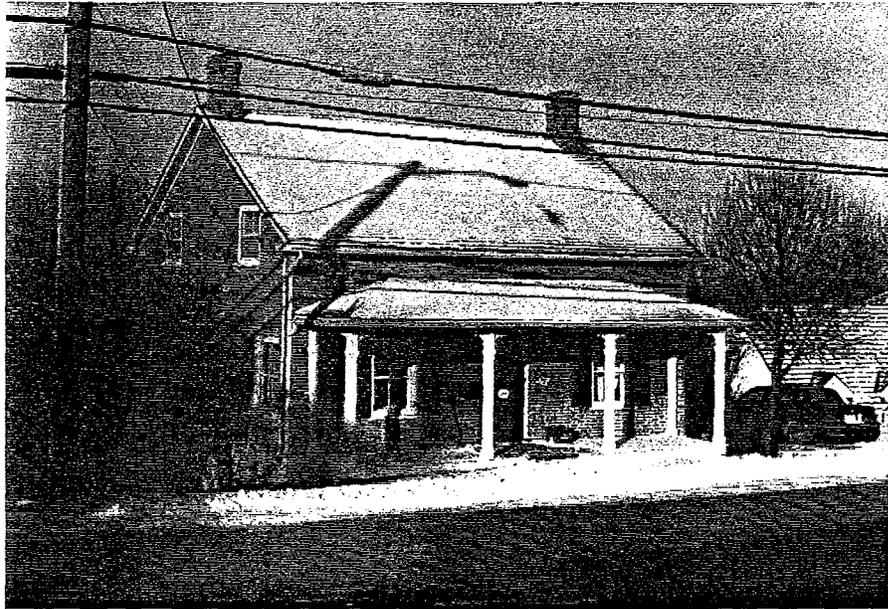
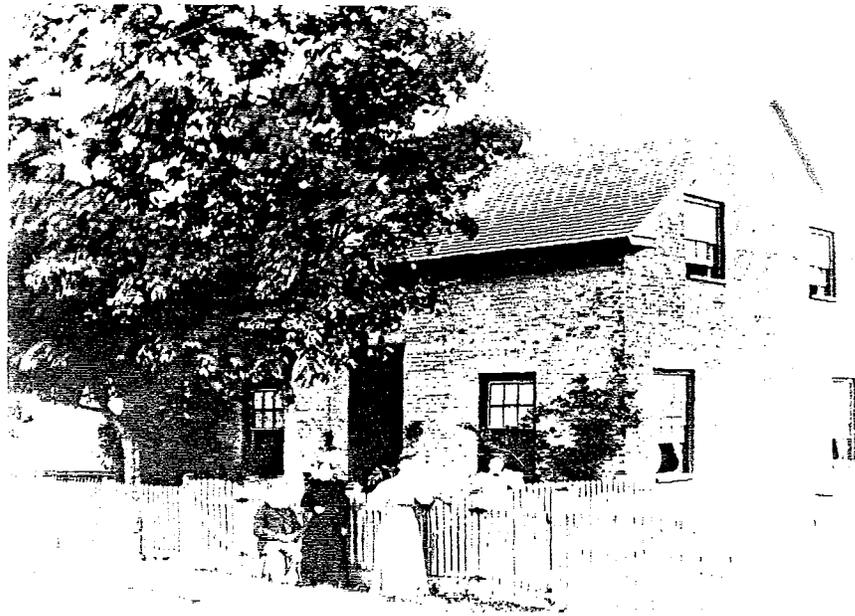
Construction Date: circa 1830s

Architectural /Historical Description:

This one-and-a-half storey brick house is built into the steep embankment overlooking the Cataraqui River. It has a Flemish bond brick pattern and a full fieldstone foundation/basement to the rear facing the slope of the incline. This building is known to have been erected by William Mitchell, a master armourer, probably in the 1830s.

Rectangular in plan, the front elevation is divided into a typical three bay arrangement with a central doorway and two flanking windows one on each side. The present window sash have 2/2 lights although earlier historical photographs of the house show 6/6 lights in all windows. The high pitched, side gable roof has a plain boxed eave which is returned on the side gables. Two brick chimneys, one each located inside the gable ends, service the four first floor fireplaces.

The present full-width open verandah on the street elevation is not present on an earlier historical photograph indicating that it is an early twentieth century addition. It has turned posts with decorative brackets and a hip roof. At one time the front yard area was deeper and enclosed by a wooden picket fence and gate. The present height and width of the roadway has eliminated this historic landscape feature.



Address: John Marks House, 273 Main Street
(formerly 229 Main St.)

Building Type: log & frame; side gable; 4 bays; 2 storeys

Construction Date: circa 1824

Architectural /Historical Description:

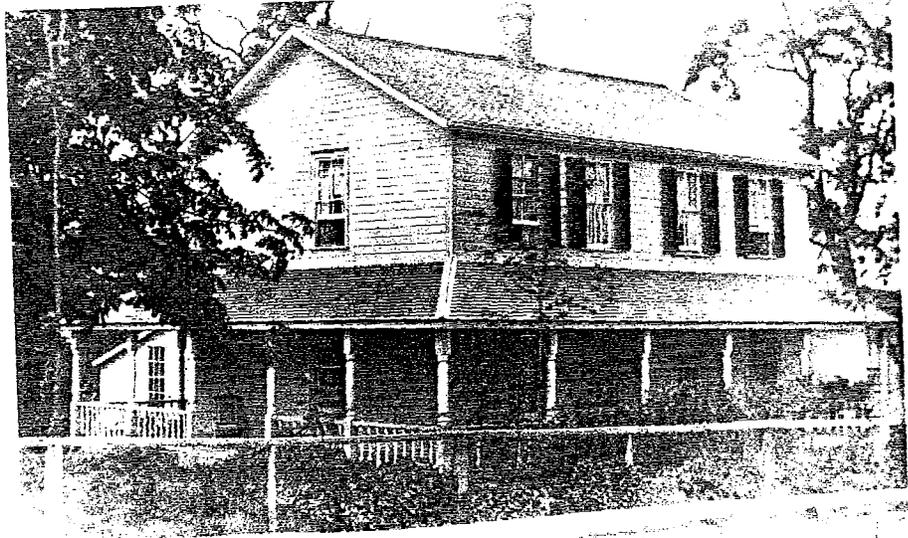
The construction of this house is partially documented in the diary of its original owner John Marks from 1824-1828. When Marks purchased EGCR Lot 19 in 1824 a small stone dwelling built by John Grant circa 1800 already existed on the lot. This stone dwelling is believed to have been incorporated into the present structure on the north side.

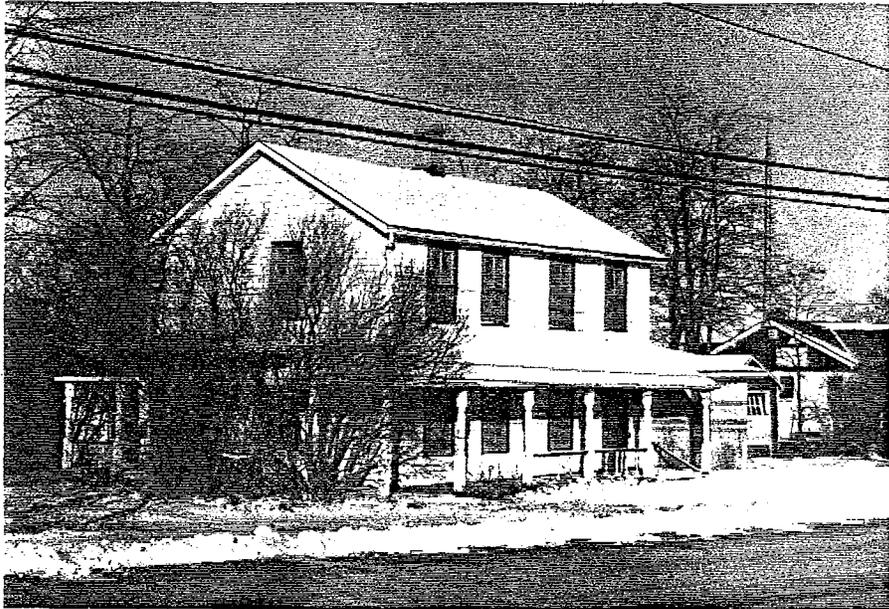
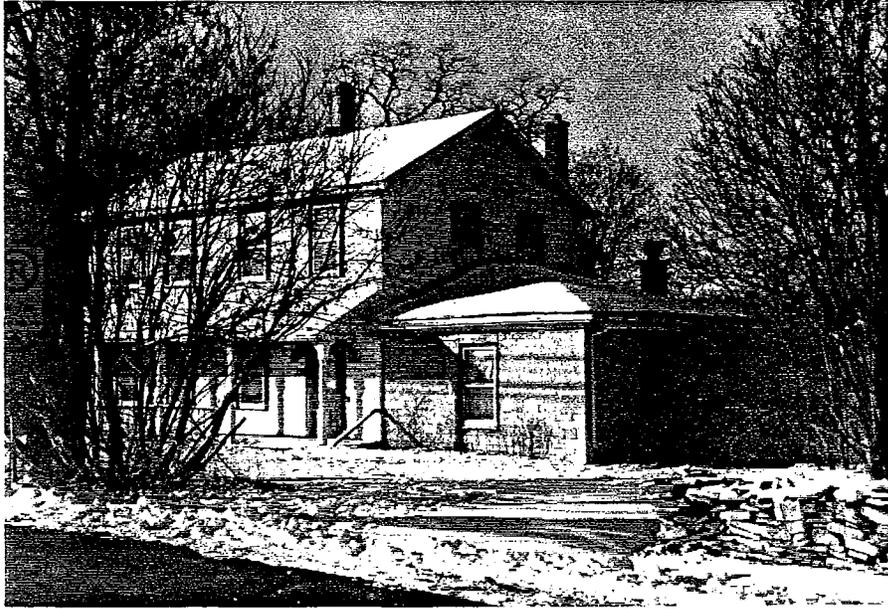
Marks was a prominent historical figure in Barriefield. He was a leader in local government as well as many business, commercial and social enterprises. He served as a MLA from 1836 to 1840; was president of the court martial that sentenced the leader of the Patriots of the Battle of the Windmill Van Schultz to death in 1839; first warden of Frontenac County council and first reeve of Pittsburgh Township; as well as helping to establish St. Mark's Church on land that he had donated. He was also instrumental in forming the Cataraqui Bridge Co. and having a bridge built to connect Kingston and Barriefield.

This two storey house has a "T" shaped plan with a rectangular main block and a rear wing. The long axis of the main house is oriented towards Main Street and has a medium pitched side gable roof. The present structure is clad in shiplap siding; however, there is some evidence that the underlying structure may be log. A one storey stone wing with a hip roof stands on the north side. The front facade is divided into four bays with a side entrance door and three first floor windows and four second storey windows. The second floor window sash have retained their original 6/6 lights. Historic photographs show that some of the upper windows had louvered exterior shutters at one time.

A one storey verandah runs across the full width of the main elevation and down the south elevation. The supporting posts are turned. At one time the verandah was enclosed by a railing and spindle balustrade. The roof of the verandah was

originally covered with wooden shingles as was the main roof of the house. An off- centre brick chimney is located on the roof ridge of the main house while the rear wing and the side stone addition also have brick chimneys. The wooden siding in the gable peak on the north facade has an outline of what appears to have been a former semi-circular window.





Address: 2 Sharman's Lane

Building Type: frame; side gable; originally double house;
1 & 1/2 storeys

Construction Date: late 19th century

Architectural/Historical Description:

Originally built in the late nineteenth century as a double house, this two storey frame building has recently been converted to a single family dwelling. It has a side gable roof and is clad in shiplap siding with contrasting cornerboards and flat wooden window trim with slightly projecting hoods. Divided into four bays, it originally consisted of a window/door, door/window arrangement. The front elevation now has a single off-centre door and transom with two windows on the south end and one window on the north end. A modern deck with a hand railing and balustrade runs across the front of the building.



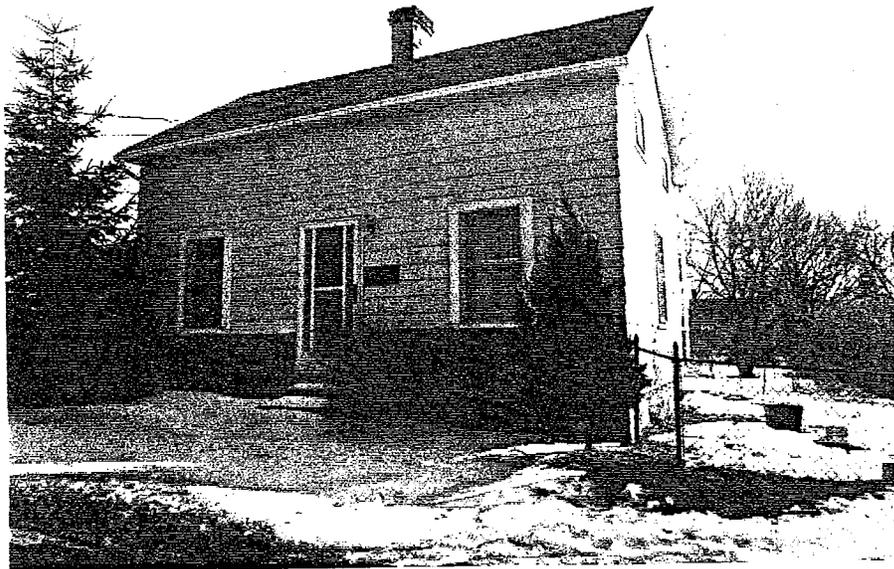
Address: 404 Wellington Street

Building Type: frame; side gable; 3 bays; 1 & 1/2 storeys

Construction Date: circa 1840

Architectural /Historical Description:

This one-and-a-half storey frame house has a basic rectangular plan with a three bay main elevation consisting of a central doorway and two flanking side windows. The present wall covering is aluminium siding. Several additions have been built onto the main house. The medium pitched gable roof has a boxed cornice with a returned eave.



Address: 406 Wellington Street

Building Type: frame; side gable; 3 bay; 1 & 1/2 storeys

Construction Date: late 19th century

Architectural /Historical Description:

Built by John Tisdell in the late nineteenth century on the southwest corner of Wellington and Drummond Streets, this one-and-a-half storey frame house has a side gable roof and a three bay main facade with a central door and two flanking side windows. The cornice is boxed with a returned eaves on the gable ends. The east facade which faces Drummond Street has a rear one-and-a-half storey addition with a one storey side porch.



Address:: 412 Wellington Street
(formerly 10 Wellington St. .)

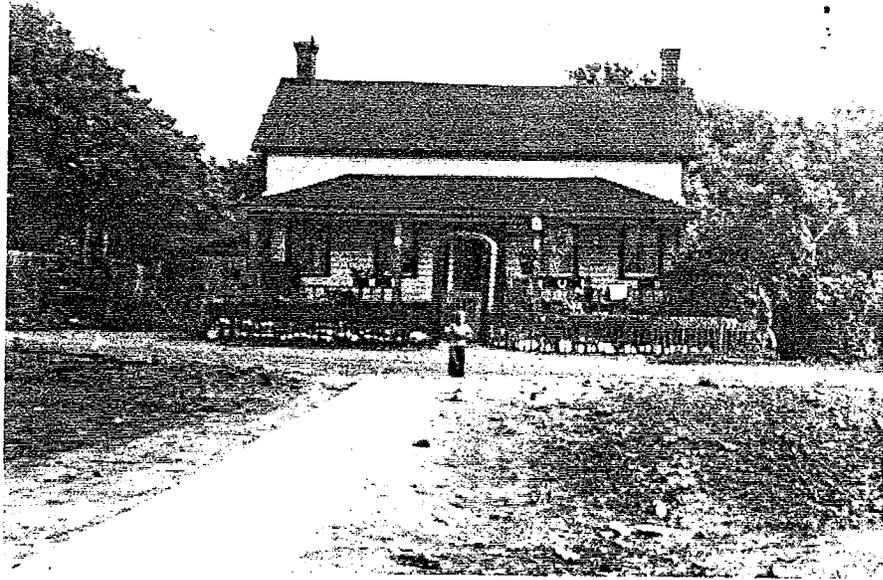
Building Type: frame; side gable; originally 5 bays;
1 & 1/2 storeys

Construction Date: circa 1855; moved to site 1930s

Architectural /Historical Description:

Originally situated on the corner of Highway 2 and George Street, this one-and-a-half storey frame dwelling was moved to its present location during the 1930s. The main house is rectangular in plan with its long side facing Wellington Street. Several additions extend from the rear of the building.

The main facade is divided into five bays with a central doorway and two windows on each side. The doorway has a three light transom. The walls are clad in shiplap siding with plain accenting cornerboards, frieze and water table. A boxed cornice with a returned eave is found on each gable end. Each gable end has an inset brick chimney. A simply designed one storey verandah once ran across the full width of the principal elevation but has since been removed.



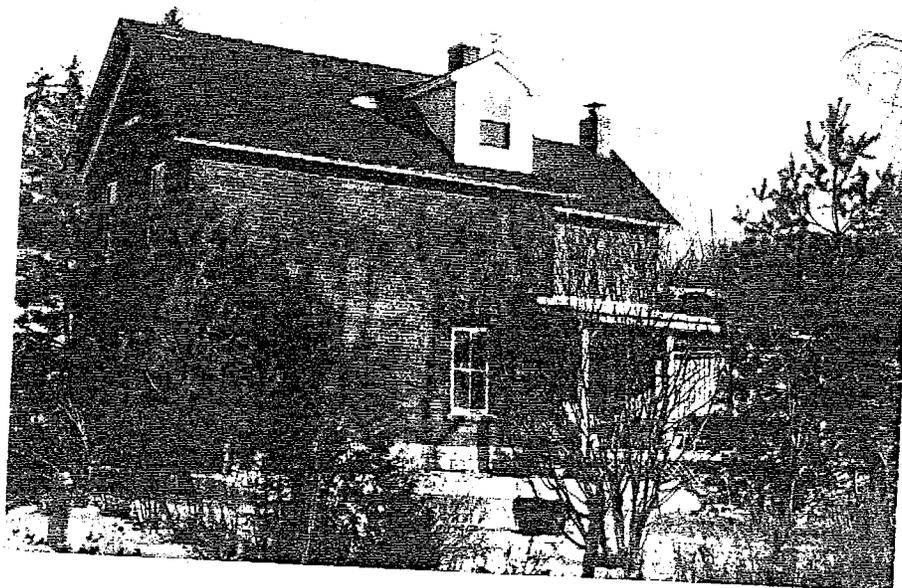
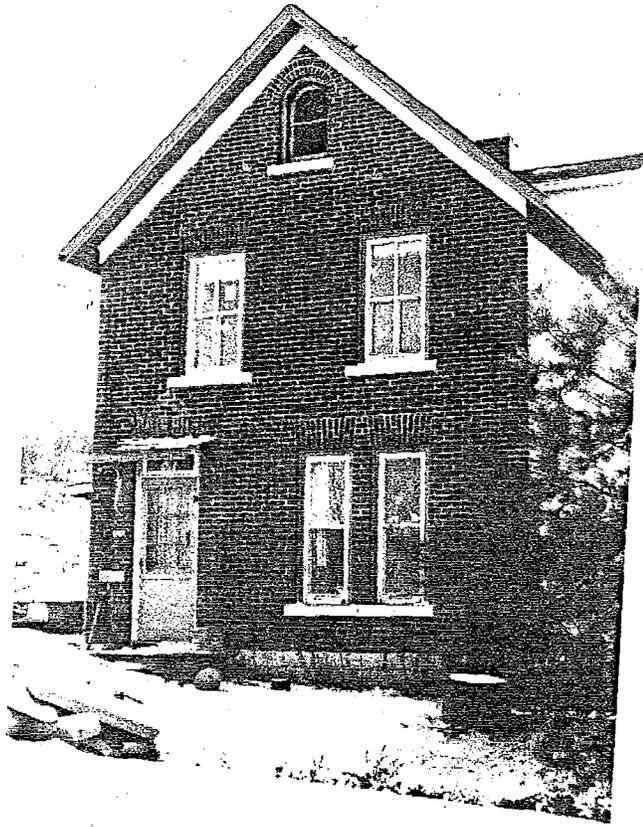
Address: 402 Regent Street

Building Type: brick; front gable; 2 bays; 2 & 1/2 storeys

Construction Date: late 1880s

Architectural /Historical Description:

The design of this two-and-a-half storey brick house represents a vernacular style used commonly in the late nineteenth century. It has a front gable orientation with a two bay facade consisting of a typical side entrance and hall plan. At one time a small gable portico stood at the main entrance. Two narrow first floor windows separated by a vertical band of bricks resembling a double window with a mullion are located west of the entrance. A two storey brick wing extends to the rear of the building. A verandah runs along the west and south elevations of the wing. The roof of the main house is a steeply pitched gable with a later addition of a dormer on the west side. A semi-circular headed window is located in the front gable peak.



Address: 404 Regent Street

Building Type: frame; multi-gable; 1 & 1/2 to 2 storeys

Construction Date: 1886

Architectural /Historical Description:

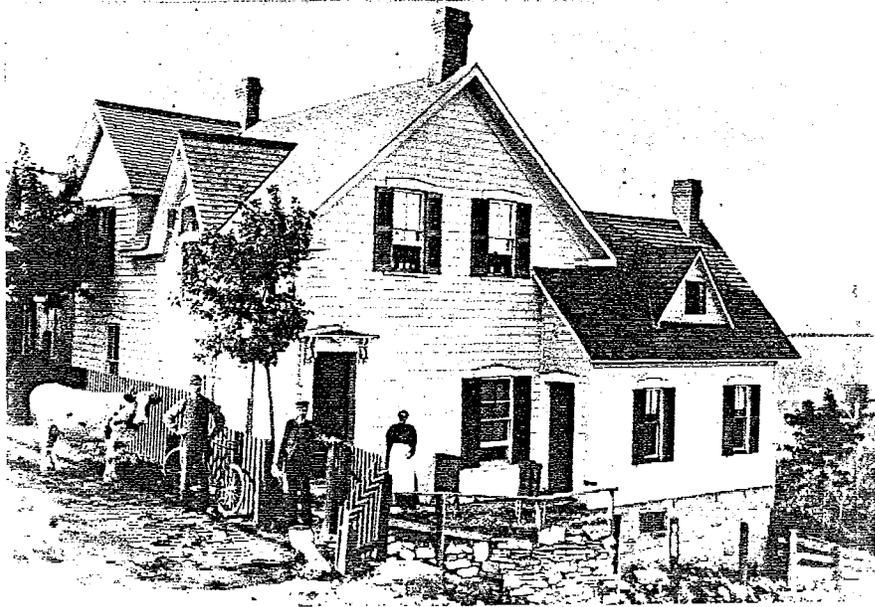
Built by Alexander Rickey, a local wagonmaker and blacksmith in 1886, this eclectic one-and-a-half to two storey frame dwelling has an irregular plan and a multi-gable roof. The main section faces onto Regent Street with a side cross gable running west down the slope towards the river. The rear extension has a raised fieldstone foundation/basement with an entry door from the ground level. Numerous changes have occurred to the exterior of the house over the years. When first built the detailing over the main entrance consisted of a pediment with paired brackets and eared side trim for the opening. The trim outside of the structural opening of the windows had a plain wooden pediment. Most of the windows had exterior louvered shutters..

The north elevation has undergone a number of noticeable changes. The present one storey bellcast verandah was added to the north side over the main entrance probably towards the end of the nineteenth century. It had plain chamfered supporting posts and decorative fretwork along the eaves which has since been removed. The single window to the west of the main entrance has been considerably foreshortened from the original opening and a exterior brick chimney has been constructed on the outside of the north elevation through the roof of the verandah. This chimney seems to have replaced an earlier interior chimney in the same location.

An extra window has been added to the east elevation facing Sharman's Lane immediately below an original small gable window. The newer lower window opening creates an unusual feature. A modern picture window has also been added on the first floor. A one storey bay window replaced two original double hung windows on the west elevation circa mid twentieth century.

Clad in shiplap siding, the house has accenting cornerboards, a plain soffit and fascia board and return eaves in the main gables. The roof was originally covered

with wooden shingles. A large two storey barn once stood on the south side of the house but it has been demolished and a new house has been built in its former location. A wooden picket fence once separated the north elevation of the house from the land. Presently a trellis patterned fence runs along the north elevation.





Address: 406 Regent Street

Building Type: brick; front gable; 2 bays; 2 storeys

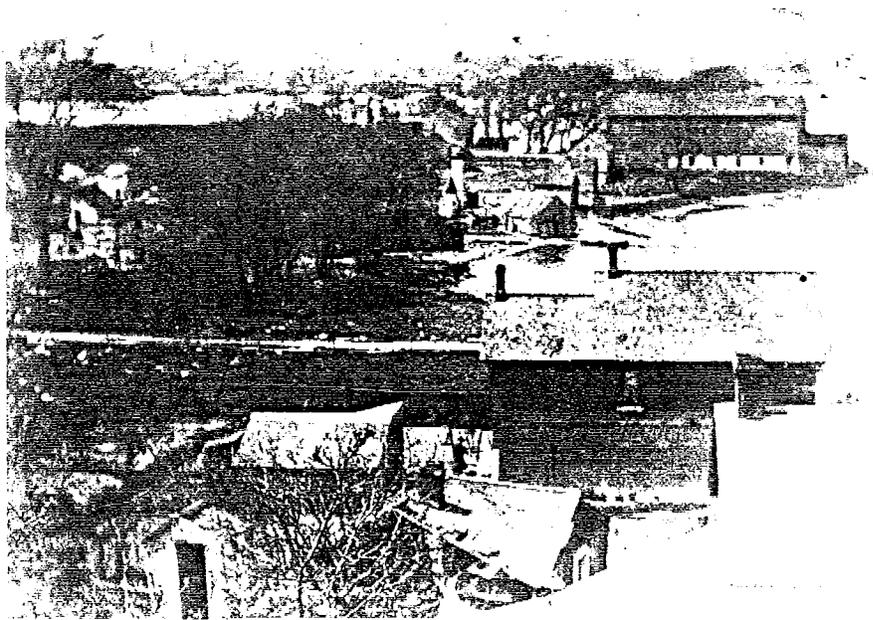
Construction Date: late 1880s

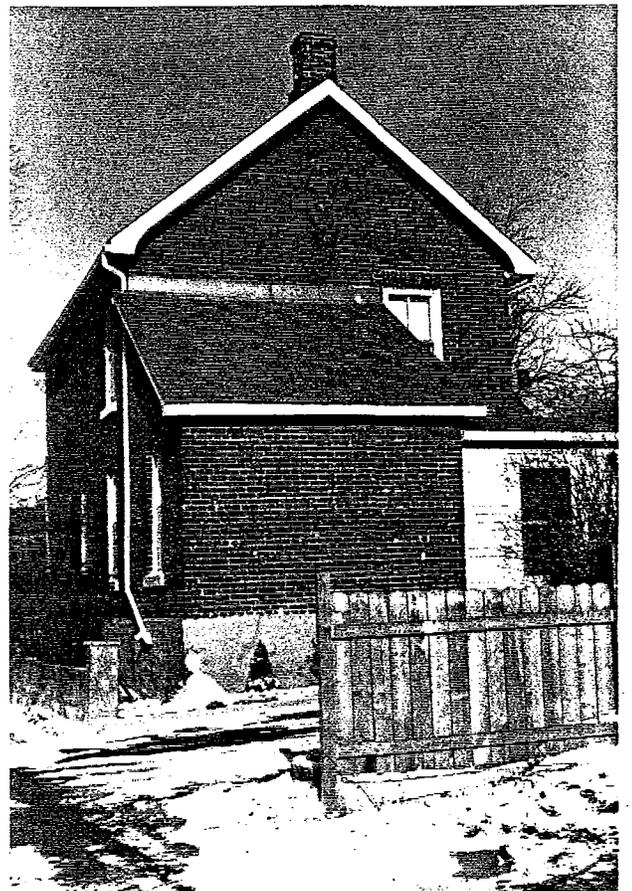
Architectural /Historical Description:

The northwest half of Lot 3 was purchased in October 1883 by Margaret and William George Grange from Jacob Sharman. George Grange, a waiter, was first listed in the Barriefield directory in 1889 perhaps indicating the year that the house was completed. The architect is said to have been a Mr. Godwin.

The overall design and plan of the house is reminiscent of the house at 402 Regent St. which was built around the same time. It is a narrow two storey brick structure with a front gable orientation and typically has a side hall entrance and interior floor plan. The brick is laid on a limestone foundation in a stretcher bond while the one storey brick addition is laid in a common bond. The first floor of the main facade which faces Regent Street has a single side entrance and a double window similar to 402 Regent St. The second floor has two single, closely placed window openings in the centre of the facade. The steeply pitched gable roof was originally covered with wooden shingles. The boxed eave has a slight curve at the bottom end on both the front and rear gables creating the ornamental effect of an arch.

The one storey front porch is not shown on the 1908 Fire Insurance Plan and would appear to be a slightly later addition to the building. It has a hip roof with doric supporting columns and a railing with balusters. Three frame outbuilding are associated with the house consisting of a privy, a driveshed and a storage shed.





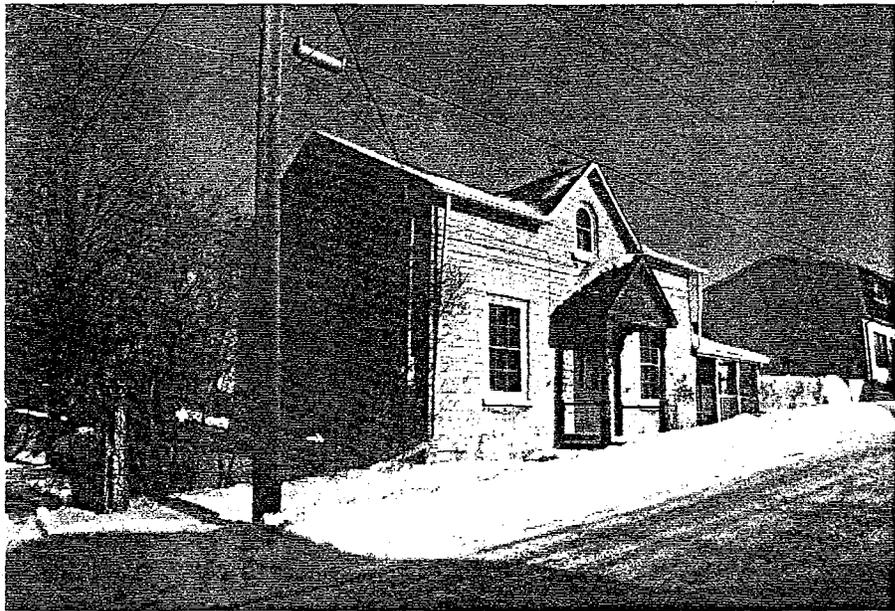
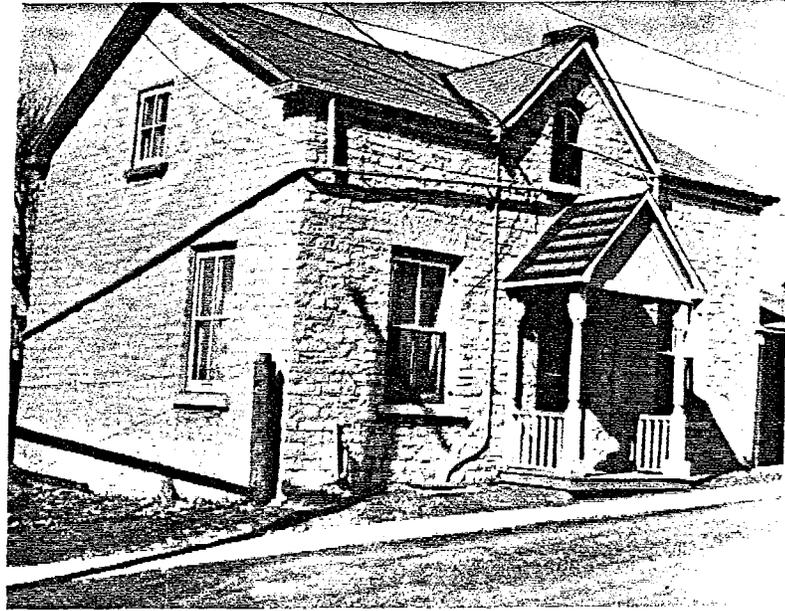
Location: 407 Regent Street

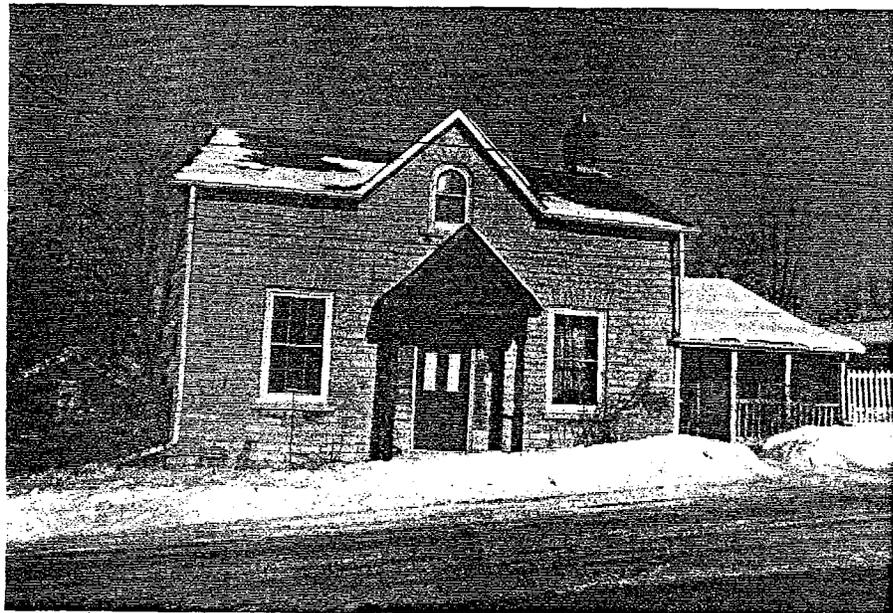
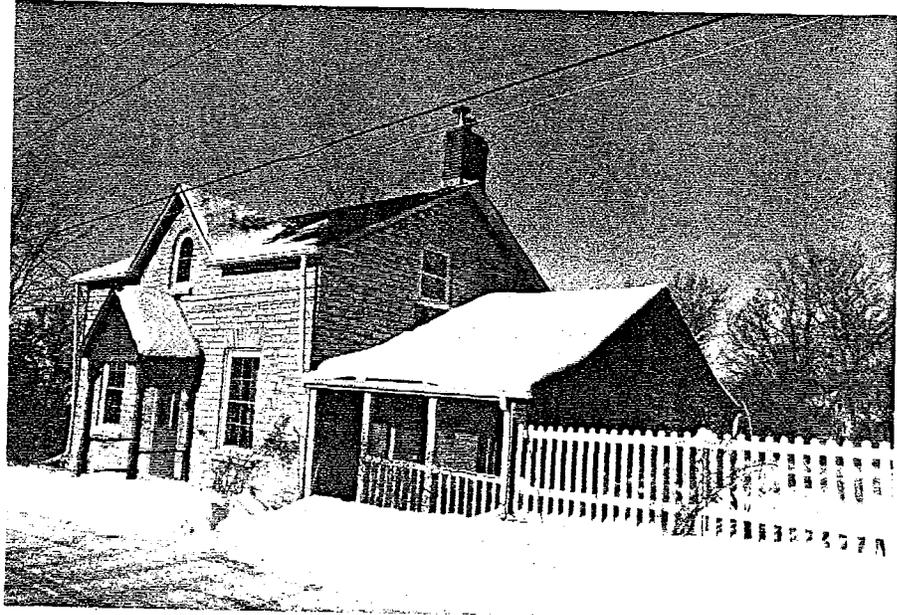
Building Type: limestone; central front gable; 3 bays;
1 & 1/2 storeys

Construction Date: 1853-1854

Architectural /Historical Description:

Built in local limestone, the traditional vernacular style of this one-and-a-half storey dwelling is typical to the area. Constructed for Robert Forbes, a local grocer, the house is rectangular in plan with a three bay front elevation consisting of a central entrance door and a single window on each side. The roof is a medium pitched central front gable. The original roofing material was wooden shingles. The front entrance is protected by a small portico which once had side railings with balusters. The central front gable has a semi-circular window and voussoir. A one storey brick addition was added to the east side of the building probably during the late 19th century. It has a bellcast roof which incorporates both front and rear verandahs into the structure. Metal hardware still extant in the stone walls indicates that the house had exterior shutters at one time.





Address: 412 Regent Street
Building Type: frame; front gable; 2 bays; 1 & 1/2 storey
Construction Date: circa 1890

Architectural /Historical Description:

This portion of Lot 5 was sold to local builder William Allen in 1888. It is believed that William and Frederick Allen erected this house circa 1890. The house was purchased by Hannah Navisson in 1905 and is clearly shown on the 1908 Fire Insurance Plan.

One of several structures built in Barriefield by the Allen Bros., its front gable roof and two bay main facade with a side entrance is typical of the late nineteenth century vernacular domestic architecture. Set on a limestone foundation, the original shiplap siding is now covered with insulbrick and shingles. The steeply pitched roof has a returned eave detail on the front elevation. The window trim is wooden with a triangular shaped head. A one storey front entrance vestibule with a gable roof enclosed the front entranceway.



Address: Township Hall/Library, 414 Regent Street

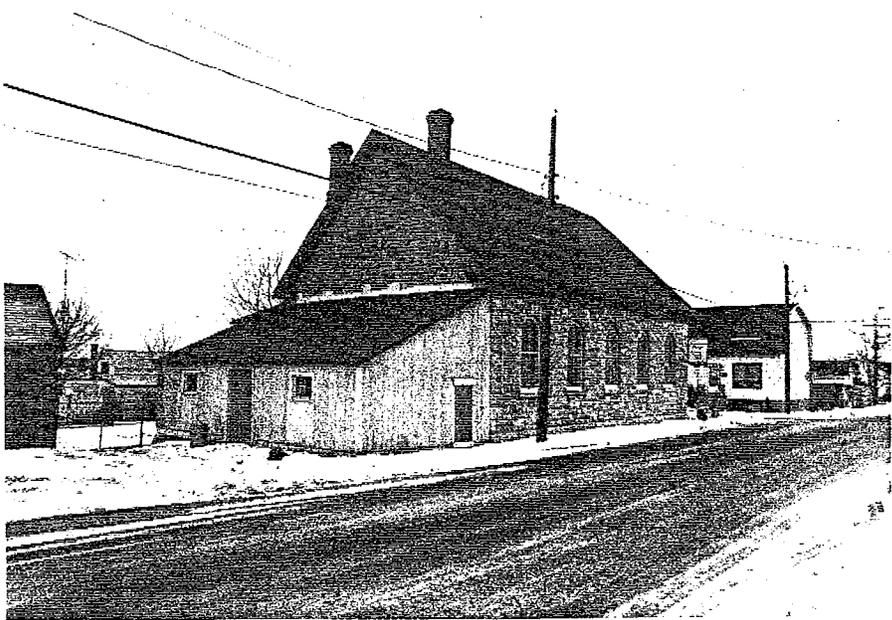
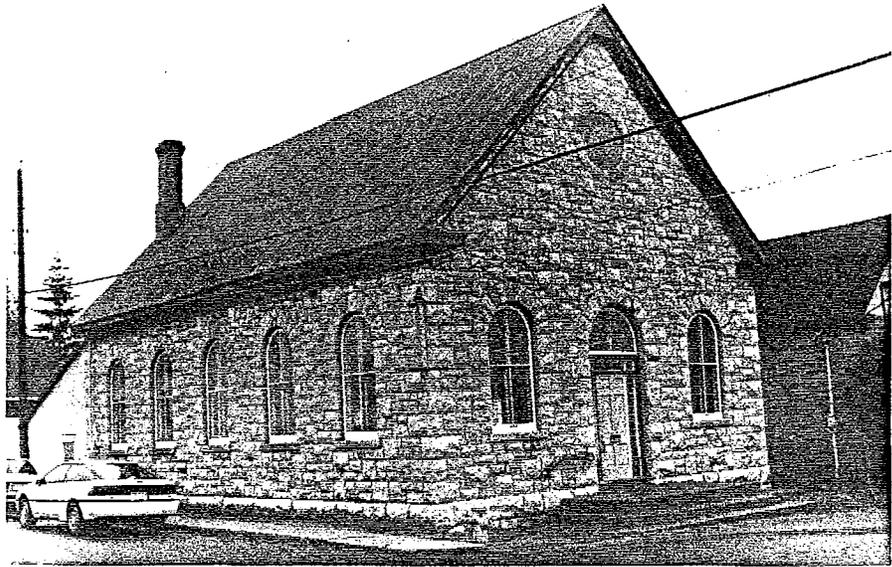
Building Type: stone; gable roof; three bays; front gable

Construction Date: 1886

Architectural /Historical Description:

Located on the southwest corner of Regent and Drummond Streets, this prominent and fine limestone public building was built in 1886 as the Pittsburgh Township Hall. The original mason was Robert Free. The building has been recently restored and converted to a township library.

The limestone is squared and dressed and laid in a broken course. The corners are emphasized by quoins as are the window and door openings. It has a rectangular plan with the short end towards Regent Street. The side elevations are divided into five bays with semi-circular window openings. The main facade has a central entranceway with sidelights and a semi-circular double transom with flanking semi-circular windows, one on each side. A datestone and inscription are located in the gable peak over the main entrance. Each gable end has a returned eaves. Two tall brick chimneys are located on either side of the gable ridge to the rear of the building. According to the 1908 Goad's Fire Insurance Plan the roof was once covered with wooden shingles. It presently has a metal roof. A large one storey frame addition with a shed roof extends from the back of the building.



Address: 413 Regent Street

Building Type: frame; side gable; 3 bays; 1 & 1/2 storeys

Construction Date: circa 1830

Architectural /Historical Description:

Located on a northeast corner of Regent and Drummond Streets, this one-and-a-half frame house was built by Stephen Yarwood, a local dockyard worker, circa 1830. It was purchased in 1843 by Nicholas Cross, a local carpenter. Rectangular in plan with a side gable roof, the main facade is divided into three bays with an off-centre main doorway. A one storey addition with a shed roof is located on the east elevation and is located flush to the front wall of the main building. A massive brick fireplace inset from the east gable end services three interior fireplaces. Modern aluminium siding hides the original clapboard siding and detailing. The original roofing material was wooden shingles.



Address: 417 Regent Street

(formerly 415 Regent St.)

Building Type: stone; side gable with later front gable dormer;

3 bays; 1 & 1/2 storeys

Construction Date: circa 1830s

Architectural/Historical Description:

Built circa 1830 by stonemason George Hyland, this small vernacular one-and-a-half storey stone cottage was sold in 1840 to Patrick Curtis, a local labourer. Curtis sold the property in 1870 to Mary Stanton and Nathaniel Stanton, a cabinetmaker.

The building has a rectangular plan with a typical three bay front elevation consisting of a central doorway and two flanking windows, one on each side. The medium pitched side gable roof slightly projects at the eaves and has a single brick chimney inset on the east gable end. The roof was once covered with wooden shingles. A large gable dormer was added to the main elevation at a later date. The large blocks of roughly squared limestone are laid in a broken course with oversized quoins on the corners and around the window openings. According to the 1908 Fire Insurance Plan, a one-and-a-half storey building was once attached at the east side of the structure and a one storey frame addition extends to the rear. A frame garage was removed from the east side recently.



Address: 418 Regent Street

Building Type: frame; side gable; 3 bays; 1 storey

Construction Date: circa 1900; moved to present site 1950

Architectural /Historical Description:

This small vernacular one storey frame building was originally built for commercial purposes on the south half of Lot 7 at 242 James Street. Florence and William Peters moved the building to its present location on Regent Street around 1950 and converted it to residential use. It has shiplap siding with cornerboards, a plain fascia board and a low shed roof. The main facade is divided into three bays with a central doorway. The window trim is simple but distinguished by triangular shaped window heads. A small addition extends from the southeast corner of the main building.



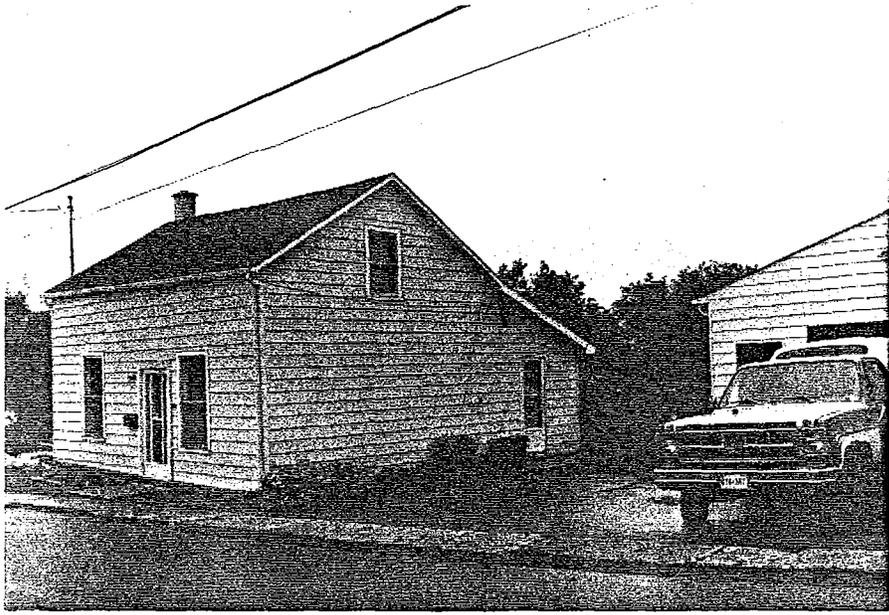
Address: 419 Regent Street

Building Type: frame; side gable; 3 bays; 1 & 1/2 storey

Construction Date: circa 1850

Architectural /Historical Description:

This small one-and-a-half storey vernacular frame dwelling was constructed on a limestone foundation with a rectangular plan and a low pitched side gable roof. A central brick chimney has been removed and a modern concrete block chimney is now located on the outside wall of the west elevation. The original wooden siding is now covered with modern aluminium siding which obscures any original detailing. The main facade is divided into three bays with an off-centre entranceway. A later rearward addition has created a "saltbox" appearance to the building from the side elevations.



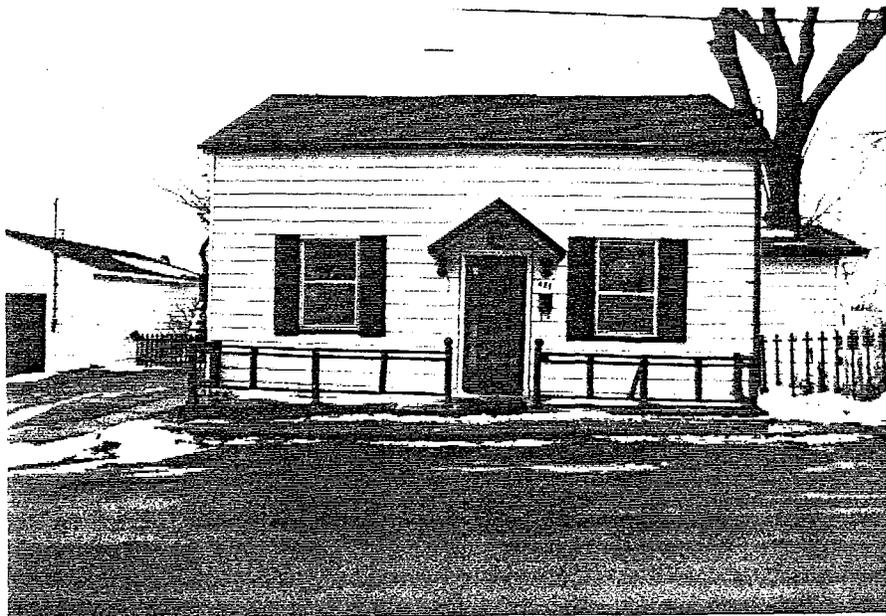
Address: 421 Regent Street

Building Type: frame; side gable; 3 bays: 1 & 1/2 storeys

Construction Date: late 19th century

Architectural /Historical Description:

Believed to have been constructed by local labourer George Batten after 1874, this small one-and-a-half storey frame vernacular cottage is rectangular in shape and has a low pitched side gable roof. The main facade is divided into three bays with an off-centre main entrance door. A small one storey addition extends from the rear giving the structure an "L" shaped plan. Originally clad in wooden siding the structure now has modern aluminium siding. The window and doors have been replaced with modern units.



Address: 423 Regent Street

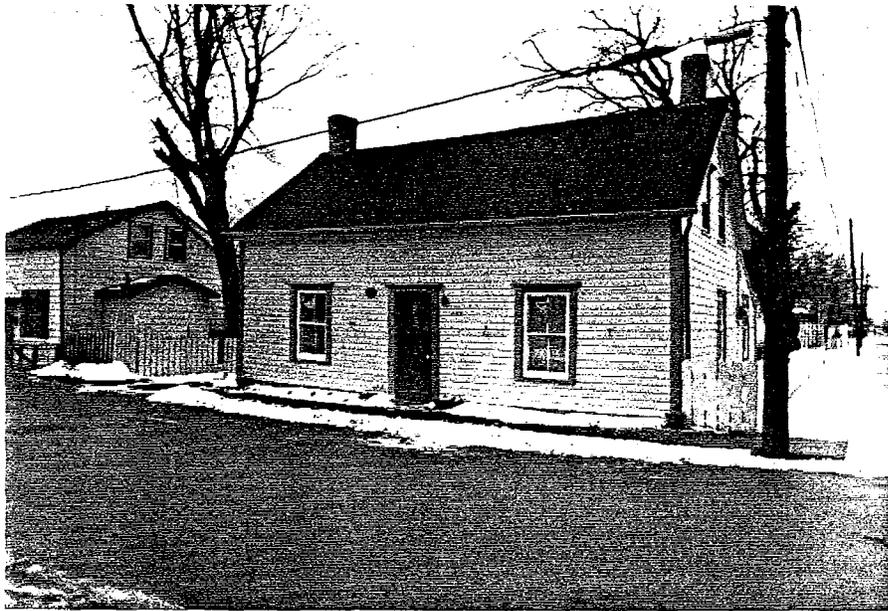
Building Type: frame; side gable; 3 bays; 1 & 1/2 storeys

Construction Date: circa 1880

Architectural /Historical Description:

Newly restored, this building was erected circa 1880 by George McAllister. It is a typical vernacular frame building, one-and-a-half storeys, medium pitched side gable gable roof and a three bay main facade with a central entrance. Two brick chimneys are inset on each end gable. A third chimney runs up the rear wall internally. The eaves have a wide overhang on the front section and are flush on the rear addition. The siding is shiplap with accenting cornerboards, watertable and simple but intrinsic wooden window and door trim with a projecting hood.

A one storey shed roof addition was added to the full width of the main building prior to 1908 creating a "saltbox" appearance. Each side elevation of the main building has two second storey windows and one northerly placed first floor window. The property has been enclosed with a wooden picket fence highlighting the corner property.



Address: James Medley House, 230 James Street

Building Type: stone; central front gable; five bays;

1 & 1/2 storeys

Construction Date: 1856-57

Architectural /Historical Description:

This property was purchased by local tailor James Medley in 1852. He proceeded to build the present house in 1856 or 1857 on the site of an earlier frame dwelling.

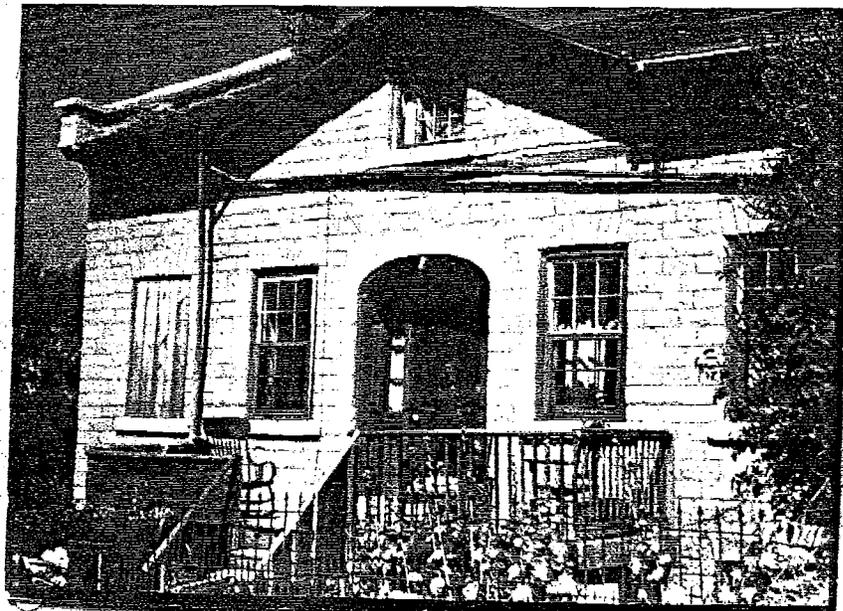
In the process of being restored and renewed after a fire in the 1980s, the main house is a one-and-a-half storey limestone structure built into the downward slope of the lot. The limestone is squared and dressed on the main facade. It is evenly coursed on all elevations. Originally the house had a fully exposed basement wall on the west and north elevation and a front basement wall with windows which was exposed within a light well under an early porch. The front basement wall was not originally completely visible from the street due to the ground level and a wrought iron fence which enclosed the yard. However, recent landscaping changes have lowered the ground level at the front of the house exposing the front basement wall to full view from the street. Only a representational fragment of the wrought iron fence remains.

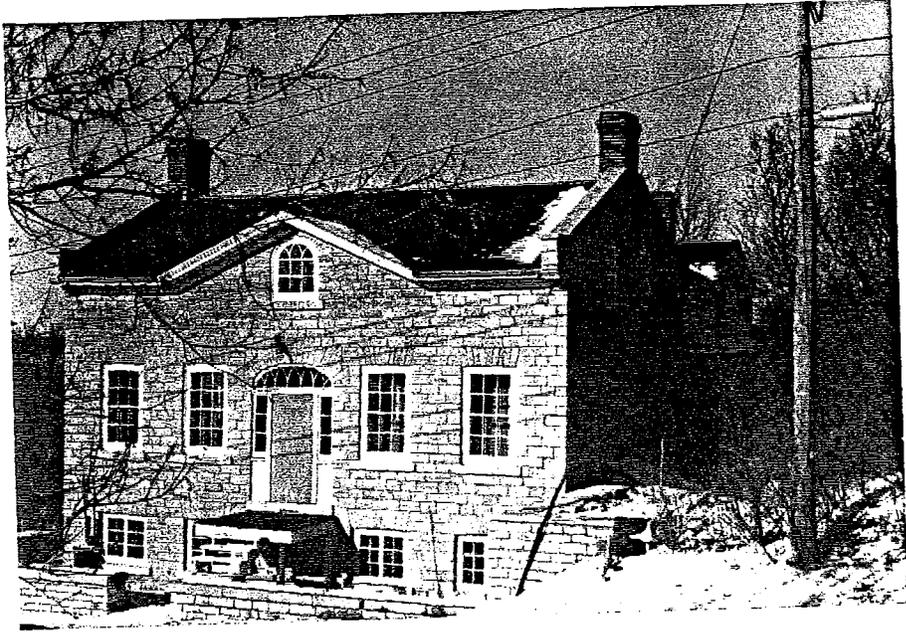
The long side of the rectangular plan is oriented to James Street and a rear addition forms an "L" shaped configuration. The main elevation is five bays wide with a central doorway and two windows on each side. The main entrance door has an elliptical fanlight with tracery and half sidelights with bottom panels. This entrance is not longer used as the principal entry to the house. Historical photographs indicate that the door frame was once inset into a panelled embrasure. Today it is almost flush with the outer wall plane. The roof is a medium pitched central front gable and gable parapets with two inset brick chimneys. A plain moulding runs under the eaves. A semi-circular window with tracery is located in the central gable.

As mentioned historical photographs show that an open porch once stood at the main entrance to the house. One photograph shows a wooden porch or platform without a roof or railing extended across the full width of the main facade. Another

photograph shows a smaller open wooden porch with a railing and balustrade around the edge and down the front stairs.

A one-and-a-half storey stone addition on the rear of the house was raised during the recent renovations and an upper storey of board and batten was added.





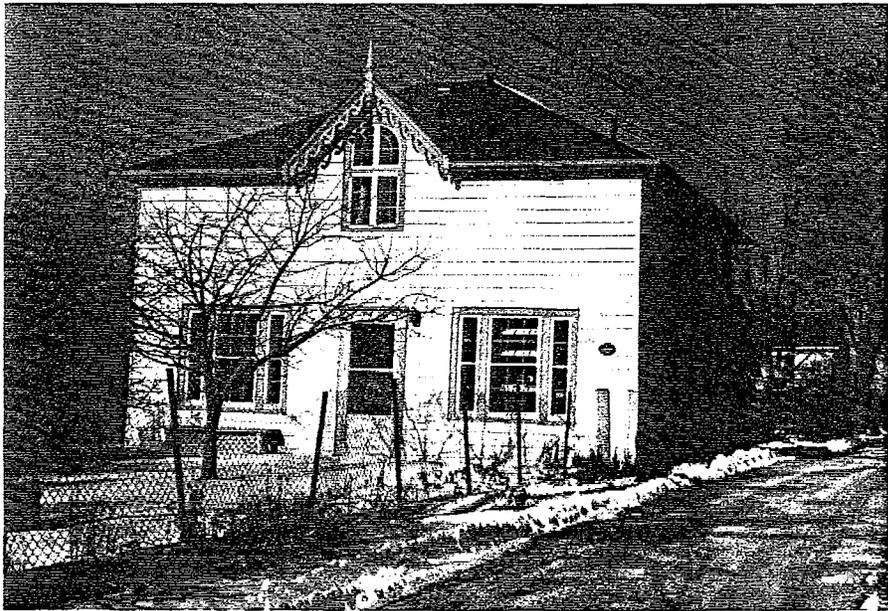
Address: Sharman House, 232 James Street

Building Type: frame; hip roof with central front gable; 3 bays;
2 storeys

Construction Date: 1860s; renovation of earlier 1820s house

Architectural /Historical Description:

In 1863 Jacob Sharman, a local carpenter and boat builder, purchased village lots 2 and 3 which included a small one storey frame house dated circa 1820 built by John Ferguson. It is believed that Sharman incorporated this earlier dwelling in the present structure. The present two storey frame building is square in plan with a three bay front elevation and central door. The medium pitched hip roof has a central front gable. This gable has a semi-circular gothic-style window which has recently been restored as well as decorative looped vergeboard and a pendent/finial at the peak. The original clapboard cladding has been covered over with modern aluminium siding. At one time an open verandah with trim similar to the vergeboard stood on the front elevation. The venetian style window openings on the ground floor of the main elevation are part of circa 1860s renovation while the window sashes are modern additions.



Address: 234 James Street

Building Type: frame; hip roof; 3 bays; 1 storey

Construction Date: circa 1940s/1950s

Architectural /Historical Description:

This simple vernacular frame building is typical of the many post World War II houses constructed during the 1940s and early 1950s. It is one story in height set on a high concrete foundation and has a hip roof. The siding is insulbrick and a small open entrance porch with squared columns is located at the front facade. The main elevation is divided into three bays with a central doorway and one window on each side. The plan is rectangular with the short side facing the street.



Address: Pittsburgh Inn, 236 James Street
(formerly 201 and 1 Main St.)

Building Type: limestone; side gable with later centre front
gable addition; 5 bays; 2 storeys

Construction Date: circa 1838-1840

Architectural /Historical Description:

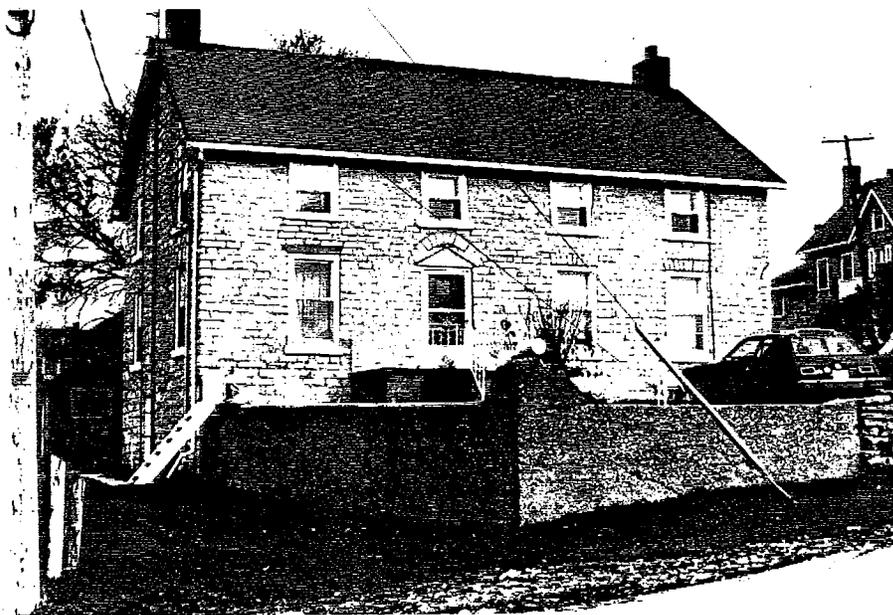
William Walker purchased the east third of the south half of lot 3 from widow Ann Gray in 1831 which included a house probably built by Samuel Gray after 1817. Walker then bought the remaining half of the south part of lot 3 later in the same year. It would appear that the present two storey limestone building was constructed circa 1838 to 1840 by William Walker as a tavern. Named the "Pittsburgh Inn" by 1842, this hostelry had several tenant proprietors. In 1843 proprietor James Medley held a meeting in the building to promote the construction of St. Marks Church. William Rees was the proprietor of the tavern in 1862-65.

William Walker sold the property to William Hutton in 1867. Hutton changed the named of the establishment to the "Dominion House". The Hutton family owned the property from 1867 to 1925 when it was sold to Robert Gray. Gray owned the property until 1961.

The plan of the building is rectangular with the main elevation of the building along the long axis facing James Street. It is divided into four bays with the door located west of the centre. It would appear that the main door opening was substantially altered in the past resulting in a former semi-circular window over the door being blocked up. After the alterations, a small gable portico stood over the front door as indicated by the markings on the stonework. It would appear that the first floor window voussoir on the west end has also been altered since it does not have the radiating stone voussoir typical of the other windows. A larger picture window has been added to the east facade and it is possible the the door on this elevation was originally a window.

The high pitched side gable roof has overhanging eaves and was once covered with wooden shingles. Two brick end chimneys are inset on each gable end. The 1908

Fire Insurance Plan shows a extensive addition off the north end of the building consisting of a one storey stone addition with a gable roof and a two storey frame addition with a hip roof attached to the north elevation. They have both since been removed.





Address: 238 James Street

Building Type: frame; side gable; 3 bays; 1 & 1/2 storeys

Construction Date: circa 1814 -1820

Architectural /Historical Description:

Once part of the Barriefield House property, the main section of this frame house is believed to have been built by William Baker sometime after 1814 and before 1820. The frame house is mentioned in a 1822 sale document for the Barriefield House property and is included in the 1842 Ordnance Map of the village. This lot was severed in 1851 and sold to John Medley, a local butcher.

The original frame section of the house is one-and-a half storeys in height and is set on a stone foundation. It has an original rectangular plan but numerous additions have been added over the years including a front facing garage on the west end of the building which projects forward from the original house. The garage appears to have replaced a one storey frame addition shown on the 1908 Goad's Fire Insurance Plan. A front verandah runs the width of the main facade of the original building.

The main facade is asymmetrical and divided into three bays with an off-centre doorway and two windows, one on each side. A more recent gable dormer has been added to the front of the building. A stone chimney is inset on the east gable end.



Address: 244 James Street

Building Type: frame; front gable; 2 bays; 1 & 1/2 storeys

Construction Date: 1907

Architectural /Historical Description:

Although it is known that there were buildings on this property during the nineteenth century, the present house was not erected until 1907 by local farmer William Toner. The builders were apparently Herbert Dowler, a local carpenter, and Bill Milton, a farmer. Frederick and Clara Radwell purchased the house in 1919 and sold it in 1926 to Florence and James Blake who owned the property until 1950.

The main structure is a one-and-a-half storey frame house with a steep front gable roof and a typical two bay, side entrance plan. A single brick chimney stands on the roof ridge to the rear of the house. A simple open one storey verandah wraps around the front and north elevations. It is supported by decorative turned posts. Although presently clad in aluminium siding, the house once had wooden siding and wooden roof shingles. Two one storey additions stand to the rear of the main block.



Address:: 246 James Street

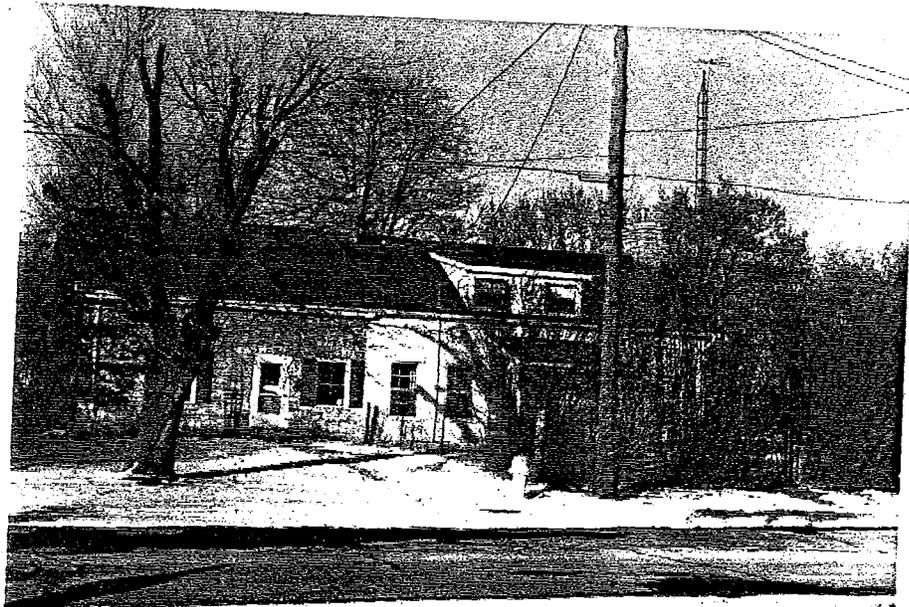
Building Type: limestone; side gable; 3 bays; 1 & 1/2 storeys,
semi-detached

Construction Date: 1830-1840

Architectural /Historical Description:

It would seem probable that 246 and 248 were not built at the same time. The older section at 248 was probably built during the 1820s while 246 was added by 1840. The land records indicate that David Morton, an innkeeper, and Daniel Kittle and Charles Wilson had purchased the property including all houses, outhouse and other buildings erected as tenants in common in 1829. According to LACAC research, notes, "Morton's Inn", one of the earliest taverns in Pittsburgh Township was operating out of the building by 1830.

The two houses are similar in building material, plan, roof structure and height. Built in limestone rubble, the one-and-a-half storey structure at 246 James Street has a medium pitched side gable roof and a front facade divided into three bays with a slightly off-centre entrance door and two single windows, one on each side. The window openings on 246 are more square than 248 and shorter in height and have radiating stone voussoirs and no sill. The 6/6 lights in the window sash have been retained. Although originally wood shingles, the roof is now clad in metal roofing.



Address: 248 James Street

Building Type: stone covered with stucco; side gable with later central shed dormer; 5 bays; 1 & 1/2 storeys

Construction Date: circa 1820s

Architectural /Historical Description:

It would seem probable that 246 and 248 were not built at the same time. The house at 248 was probably built during the 1820s while 246 was added by 1840. According to the land records, David Morton, an innkeeper, and Daniel Kittle and Charles Wilson purchased the property including all houses, outhouse and other buildings erected as tenants in common in 1829. According to LACAC research, notes, "Morton's Inn", one of the earliest taverns in Pittsburgh Township was operating out of the building by 1830.

The two houses are similar in building material, plan, roof structure and height. Built in limestone rubble, the one-and-a-half storey structure at 248 James Street has a medium pitched side gable roof and a five bay front facade with a central doorway and two windows on each side of the entrance. The exterior stonework has been stuccoed. The window openings at 248 are rectangular in shape and longer than 246. The 6/6 lights in the window sash have been retained. The entrance door has multi-paned rectangular sidelights with a lower wooden panel. A modern shed dormer has been added to main elevation.

According to the 1908 Fire Insurance Plan, 248 had a full width one storey verandah across the front facade. It has been replaced by a shed roof portico over the entrance. The one storey rear addition to the house existed on the Fire Insurance Plan of 1908. A large stone chimney is located between the two houses slightly inside the wall of 248. A second stone chimney is found on the east end of 248.



Address: 6-8 Drummond Street

Building Type: limestone; hip; 4 bays; 2 storeys

Construction Date: circa 1814 to 1819

Architectural /Historical Description:

This house is believed to be one of the oldest in Barriefield. Lot 6 between James and Regent Streets was purchased in 1814 by widow Catherine Milks from Richard Cartwright. It would appear that a house was constructed on the southerly portion of the lot between 1814 and 1819 before it was sold to Thomas Chittle of the Mounted Royal Veterans Volunteers. In all likelihood, the present structure is the house shown on the 1827 map of Barriefield. The house was sold by auction in 1821 and bought by William Usher, a sergeant of the 76th Regiment at Fort George.

Although now divided into a duplex, it would seem most likely that it was built as a single dwelling with a central doorway. It is a two storey building with a rectangular plan. A more recent two storey wing has been added to the rear of the building creating a "T" shaped plan.

The stone exterior has been covered with stucco. It has a low hip roof with two inset gable end brick chimneys. The main elevation is divided into four bays with two centrally located entrances and side windows. The window sash consist of 6/6 lights. The house is very austere with little or no exterior architectural detailing.



Address: 10 Drummond Street

Building Type: frame; side gable; 4 bays; 1 & 1/2 storeys

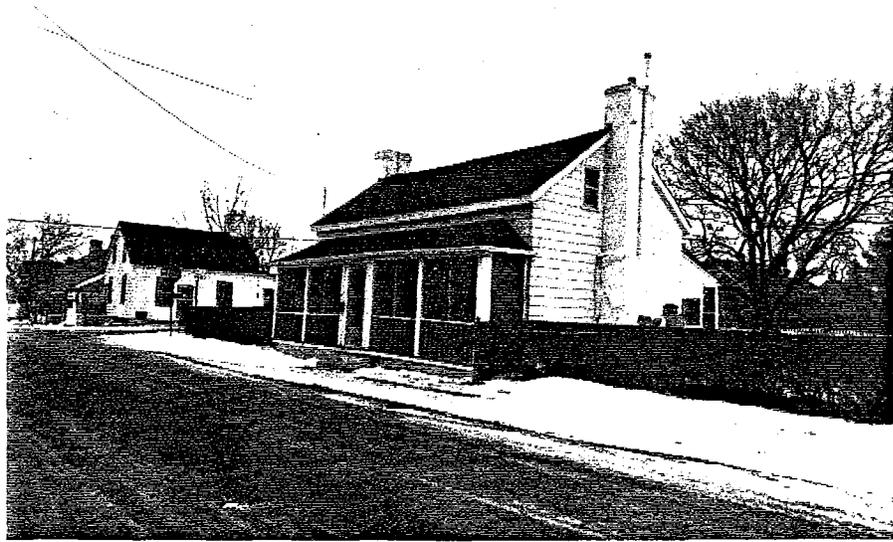
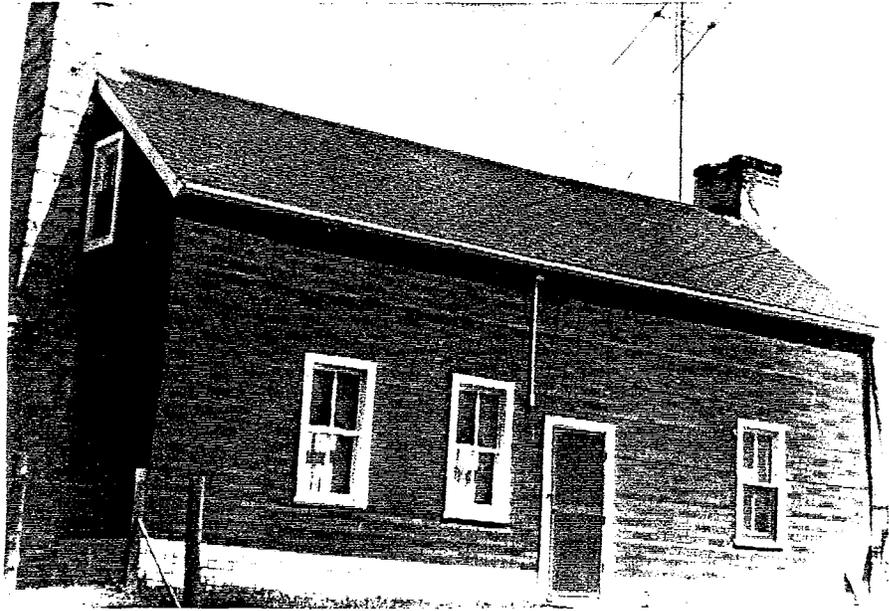
Construction Date: circa 1824 to 1831

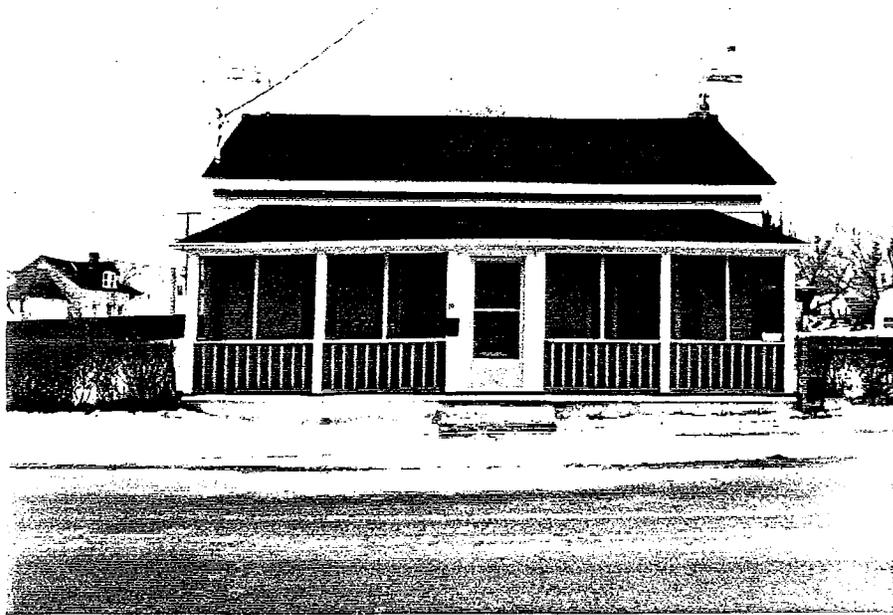
Architectural /Historical Description:

This property was once part of Lot 6 which was purchased by Catherine Milks in 1814 and sold to Thomas Chittle in 1819. The exact construction date is unknown but has been estimated between 1824 and 1831 during the the ownership of Thomas Chittle.

This one-and-a-half storey frame house has a rectangular plan with the long side facing Drummond Street. Two small one storey additions are located on the east side. The medium pitched side gable roof was originally clad in wooden shingles. Two large stone chimneys run up the outside end walls of the house.

Probably once covered with wooden siding, the house is now wrapped in modern synthetic siding which has completely obscured any original detailing. The original four bay facade has been altered with the replacement of the east double hung window with a large picture window The doorway is off-centre with two window openings on the west side. The one storey front porch has been enclosed by a screen.





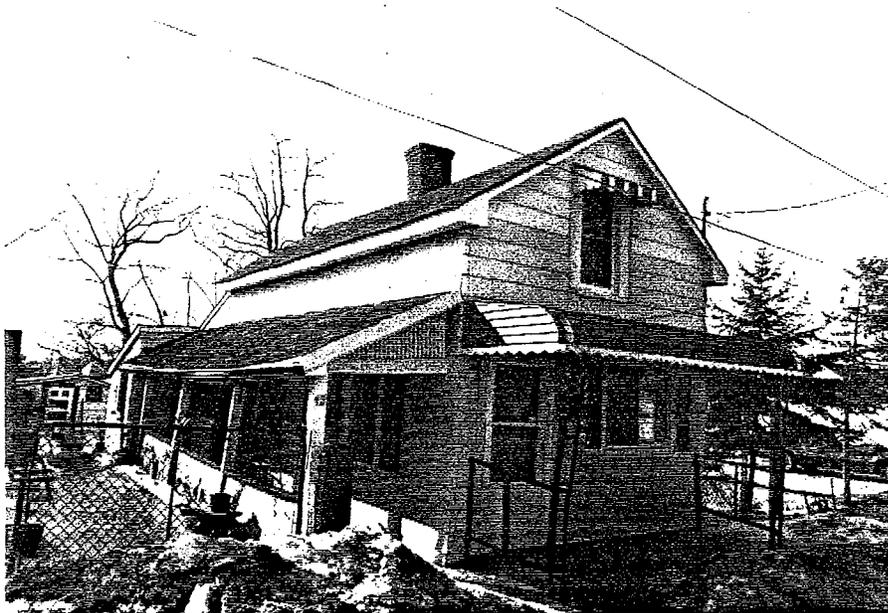
Address: 13 Drummond Street

Building Type: frame; gable front; 2 bays; 1 & 1/2 storeys

Construction Date: circa 1900

Architectural /Historical Description:

Built by Jack Esford circa 1900, this one-and-a-half storey vernacular frame house was enlarged by Albert Tisdell soon after it was constructed. It has a rectangular plan with the short end facing Drummond Street. An original central brick chimney is found on the medium pitched gable roof. A one storey side porch has been added to the north facade and a large aluminium awning stretches across the front facade.



Address: 12-14 Drummond Street

Building Type: stone; side gable; 2 storey

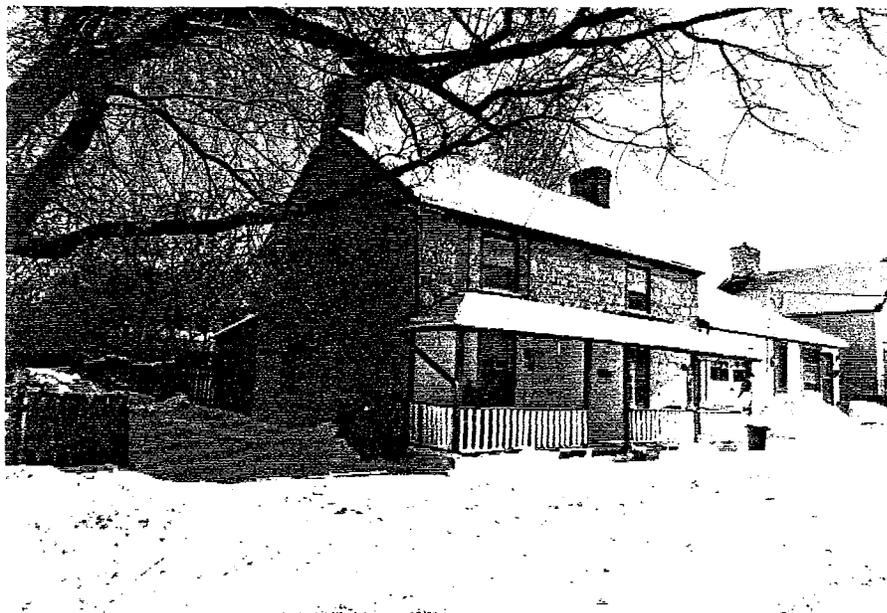
Construction Date: circa 1830-1837

Architectural /Historical Description:

Built by shoemaker James Pentland between 1830 and 1837, this house was sold to Gabriel Belwa, a cooper, in 1840. Son Charles Belwa served as township clerk for many years. The house was purchased by the Warmington family in 1909.

This simple two storey coursed rubblestone house is rectangular in plan with the long axis to the street. The corners are accented with quoins. The main facade is divided into 3 bays on the ground floor with an off-centre entrance door and two windows. The second floor has two windows set over the first floor windows. The roof is a medium pitched side gable with a slightly projecting eaves on the front and back. The eaves are flush with the side walls as are the two brick chimneys set on each gable end. A one storey verandah with a hip roof stretches across the full width of the front facade. It has plain posts and a plain hand railing with square balusters.

The one storey frame addition on the east side is now used as a garage and a rental unit (#12). A rear frame addition is also one storey.



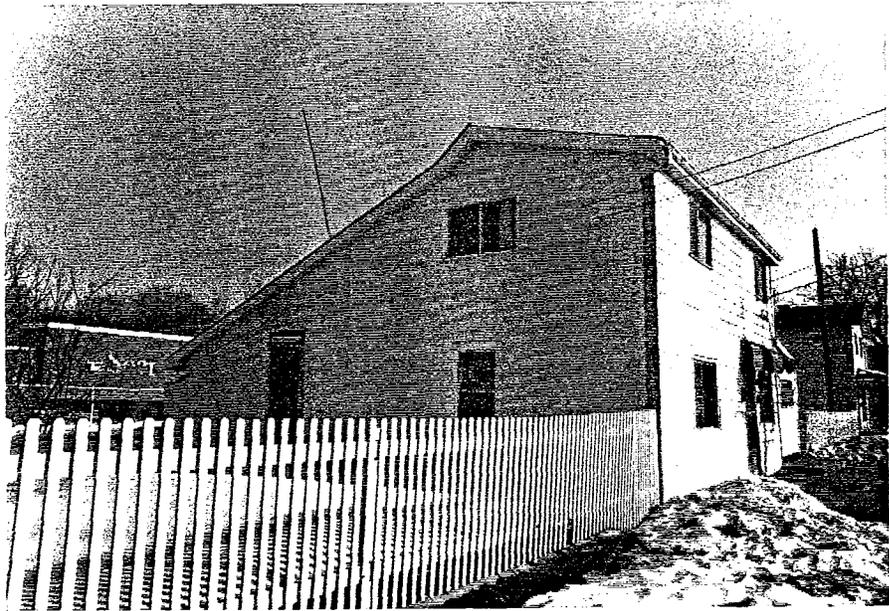
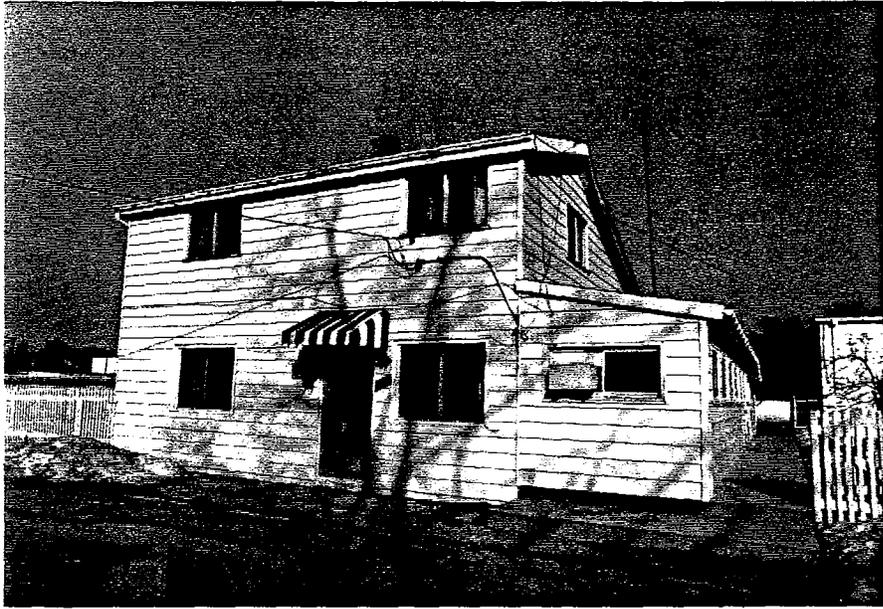
Address: 18 Drummond Street

Building Type: frame; side gable with later shed dormers; 3 bays;
1 & 1/2 storeys

Construction Date: circa 1830-1840

Architectural /Historical Description:

Located on the east corner of Drummond and Wellington Streets, this frame house is believed to have been constructed between 1830 and 1840. It has a rectangular plan with a side gable roof and a central brick chimney. The roof line has been raised on the front elevation from the original one-and-one half storey to two storeys. The main elevation is divided into three bays with an off-centre entrance door and two flanking picture windows, one on each side. An older rear addition and a more recent side addition have altered the overall configuration of the original structure.



Address: 7 George Street

Building Type: frame; front gable; 2 bays; 1 & 1/2 storey

Construction Date: late 19th century

Architectural /Historical Description:

Constructed by local builders William and Frederick Allen, this one-and-a-half story frame house has a rectangular plan with a medium pitched front gable. The main facade is divided into two bays with a side entrance and a large picture window which has replaced an earlier double hung unit. Originally covered in shiplap cladding, the house is now wrapped in aluminium siding. The original window trim consisting of shaped wooden lintels and flat side trim has been removed. A one storey addition stands on the north side.



Address: 9 George Street

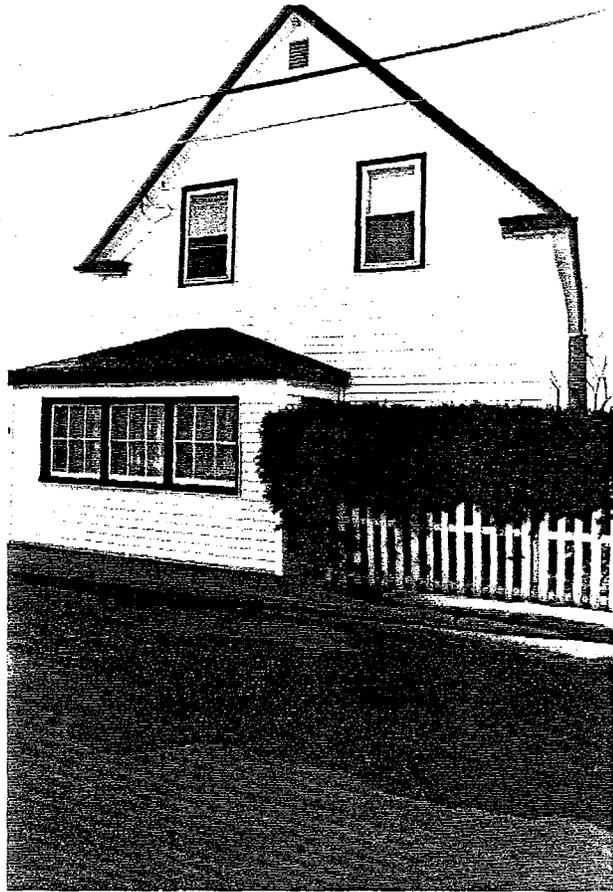
Building Type: frame; front gable; 2 bays; 1 & 1/2 storeys

Construction Date: late 19th century

Architectural /Historical Description:

This house was also constructed by local builders William and Frederick Allen in the late nineteenth century. It consists of a one-and-a-half storey front gable with a side entrance. The main elevation was probably divided into two bays originally but the side window appears to have been blocked up. The steep gable roof has a boxed eave and a returned eave. Once clad in wooden siding, the house is presently covered with aluminium siding. A one storey enclosed vestibule is located at the front entrance.





APPENDIX 4: Building Condition Survey

4.0 BUILDING CONDITION SURVEY

4.1 Introduction

The rich architectural diversity of Barriefield dates from the early nineteenth century. Different building materials, techniques and technology have been used throughout the district.

This building condition survey was conducted during December 1989 and was limited to a visual inspection conducted from the street or sidewalk. Consequently some of the opinions expressed are based upon our experience with similar building types, materials or construction techniques. Interior problems resulting from exterior conditions are not noted in this survey.

This section was assembled to provide property owners within the district with some information concerning the present physical state of their buildings. It is hoped that some this information will be used to assist individual property owners when contemplating any future restoration or conservation work and/or repair and maintenance plans and by LACAC when reviewing proposal applications for additions, alterations and/or restoration work when grant monies are involved.

Generally, the buildings within the Barriefield heritage conservation district are in good condition. The restoration and repair efforts of many property owners show a great degree of care and appreciation for their heritage buildings. The principal problems noted during the survey include:

- the need for roofing material renewal;
- deteriorated masonry chimneys and flashing;
- paint adhesion failure contributing to wood decay;
- decay of masonry pointing;
- foundation settlement; and
- inadequate or leaking eavestroughing and drainage.

4.2 Building Condition Survey

ADDRESS:	277-279 Main St.
CONSTRUCTION DATE:	
BUILDING CONDITION:	Good
ROOF	Asphalt shingle.
WALLING	The building is covered in synthetic siding except on the south elevation.
DOORS/WINDOWS	Most windows are metal clad.
PORCHES	Requires renewal and maintenance of existing fabric. The steps and handrail need to be cleaned and painted.
EXT. WOODWORK	There is very little woodwork left to conserve.
FOUNDATIONS	They are in reasonable condition.
EAVESTROUGHS	Fair. Some small leaks appear on the main building.
STREETSCAPE CONTEXT:	Highly prominent
SETBACK	Moderately from road.
COMMENTS:	The television tower at the south elevation does not enhance the property.

ADDRESS:	273 Main St.
CONSTRUCTION DATE:	c.1824
BUILDING CONDITION:	poor
ROOF	The present asphalt roofing is in very poor condition and requires renewal. The rear shed roof has a hole in its surface. The rear chimney parging has failed revealing cracked brickwork.
WALLING	Clapboard siding should be scraped and repaired where necessary and painted. The rear stone wall is covered with failed parging. Settlement crack occur at the N-W corner.
DOORS/WINDOWS	A mixture of 2x2 and 6x6 wooden windows exist. Some are covered in aluminium storms. The window trim needs painting and missing sections should be replaced in kind. Some door panels are split.
PORCHES/ EXT. WOODWORK	Requires repair, scraping and painting.
FOUNDATIONS	The main frame structure is in fair condition while the stone wing is in poor shape.
EAVESTROUGHS	Poor
STREETSCAPE CONTEXT:	Highly prominent
SETBACK	Normal residential placement
COMMENTS:	The building is vacant at present. Maintenance work has not been completed with regularity.

ADDRESS:	269 Main St.
CONSTRUCTION DATE:	
BUILDING CONDITION:	Generally good
ROOF	May require shingle replacement in the next few years
WALLING	Appears sound.
DOORS/WINDOWS	
PORCHES	
EXT. WOODWORK	
FOUNDATIONS	
EAVESTROUGHS	
STREETSCAPE CONTEXT:	Highly prominent
SETBACK	On ridge overlooking river.
COMMENTS:	Good sized lot, well treed with stone garden wall at road edge.

ADDRESS: 249 Main St.

CONSTRUCTION DATE: c. 1830s

BUILDING CONDITION: Well maintained.

ROOF Wood shingles appear in good condition.

WALLING Some areas of repointing have inappropriately over-buttered joints. As well, some portland cement was used . A parging or wash has been removed from the front elevation.

DOORS/WINDOWS

PORCHES

EXT.WOODWORK

FOUNDATIONS Stone is in good condition.

EAVESTROUGHS Good

STREETSCAPE CONTEXT: Highly prominent

SETBACK Close to road.

COMMENTS:

ADDRESS: 247 Main St.

CONSTRUCTION DATE: 1830

BUILDING CONDITION: Well maintained

ROOF

WALLING

DOORS/WINDOWS

PORCHES Good. Some painting required.

EXT. WOODWORK

FOUNDATIONS Appear good.

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK At road edge.

COMMENTS:

ADDRESS: 239 Main St.

CONSTRUCTION DATE: c. 1818 -1819

BUILDING CONDITION: Good

ROOF Metal roof with paired brick chimneys in good condition.

WALLING Stone with sound pointing.

DOORS/WINDOWS Lower shutters missing on front elevation.

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK At road edge.

COMMENTS: Markings of original 1 and 1/2 storey roofline visible on side elevations of present building.

ADDRESS: 233 Main St.

CONSTRUCTION DATE: c. 1821-1830

BUILDING CONDITION: Well maintained.

ROOF

WALLING Various types of mortar used in repointing.
A more sympathetic repointing job should be contemplated in the future.

DOORS/WINDOWS Aluminium storms in place.

PORCHES

EXT.WOODWORK

FOUNDATIONS

EAVESTROUGHES Sign of some water leaks which should be repaired.

STREETSCAPE CONTEXT: Highly prominent

SETBACK At road edge.

COMMENTS: The garage door entrance could have had a more carriage like appearance when built.

ADDRESS: 223 Main St.

CONSTRUCTION DATE: c.1834

BUILDING CONDITION: Generally fair.

ROOF The ridge beam is sagging and should be corrected when the next roof is completed. The flashing should be checked.

WALLING Good.

DOORS/WINDOWS Some storm windows require repair. Check paint on main door for soundness.

PORCHES

EXT.WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK At road edge.

COMMENTS:

ADDRESS:	217 Main St.
CONSTRUCTION DATE:	Late 19th century.
BUILDING CONDITION:	Fair
ROOF	Asphalt
WALLING	Wood siding requires scraping and painting.
DOORS/WINDOWS	The wood windows should be examined for soundness. The frame is sheathed in metal.
PORCHES	The wood fascia requires painting.
EXT.WOODWORK	
FOUNDATIONS	
EAVESTROUGHES	
STREETSCAPE CONTEXT:	Low prominence
SETBACK	At road edge.
COMMENTS:	The north wall should be sheathed.

ADDRESS:	226-228 Main St.
CONSTRUCTION DATE:	late 19th century
BUILDING CONDITION:	Fair to good.
ROOF	The ridge is poorly capped and flashed. Original central chimney is missing. The roof will require renewal in the near future.
WALLING	
DOORS/WINDOWS	Both aluminium and wooden storm windows.
PORCHES	The porch tongue and groove flooring is in poor condition and may require repairs.
EXT. WOODWORK	
FOUNDATIONS	Some areas of the stone foundation require repointing.
EAVESTROUGHS	Requires painting.
STREETSCAPE CONTEXT:	Highly prominent
SETBACK	20 ft +. from road.
COMMENTS:	

ADDRESS: 215 Main St.

CONSTRUCTION DATE: Late 19th century.

BUILDING CONDITION: Generally good.

ROOF

WALLING Areas of the shiplap siding require painting.

DOORS/WINDOWS

**PORCHES/
EXT. WOODWORK** Wooden base on front elevation is deteriorating as a result of excess moisture from road runoff.

FOUNDATIONS

EAVESTROUGHES

STREETSCAPE CONTEXT: Highly prominent

SETBACK Right at corner of intersection.

COMMENTS: Some effort to control excess water runoff from the roadway should be considered.

ADDRESS: 210 Main St.

CONSTRUCTION DATE: 1867

BUILDING CONDITION: Satisfactory

ROOF Chimney requires repointing. Roofing should be examined yearly.

WALLING Brick masonry should be repaired and repainted.

DOORS/WINDOWS The original front elevation windows have been altered.

PORCHES Porch restoration should be considered.

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK 20 ft. from intersection.

COMMENTS: Modern wire fence around property.

ADDRESS: 207 Main St.

CONSTRUCTION DATE: 1874

BUILDING CONDITION: Generally good.

ROOF North elevation chimney may need rebuilding in the future.

WALLING Good pointing.

DOORS/WINDOWS

PORCHES Some rot exists in the soffit on the south elevation at the return.

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK At road edge.

COMMENTS: Nicely detailed fence.

ADDRESS: 206 Main St.

CONSTRUCTION DATE: 1814-1816

BUILDING CONDITION: Good.

ROOF

WALLING Poor repointing using portland cement evident.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK Generous residential setback.

COMMENTS: Odd multi-paned window exists on the front elevation.

ADDRESS: 2 Sharman's Lane

CONSTRUCTION DATE: late 19th century

BUILDING CONDITION: Well maintained.

ROOF

WALLING

DOORS/WINDOWS

PORCHES

EXT.WOODWORK

FOUNDATIONS South elevation basement window has been filled in.

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK At road edge.

COMMENTS: This is a former semi-detached or double house.

ADDRESS:	230 James St.
CONSTRUCTION DATE:	1856-57
BUILDING CONDITION:	Good
ROOF	Wood shingle roof which appears to be wearing quickly.
WALLING	A number of open joints visible. Some shear cracks are apparent at the S-W corner of the house.
DOORS/WINDOWS	Some storm windows require painting.
PORCHES	Restoration pending.
EXT. WOODWORK	
FOUNDATIONS	Some settlement apparent.
EAVESTROUGHS	The disconnected downpipes should be repaired in the future.
STREETSCAPE CONTEXT:	Highly prominent
SETBACK	25 ft. from road.
COMMENTS:	Fire damaged entrance not yet restored.

ADDRESS: 232 James St.

CONSTRUCTION DATE: 1860 renovation of earlier 1820's house

BUILDING CONDITION: Good

ROOF

WALLING Aluminium siding covering a frame structure.

DOORS/WINDOWS Metal storm windows in place.

PORCHES

EXT. WOODWORK

FOUNDATIONS Foundation wall adjacent lane should have water directed away from the base of the building.

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK 40 ft. from James St.

COMMENTS: The property is fenced.

ADDRESS: 234 James St.

CONSTRUCTION DATE: c. 1940's -1950's

BUILDING CONDITION: Generally fair

ROOF Chimney requires rebuilding. Presently parged.

WALLING Insul brick possibly covering a frame building.

DOORS/WINDOWS Check the wooden sills under the windows for decay.

PORCHES Porch is being built. Woodwork requires scraping and painting. The soffit is in need of repair.

EXT.WOODWORK

FOUNDATIONS

EAVESTROUGHS Paint. Check for water leaks.

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 20 ft. from James St.

COMMENTS: Building raised ? Surrounded by a stone fence.

ADDRESS: 236 James St.

CONSTRUCTION DATE: 1884-89

BUILDING CONDITION: Generally good.

ROOF New chimney on the east elevation does not have older profile.

WALLING Some shear and settlement cracks apparent. One lintel on the south elevation is cracked and has been parged over.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK Close to road.

COMMENTS: The original porch is missing and a new picture window has been added on the Main St. elevation.

ADDRESS: 238 James St.

CONSTRUCTION DATE: c. 1814-1820

BUILDING CONDITION: Generally good.

ROOF

WALLING

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS The eavestrough needs painted.

STREETSCAPE CONTEXT: Low prominence

SETBACK Located 30 ft + from road.

COMMENTS: The building is well hidden from the road by vegetation.

ADDRESS:	244 James St
CONSTRUCTION DATE:	1907
BUILDING CONDITION:	Good
ROOF	Older asphalt roof may need replacement.
WALLING	
DOORS/WINDOWS	Metal storms.
PORCHES	Wrap around verandah supported by posts with no railing.
EXT.WOODWORK	The condition of the remaining woodwork is good.
FOUNDATIONS	
EAVESTROUGHES	
STREETSCAPE CONTEXT:	Low prominence
SETBACK	30 ft. from road facing Hwy. #2
COMMENTS:	

ADDRESS: 246 James St.

CONSTRUCTION DATE: c. 1830 -1840

BUILDING CONDITION: Well maintained

ROOF Corrugated ribbed metal with a raised seam.

WALLING The stone has been repointed with some cementitious mortar.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS Some leakage exists on the front elevation accompanied by a discontinuous downpipe.

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 35 ft.

COMMENTS: Some of the building is covered in ivy.

ADDRESS: 248 James St.

CONSTRUCTION DATE: c. 1820s

BUILDING CONDITION: Good

ROOF Asphalt roofing appears to be older. The stone chimneys are not flashed.

WALLING The stucco looks sound.

DOORS/WINDOWS Check muntins for putty failure.

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHES

STREETSCAPE CONTEXT: Low prominence

SETBACK 35 ft. plus from James at the corner.

COMMENTS:

ADDRESS: 402 Regent St.

CONSTRUCTION DATE: late 1880s

BUILDING CONDITION: Fair.

ROOF Older asphalt roofing. One capped chimney with another requiring repointing.

WALLING The brick is generally sound. Some shear cracks found near front door.

DOORS/WINDOWS Storm windows require painting.

PORCHES Exterior vestibule removed from front door.

EXT. WOODWORK The trim should be scraped and painted.

FOUNDATIONS

EAVESTROUGHS No existing downpipes. The gutter system should be examined and possibly replaced.

STREETSCAPE CONTEXT: Low prominence

SETBACK Near road.

COMMENTS: This house is very isolated at present.

ADDRESS:	404 Regent St
CONSTRUCTION DATE:	1886
BUILDING CONDITION:	Fair to good.
ROOF	Asphalt roofing near the end of its life-span.
WALLING	Shiplap siding in fair condition.
DOORS/WINDOWS	Check putty condition and paint soundness.
PORCHES	The porch is not in good condition. Some trim is absent.
EXT.WOODWORK	Some areas of fascia are damaged.
FOUNDATIONS	
EAVESTROUGHES	No eavestrough
STREETSCAPE CONTEXT:	Low prominence
SETBACK	Right at junction of two roads.
COMMENTS:	Water drainage should be directed away from building fabric.

ADDRESS: 405 Regent St

CONSTRUCTION DATE:

BUILDING CONDITION: Fair

ROOF

WALLING Insul-brick and asphalt sheet.

DOORS/WINDOWS

PORCHES The porch appears to be settling.

EXT. WOODWORK The exterior painted woodwork is flaking in some areas.

FOUNDATIONS

EAVESTROUGHES At the east the downpipe is draining too close to the foundation wall.

STREETSCAPE CONTEXT: Low prominence

SETBACK A distance from road side.

COMMENTS:

ADDRESS:	406 Regent St.
CONSTRUCTION DATE:	late 1880s
BUILDING CONDITION:	Good.
ROOF	Asphalt roof is in mid-life. Front chimney to be rebuilt.
WALLING	The brick requires some repointing at the back wall. A crack exists between the tail and main building.
DOORS/WINDOWS	There are aluminium storms on the windows.
PORCHES	Good.
EXT. WOODWORK	
FOUNDATIONS	
EAVESTROUGHS	
STREETSCAPE CONTEXT:	Low prominence
SETBACK	At road edge.
COMMENTS:	Vines are growing on the side of the building which could affect the masonry pointing.

ADDRESS:	Barriefield Library (Former Township Hall) 414 Regent St.
CONSTRUCTION DATE:	1886
BUILDING CONDITION:	Fair
ROOF	Corrugated metal roof contains some withdrawn nails. This has caused paint loss and corrosion at the eaves. Rear chimney requires some repointing.
WALLING	Masonry is generally sound. Some irregular pointing techniques have been employed with the ribbon jointing. Small cracks and some spalling evident.
DOORS/WINDOWS	Generally good. May require some reputtying of glazing. A number of sills are cracked.
PORCHES	
EXT. WOODWORK	Deteriorated eaves and soffit paint surfaces on due to inadequate or poorly maintained gutters. Decay may occur in the future.
FOUNDATIONS	Some pooling of water near base will cause masonry deterioration.
EAVESTROUGHS	Gutters are in poor condition and require a service inspection.
STREETSCAPE CONTEXT:	Highly prominent
SETBACK	5 feet from road and intersection.
COMMENTS:	Vertical board frame addition requires painting.

ADDRESS: 407 Regent St.

CONSTRUCTION DATE: 1853

BUILDING CONDITION: Good.

ROOF

WALLING Roughly squared limestone masonry is in generally good condition with only a few gaps in the mortar joints.

DOORS/WINDOWS Some moulding missing or loose in original arched storm of central gable. A cracked window sill exists at the west side of door.

PORCHES

EXT. WOODWORK Cornice and verge being conserved at present with matched sections.

FOUNDATIONS

EAVESTROUGHS Southwest section of downpipe missing.

STREETSCAPE CONTEXT: Highly prominent

SETBACK 5 feet from road.

COMMENTS:

ADDRESS: 408 Regent St.

CONSTRUCTION DATE:

BUILDING CONDITION: Fair

ROOF

WALLING Aluminium siding.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK Some damage and splitting at the eaves.
Paint loss and flaking in certain areas.

FOUNDATIONS

EAVESTROUGHES No gutter at west side.

STREETSCAPE CONTEXT: Low prominence

SETBACK 20 feet from road.

COMMENTS:

ADDRESS: 412 Regent St.

CONSTRUCTION DATE:

BUILDING CONDITION: Fair

ROOF Exterior chimney on east elevation is leaning.

WALLING

DOORS/WINDOWS Wood windows beneath aluminium storms show some flaking paint and missing putty.

PORCHES

EXT. WOODWORK Some flaking paint visible.

FOUNDATIONS

EAVESTROUGHS Missing sections of downpipe creating a potential problem for walling and the foundation.

STREETSCAPE CONTEXT: Low prominence

SETBACK 15 feet from sidewalk..

COMMENTS:

ADDRESS: 413 Regent St.

CONSTRUCTION DATE: c. 1830

BUILDING CONDITION: Fair

ROOF Some lifting of asphalt shingles at eaves.

WALLING

DOORS/WINDOWS Wooden windows require new putty and painting.

PORCHES Concrete stoop is settling. Some decay evident and a poor patch repair of cornice. Casing could be painted to maintain surfaces in good condition.

EXT. WOODWORK

FOUNDATIONS Some cracks visible related to the deck and side steps.

EAVESTROUGHS Awkward connection leading to spillage at side shed.

STREETSCAPE CONTEXT: Low prominence

SETBACK At sidewalk edge.

COMMENTS:

ADDRESS: 416 Regent St.

CONSTRUCTION DATE:

BUILDING CONDITION: Poor.

ROOF Asphalt shingle roof near the end of its lifespan. Roof has been roughly cut for metal chimney. No visible flashing.

WALLING Insul-stone 'peeling' off at corners.

DOORS/WINDOWS Some decay with loss of paint and deformation evident.

PORCHES Storm entry has shifted.

EXT. WOODWORK Paint loss and decay exist in certain areas.

FOUNDATIONS Some areas of cracking and settlement.

EAVESTROUGHS None. Buckets placed to collect rainwater.

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 7 feet.

COMMENTS:

ADDRESS:	417 Regent St.
CONSTRUCTION DATE:	c. 1830
BUILDING CONDITION:	Under restoration.
ROOF	Ridge is bowing and asphalt shingles are lifting. Flashing inadequate.
WALLING	Masonry stabilization and complete repointing necessary.
DOORS/WINDOWS	Decay and deformation present in windows and doors.
PORCHES	
EXT. WOODWORK	Damage and decay present in the woodwork at the corners.
FOUNDATIONS	Evidence of settlement exists at NE corner.
EAVESTROUGHS	None
STREETSCAPE CONTEXT:	Low prominence
SETBACK	Approx. 8 feet from sidewalk.
COMMENTS:	

ADDRESS:	418 Regent St.
CONSTRUCTION DATE:	c. 1900; moved to site 1950
BUILDING CONDITION:	Fair
ROOF	Flat/shed roof on rear could not be viewed.
WALLING	Shiplap siding has some peeling and blistering paint.
DOORS/WINDOWS	
PORCHES	
EXT. WOODWORK	Some decay in sills. Flaking paint also exists on some elements.
FOUNDATIONS	
EAVESTROUGHS	None on building which may cause future decay.
STREETSCAPE CONTEXT:	Low prominence
SETBACK	Well distanced from road.
COMMENTS:	

ADDRESS: 419 Regent St.

CONSTRUCTION DATE: c. 1850

BUILDING CONDITION: Fair

ROOF

WALLING Aluminium clad.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS No visible problems.

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK At sidewalk edge.

COMMENTS:

ADDRESS: 421 Regent St.

CONSTRUCTION DATE: late 19th century

BUILDING CONDITION: Fair.

ROOF

WALLING Vinyl sided.

DOORS/WINDOWS Aluminium windows.

PORCHES

EXT. WOODWORK Wood terrace on concrete slab. Wood decay where in contact with masonry.

FOUNDATIONS

EAVESTROUGHS Not extant on side shed.

STREETSCAPE CONTEXT: Low prominence

SETBACK At sidewalk.

COMMENTS:

ADDRESS: 423 Regent St.

CONSTRUCTION DATE: c.1880

BUILDING CONDITION: Satisfactory

ROOF No chimney flashing visible. The parged and painted chimney has some cracked and missing sections.

WALLING The shiplap siding is generally sound except where weathered or lower edges are splintered.

DOORS/WINDOWS Some decay and paint loss visible on sills. Original shutter hardware still present on ground floor.

PORCHES

EXT. WOODWORK

FOUNDATIONS No visible signs of settlement.

EAVESTROUGHS

STREETSCAPE CONTEXT: Highly prominent

SETBACK At street corner near road edge.

COMMENTS:

ADDRESS: 404 Wellington St.

CONSTRUCTION DATE: c. 1840

BUILDING CONDITION: Fair

ROOF Asphalt shingles near the end of their lifespan. Corbelling at chimney top cracking. Loose mortar also apparent. Parging on chimney stack failing. No visible flashing extant.

WALLING

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS Some cracking as well as past repairs with parging noted at N-E corner.

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 12 feet.

COMMENTS:

ADDRESS:	406 Wellington St.
CONSTRUCTION DATE:	late 19th century
BUILDING CONDITION:	Fair
ROOF	
WALLING	Aluminium siding.
DOORS/WINDOWS	Original wood windows need repainting and reputtying. Some minor repairs to panel mouldings are suggested.
PORCHES	A certain degree of deterioration and decay is affecting the porch elements on the Drummond St. elevation.
EXT. WOODWORK	
FOUNDATIONS	Not visible.
EAVESTROUGHS	The drainage system is not adequate enough to prevent water saturation of building fabric.
STREETSCAPE CONTEXT:	Low prominence
SETBACK	At the corner of Drummond and Wellington Streets.
COMMENTS:	

ADDRESS: 412 Wellington St.

CONSTRUCTION DATE: 1855

BUILDING CONDITION: Good.

ROOF Wood shingle.

WALLING Some flaking paint on east and west walls.

DOORS/WINDOWS Some minor paint deterioration on various elements. Reputtying required on some windows.

PORCHES

EXT. WOODWORK Minor paint failure to some details.

FOUNDATIONS

EAVESTROUGHES

STREETSCAPE CONTEXT: Highly prominent

SETBACK Good residential placement.

COMMENTS:

ADDRESS:	Service Building.
CONSTRUCTION DATE:	
BUILDING CONDITION:	Fair
ROOF	Corrugated sheet metal.
WALLING	The shiplap siding is in fair condition with some sections of decayed and fatigued boarding.
DOORS/WINDOWS	Carriage doors slightly out of plumb.
PORCHES	
EXT. WOODWORK	Visible loss of paint adhesion especially at verge and corner-boards.
FOUNDATIONS	Cracking and settlement evident along the west wall.
EAVESTROUGHS	
STREETSCAPE CONTEXT:	Low prominence
SETBACK	Faces onto street.
COMMENTS:	This small commercial/industrial building fits well in the streetscape.

ADDRESS: 6 & 8 Drummond Street.

CONSTRUCTION DATE: c. 1814-1819

BUILDING CONDITION: Fair

ROOF Asphalt shingle roof near the end of its lifespan. The chimney parging is cracked and flashing is not visible around the south chimney.

WALLING The original roughcast stucco has been repaired with a number of textures. Some cracking and bulging sections are visible.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK Sections of decay and paint loss especially to the cornice moulding and soffit are visible.

FOUNDATIONS The bulge in the stucco is more pronounced at grade. Settlement is visible in the N-W corner due to spillage from the downpipe.

EAVESTROUGHS See above.

STREETSCAPE CONTEXT: Highly prominent

SETBACK At street edge.

COMMENTS:

ADDRESS: 10 Drummond St.

CONSTRUCTION DATE: c. 1824-1831

BUILDING CONDITION: Fair

ROOF Asphalt shingles sag and bulge adjacent to south chimney. North chimney parging shows signs of distress. Chimney top absent.

WALLING Aluminium.

DOORS/WINDOWS

PORCHES A few cracks noted in Porch foundation.

EXT. WOODWORK Some paint deterioration on the fascia.

FOUNDATIONS

EAVESTROUGHS Front slope drains to verandah gutter and the downpipe empties too close to the house.

STREETSCAPE CONTEXT: Low prominence

SETBACK Adjacent to the sidewalk.

COMMENTS:

ADDRESS: 12-14 Drummond St.

CONSTRUCTION DATE: c. 1830 - 1837

BUILDING CONDITION: Stone section good. Frame section fair.

ROOF Asphalt shingle roof near the end of service life. Some spalling of north chimney parging.

WALLING Small gaps in mortar joints evident. A visible crack extends down the north chimney. Some clapboards are split with deteriorated paint surfaces.

DOORS/WINDOWS A number of windows require reputtying. Carriage doors slightly out of plumb.

PORCHES Visible splits in posts exist. The flashing apron located at the masonry wall is not sufficient. The plywood decking is in poor condition.

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS Some leakage along south side.

STREETSCAPE CONTEXT: Highly prominent

SETBACK Adjacent to the street.

COMMENTS:

ADDRESS: 13 Drummond St.

CONSTRUCTION DATE: c. 1900

BUILDING CONDITION: Fair

ROOF No visible flashing at the central chimney.

WALLING Aluminium siding.

DOORS/WINDOWS

PORCHES Porch plate is bowed. The chamfered posts have a northward lean and probably have some evidence of decay. Paint failure is also visible.

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS Only extant section off porch at south.

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 5 feet.

COMMENTS:

ADDRESS: 16 Drummond St.

CONSTRUCTION DATE:

BUILDING CONDITION: Fair.

ROOF

WALLING

DOORS/WINDOWS

PORCHES

EXT. WOODWORK Some flaking paint is visible.

FOUNDATIONS

EAVESTROUGHS Only extant on south side. Spillage occurring along the siding and the foundation.

STREETSCAPE CONTEXT: Low prominence

SETBACK At street.

COMMENTS:

ADDRESS: 15 Drummond St.

CONSTRUCTION DATE:

BUILDING CONDITION: Fair.

ROOF

WALLING Synthetic siding.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 35 feet.

COMMENTS:

ADDRESS: 17 Drummond St.

CONSTRUCTION DATE:

BUILDING CONDITION: Fair.

ROOF

WALLING Wide synthetic siding.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS The downpipe spills out too close to the N.E. corner of the foundation.

STREETSCAPE CONTEXT: Low prominence

SETBACK Approx. 10 feet.

COMMENTS:

ADDRESS: 18 Drummond St.

CONSTRUCTION DATE: c. 1830-1840

BUILDING CONDITION: Fair

ROOF

WALLING Aluminium siding.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS There is some leakage in the south shed area.

STREETSCAPE CONTEXT: Low prominence

SETBACK At the street edge.

COMMENTS:

ADDRESS: 5 George St.

CONSTRUCTION DATE: 1983

BUILDING CONDITION: Fair

ROOF

WALLING Synthetic siding.

DOORS/WINDOWS

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK 15 feet.

COMMENTS:

ADDRESS: 7 George St.

CONSTRUCTION DATE: late 19th century

BUILDING CONDITION: Fair

ROOF Asphalt shingle roof should be inspected to determine service life expectancy.

WALLING Aluminium siding.

DOORS/WINDOWS Side addition wood windows require reputtying.

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHS

STREETSCAPE CONTEXT: Low prominence

SETBACK 10 feet.

COMMENTS:

ADDRESS: 9 George St.

CONSTRUCTION DATE: late 19th century

BUILDING CONDITION: Fair

ROOF Some curling of asphalt shingles at north slope.

WALLING

DOORS/WINDOWS An inspection of the window condition would be useful. Some painting is recommended.

PORCHES

EXT. WOODWORK

FOUNDATIONS

EAVESTROUGHES

STREETSCAPE CONTEXT: Low prominence

SETBACK Very close to the street.

COMMENTS:

APPENDIX 5: Landscape Review

5.0 LANDSCAPE REVIEW

5.1 Introduction

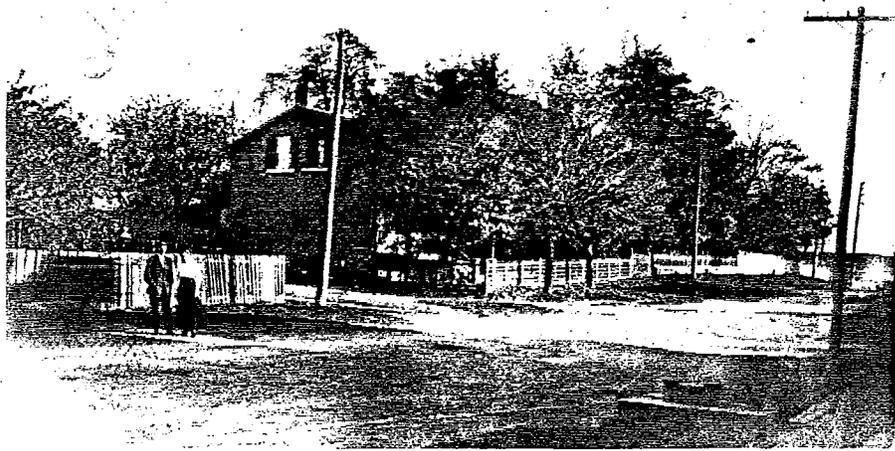
The purpose of this section is to review the landscape of the Barriefield Village Heritage Conservation District. Preliminary analysis was undertaken in the winter of 1989-90 and further work during the Spring and Summer months of 1990. This work provides the background and context for those landscape policies of the Heritage Conservation District Plan.

The present landscape in the Barriefield Heritage Conservation District contains a mixture of natural and historic features which reflect the long history of European settlement in the area. The domestication of the land by the Loyalist and European settlers resulted in obvious signs of change to the landscape such as the clearance of the forest, the creation of bounded fields, roads and pathways, houses, mills and churches. More discrete landscape changes are also evident in Barriefield such as stone survey markers, dry stone walls, boulevards, ditches, abandoned right-of-ways, lilac hedgerows and the mature black willows along the river's edge. All of these features are remnants from an earlier time period.

Barriefield's unique setting on a high river embankment overlooking the Cataraqui River, the St. Lawrence River and the historic grounds of nearby Fort Henry to the south and the City of Kingston has contributed greatly to its distinctive landscape development.

5.2 Historic Landscape Features

An investigation of historic photographs, sketches and surveys of Barriefield indicate that many of the original open space features have evolved into today's landscape. Early landscape surveys indicate that the area immediately north of the village was divided into rectangular lots which were laid out perpendicular to the river's edge. This strong geometry was also found in the street pattern layout of the village.



The earliest buildings in the heritage district were situated along the Point Road (Highway 15) between St. Mark's Church in the north and James Street in the south and along James Street west from George Street to the river's edge at Green Bay.

Throughout the nineteenth century the road system, both within the village and connecting it to the remainder of Pittsburgh Township and Kingston, was very susceptible to weather conditions and therefore almost impassable for both pedestrians and vehicles at certain times. Compacted earth streets, surface drainage and undeveloped and poorly maintained road shoulders and boulevards were the standards throughout the village until the late 1800s. By 1865 a plank boardwalk running parallel to the road from Kingston was installed along Main Street for the safety and convenience of the pedestrian. The back streets did not appear to have plank sidewalks.

Although the travelled portion of the road remained compacted earth, the installation of the plank sidewalk better delineated the previously undefined area between the road and the front edge of the private residence. Since many residences were located very close to the road, the edge of the property was typically defined by a low dry stone wall, a picket or ornamental wood fence, a post and wire fence or deciduous hedging by the mid-1800s. In a number of cases, a covered front porch extended from the building almost to the edge of the property due to the narrow setback. Thus this architectural feature became an important component in Barriefield's streetscape.

The boulevard remained an untended strip of weeds and turf throughout the 1800s until the introduction of asphalt paving to the village streets in the 1900s created an uneven strip of granular shoulder along the edge. In most cases, the paving tended to narrow the distinction between the front yard of the houses and the road's edge. Other changes to the streetscape included the introduction of wooden telegraph poles to the village by the 1880s and electric lighting wires by 1915.

From the early settlement period to the mid twentieth century, many of the rural outbuildings associated with the dwellings in Barriefield such as barns, drivesheds, woodsheds, smoke houses, privies were still standing within the village

accentuating its rural character. Most of these outbuildings have now disappeared with a few noted exceptions.

Early photographs of Barriefield show a village with a limited tree cover. With the exception of the riverbank where wetland trees and shrubs lined the shore, the majority of the views of the village show very few large trees at the beginning of the nineteenth century. The first settlers cleared the land of all trees. It was not until the late 1800s that they were re-introduced in any number to the village landscape by some residents either as orchards and/or as individual tree specimens. By the early twentieth century these trees had grown taller than the adjacent one-and-a-half to two storey buildings thus considerably altering the view when approaching the village from Kingston.

The extensive use of perennials, annuals and flowering shrubs in gardens around the houses appears to have been uncommon in the village throughout the nineteenth century. From photographs, a climbing shrub rose by the front entrance or a pot of oleander sitting on the front porch in the summer seems to have been the extent of the ornamental planting. Since 1900 photographs show that more extensive foundation plantings were carried out around various dwellings.

5.3 Present Landscape: Introduction

The present landscape in the Heritage Conservation District is made up of developed and well-maintained residential properties, natural areas with a mix of vegetation associations, open fields and an orderly system of village streets. It contains a variety of landscape features including: a twenty metre slope which divides the upper village core from the river's edge; a mix of mature deciduous and coniferous trees in private yards; and a range of hedges, low dry stone walls and ornamental fencing which define the boundaries of a large number of the residential yards.

The Heritage Conservation District also includes many public and semi-public spaces in addition to the large number of private residential properties. These spaces include: the extensive system of streets; the church, elementary school and library properties and the land around Brownie's Grocery Store on James Street;

the river's edge at the foot of James Street; and the unopened road allowances at the west end of Regent Street and Wellington Street. The undeveloped land surrounding the village and the prominent siting of the village on the top of the riverbank allows for long unobstructed views to and from the City of Kingston as Highway 2 approaches the community.

Today the streets are lined with wooden poles carrying modern cobra-headed streetlights and a large number of overhead wires. Services to the individual buildings run perpendicular to the main lines crossing over the streets. This has created a heavy concentration of overhead wires. In several areas throughout the District there are new concrete sidewalks with grass boulevards or curbface sidewalks. In other areas there are no continuous sidewalks. All of the streets are covered in asphalt and are in very good condition. Main Street has been raised and widened considerably over the years resulting in the loss of many of the narrow frontages of the houses. This erosion of the private space between the road and residences has resulted in a lack of definition between the public and private spaces. In many instances, the secondary streets also encroach onto the formerly private space in front of the houses. Standard street signage and line of fire hydrants are also located along the streets within the village.

Several examples of early trees and shrubs types can still be seen in the Barriefield landscape such as: sugar maples; locust; chestnut; Norway spruce; black willow; slippery elm; sumac; lilac; and red cedar. The majority of species found in the village today are native species or species such as Norway spruce which have been cultivated in Canada since the 1880s. The village also contains several trees which were not so visually prominent in the area in the past such as Blue spruce and Manitoba maple. Foundation plantings including pyramidal and spreading junipers and weeping standards have been planted throughout the village. Many of these plantings contain newer varieties and groupings which detract from the earlier simplicity of the residential landscape.

5.4 Landscape Units

The long history of settlement and development in the village of Barriefield is evident in both the private and public landscapes within the heritage district. There are several distinct landscape associations or units found in the district including the native willow and wetland shrubs and grasses along the river, the uncultivated shrubs and trees on the steep river bank from the rear of the Main Street residences to the edge of the river, the mature fence rows of lilacs along individual property lines (such as at the corner of James and George Streets), the grassy open fields around the north, east and south edges of the district, the well-maintained walnut grove along the river bank (between, 51 and 765 Main St. and the many private gardens associated with individual buildings ranging from the overgrown and mature yard at 273 Main St. to the tiny but well-tended door yard garden at 407 Regent St.

Each of the many landscape associations when viewed individually has a distinctive visual character. When the entire settlement area is considered, the overall visual impression is one of complexity and variety.

The following is a brief description of each landscape unit:

5.4.1 Unit 1: River's Edge

This area runs along the edge of the Cataraqui River and contains many mature black willows which overhang the water and are surrounded by tall wetland grasses. The extent of the grasses east of the river coincides with the edge of the area subject to seasonal flooding. This area can be viewed from James Street and along the Regent Street road allowance extension.

This area is unique in the district because of its "wilderness" character and the type of wetland plant material found there.

5.4.2 Unit 2: River Bank

This area runs between area 1, the river's edge and the back property lines of the houses facing Main St. It contains a dense cover of deciduous trees and shrubs and provides a complete green seasonal screen of the slope and the buildings fronting on Main Street. In winter, the topography of the slope is more visible accenting the change in grade from the upper village and the river. As well the mature Norway spruce behind 404 Sharman's Lane dominate the winter horizon. The river slope is visible from the Regent Street extension and from a distance along the Highway 2 approach. The area currently contains 2 residential properties and a number of boathouses. Historically it was the site of a great deal of activity associated with boat construction.

5.4.3 Unit 3: James Street - from Main West to 226 James, North Side

The change in grade along James Street gives a long view west from the village to the City of Kingston in the distance. The 5 properties along the north side of the street have a variety of setbacks from the edge of the road and as well, a variety of property line treatments. The front yard of 236 is used for parking and as a result the edge of public and private space is blurred. Stone and wood fencing at 234 and 230 provide a clearer definition. Similarly the planting beds at 232 separate the front yard from James St. and Sharman's Lane.

Between the fencing and the travelled area of the road is an area containing a gravel shoulder and a grass boulevard. This uneven edge is an important feature of this landscape unit since it softens the urban edge.

5.4.4 Unit 4: Grassed Open Space - South, East and North of District

In contrast with the previous areas, this landscape unit contains very few trees or features which give a sense of scale or definition to it.

The large expanse of open space is gently sloped and is an important foreground to the views of the remainder of the village. Each approach to the district, from the

north via Hwy. 15, or from the east via Hwy. 2, or from Kingston via Hwy. 2 has an uninterrupted panoramic view of the district because of the gradual slope of the land and its openness. It is the surrounding open space which through contrast, increases the dramatic impact of the sight of the Church tower.

5.4.5 Unit 5: Core Area

This landscape unit contains the majority of the historic buildings and private landscapes in the district and is characterized by a very intensive settlement pattern. The street system in this unit involves a grid pattern and a hierarchy of streets with the perimeter streets - George, James, Main and Wellington Streets being wider and more heavily travelled than the interior streets, Regent Street, Sharman's Lane and Drummond Street. The treatment of the edge of the travelled area of the street reinforces the hierarchy. The perimeter streets have a greater setback between the property line fences or hedgerows than do the interior streets. This setback provides a soft landscaped edge to the street. As well, the building setbacks on the interior streets tend to be much less so that the front porches and sidewalks are separated by a very narrow strip which is frequently paved (such as at the Public Library).

The edges of the individual properties are generally well-defined with a combination of plant material and decorative wood, chain link or stone fencing.

Exceptions to this treatment are the areas abutting the commercial property at James and Drummond Street. This area is dominated by a large asphalt parking lot extending along both frontages and by commercial signage.

In landscape unit 5, several blocks are lined with narrow curbfaced sidewalks - many of these are in poor condition. The west side of Main St. also has a narrow sidewalk separated from the road by a grass boulevard and gravel shoulder.

Because of the narrow building setbacks and the large number of tall hedgerows defining the edge of the street, the overall scale of this landscape unit is intimate and the visual character is cohesive.

5.4.6 Unit 6: Main Street - West Side from 249 to Hwy. 15

This landscape unit contains a linear settlement pattern of residences - from both the nineteenth and twentieth centuries set back from the edge of the main entrance route into the village. The well travelled roadway is lined with a combination of deciduous hedgerows and stone fencing and overhead wires strung on wooden poles. The private residential yards along the road contain a mixture of mature coniferous and deciduous trees including a large grove of walnut trees between 251 and 265 Main St. The slope down to the river's edge is visible in this area wherever openings occur in the road side screening. In general however, the edge of the road is clearly defined and the views of the residences framed by openings in the hedgerows.

The historic house at 273 Main St. contains a significant residential landscape design typical of a traditional late nineteenth century home. The front and side yards contain a limited number of individual trees and specimen shrubs - including white lilac and honeysuckle. The front porch is generally open to the yard with the exception of 3 groupings of low perennials. An early photo of the house contained in the local history of Pittsburgh Township - "Lilacs and Limestone" indicates that except for the loss of the plank sidewalk and the wood post and wire fence, the landscape view is unchanged.

5.4.7 Unit 7: New Development Area - Main St. east side from St. Mark's Church to Wellington St. and Wellington St. north side from Main to the School

This area has undergone the most dramatic change since the district plan was first completed over 10 years ago. At that time, the area consisted of large expanses of lilacs and open space. Since then, several residences have been constructed and the lilacs removed. The typical current landscape treatment associated with the new development consists of a large open expanse of lawn leading directly from a new curb-faced sidewalk up the gradual slope of the land to a new planting bed along the foundation of the front porch. The front lawn is dotted with utility boxes and fire hydrants and several residences have installed interlocking stone paving on their

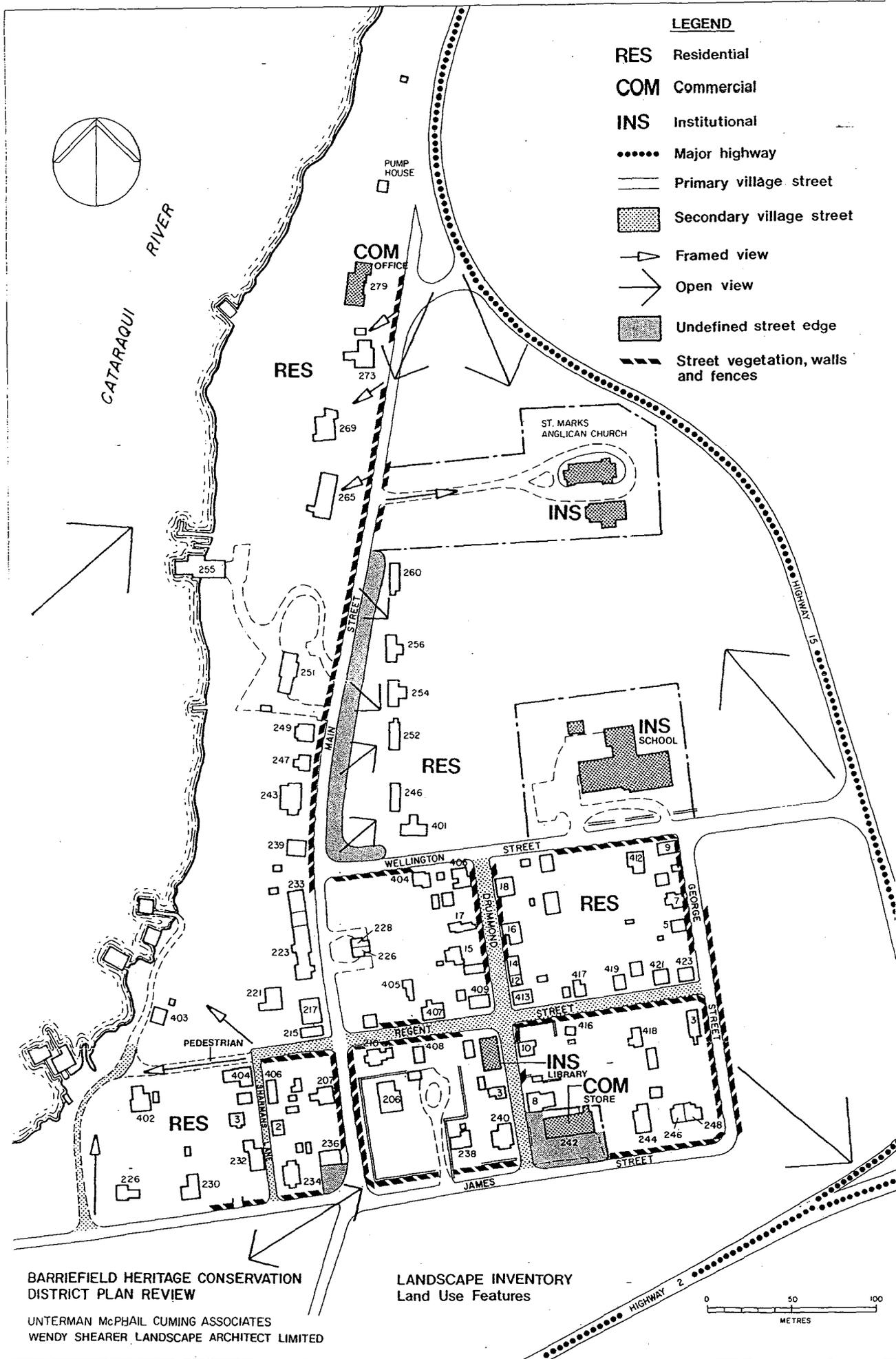
double driveways. The plant material generally consists of low spreading conifers accented by weeping standards.

The opening up of this area has created a dramatic change along the street. The west side of Main St. has a soft uneven edge along the paving, yet the location of mature trees and hedgerows delineates the west side of the road. The east edge of the paving is defined by a straight sidewalk edge and no vertical definition.

The school yard and building are fenced with a low chain link fence visually reinforced with deciduous shrubs. Front yard parking at the school extends close to the street although the yard does contain a limited number of medium sized individual trees.

5.4.8 Unit 8: St. Mark's Anglican Church

The most prominent building in the district, St. Mark's Church, is highly visible from a distance especially upon approach from Kingston. The open space surrounding the church contrasts with its immediate landscape setting which includes decorative stone walls and pillars marking the entrance and a grove of walnut trees at the road. These landscape features create an inviting approach to the church and are a distinctive landmark at the entrance into the district.



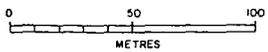
LEGEND

- RES Residential
- COM Commercial
- INS Institutional
- Major highway
- Primary village street
- ▨ Secondary village street
- ▶ Framed view
- Open view
- ▨ Undefined street edge
- ▨ Street vegetation, walls and fences

BARRIEFIELD HERITAGE CONSERVATION
DISTRICT PLAN REVIEW

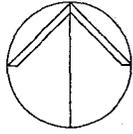
LANDSCAPE INVENTORY
Land Use Features

UNTERMAN McPHAIL CUMING ASSOCIATES
WENDY SHEARER LANDSCAPE ARCHITECT LIMITED



LEGEND

-  Tree and shrub masses
-  Slope over 30%

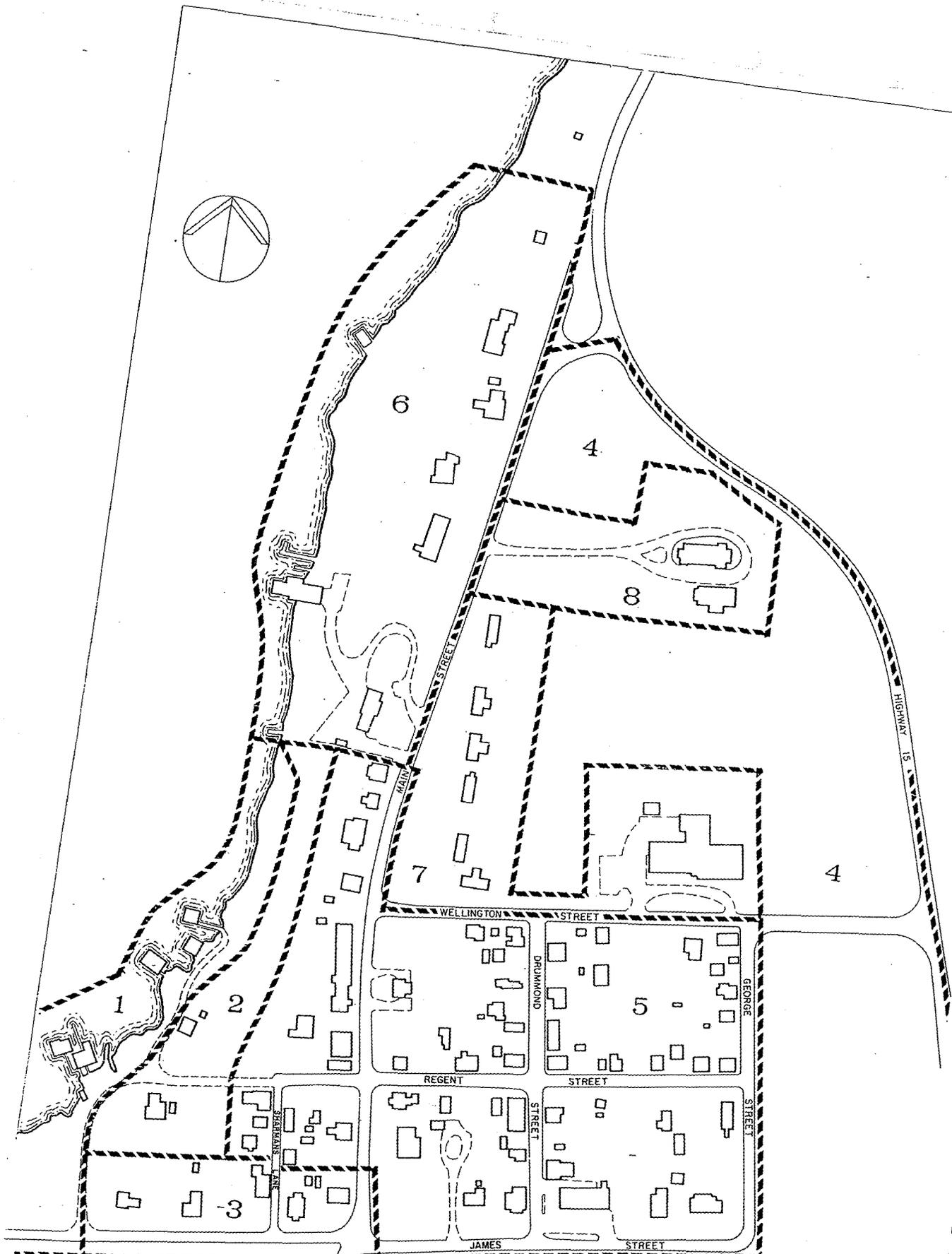


**BARRIEMBA HERITAGE CONSERVATION
DISTRICT PLAN REVIEW**

UNTERMAN McPHAIL CUMING ASSOCIATES
WENDY SHEARER LANDSCAPE ARCHITECT LIMITED

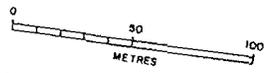
**LANDSCAPE INVENTORY
Natural Features**





**BARRIEFIELD HERITAGE CONSERVATION
DISTRICT PLAN REVIEW**
 UNTERMAN McPHAIL CUMING ASSOCIATES
 WENDY SHEARER LANDSCAPE ARCHITECT LIMITED

LANDSCAPE UNITS



Landscape Unit 1



Native willows and wetland grasses mark the edge of the river and the extent of seasonal flooding.

Landscape Unit 2



The Regent Street extension provides informal public pedestrian access to the river's edge.



The dense tree and shrub cover on the slope screens the buildings fronting on Main Street.



The long slope is visually prominent in winter.

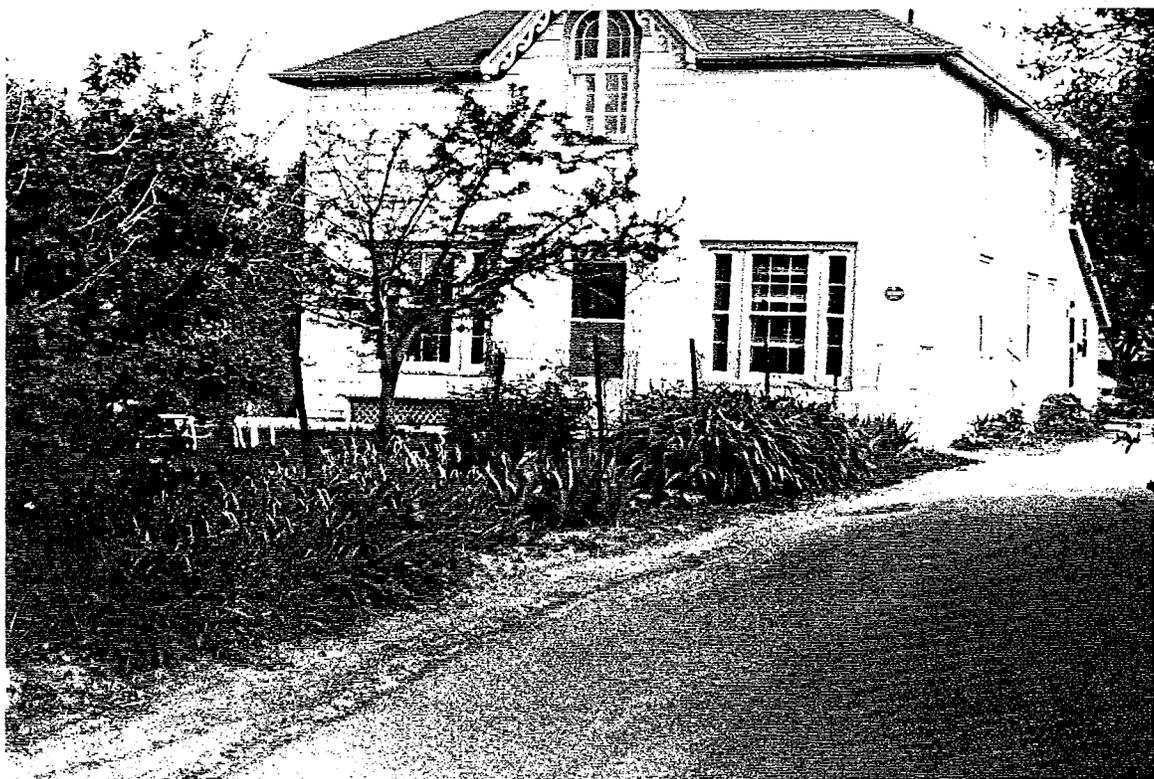


The foreground vegetation frames the distant view to Kingston.



The mature Norway Spruce accent the winter view.

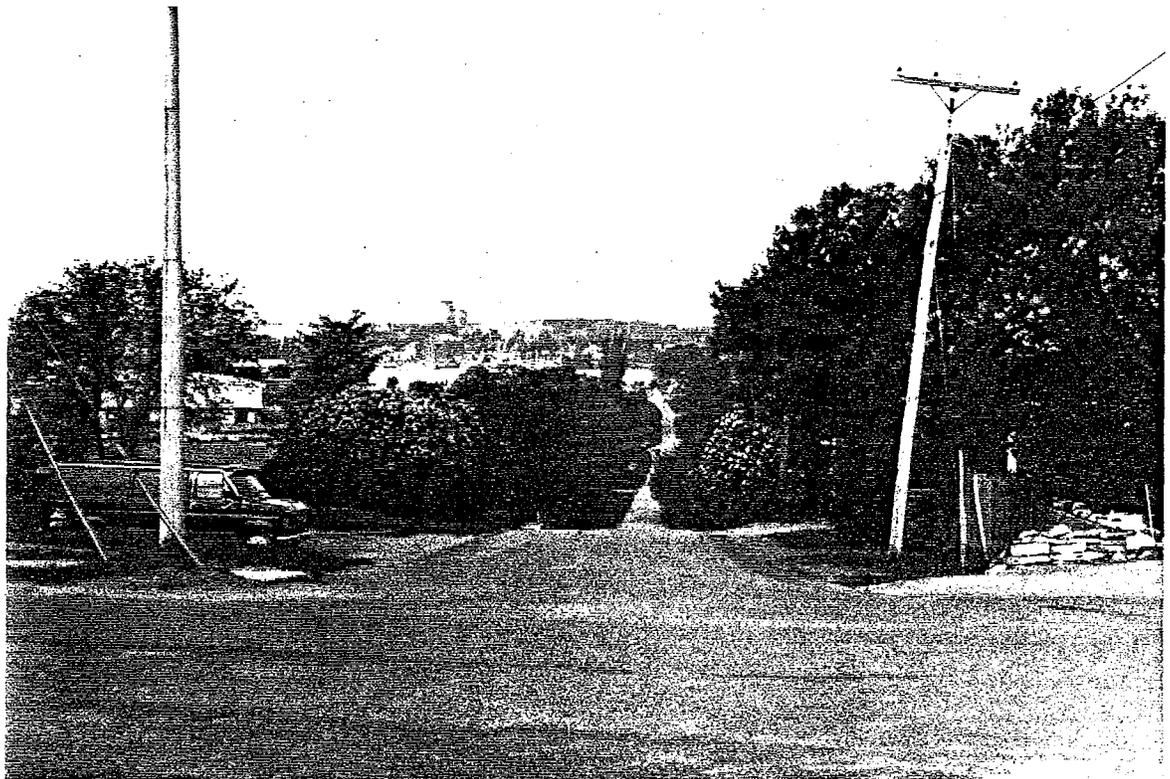
Landscape Unit 3



Perennial planting beds accent the intimate scale of Sharman's Lane.



Stone fences and lilacs define the front property line. The uneven edge of the paving is a common feature of the village.



Mature lilacs along James Street frame the view to Kingston.

Landscape Unit 4



The church dominates the view from the northern approach in contrast to the open space in the foreground.

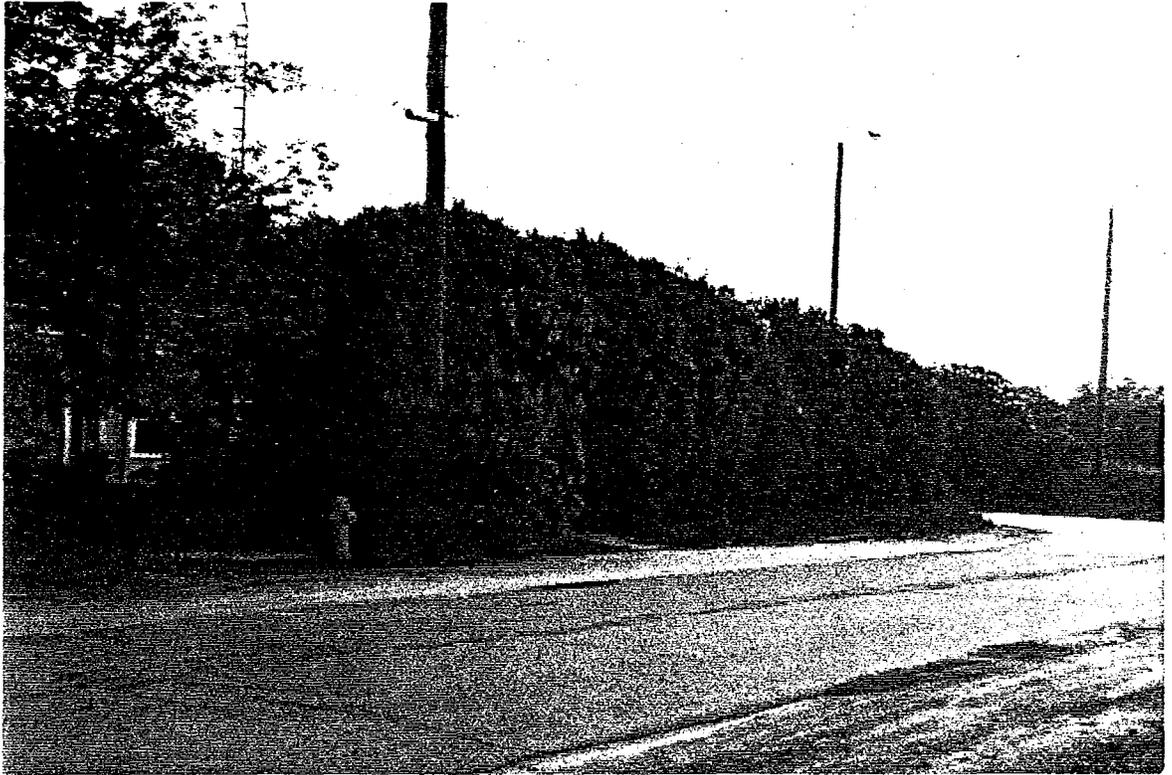
Landscape Unit 5



The lines of the property fences and mature trees and shrubs define the edge of Main Street.



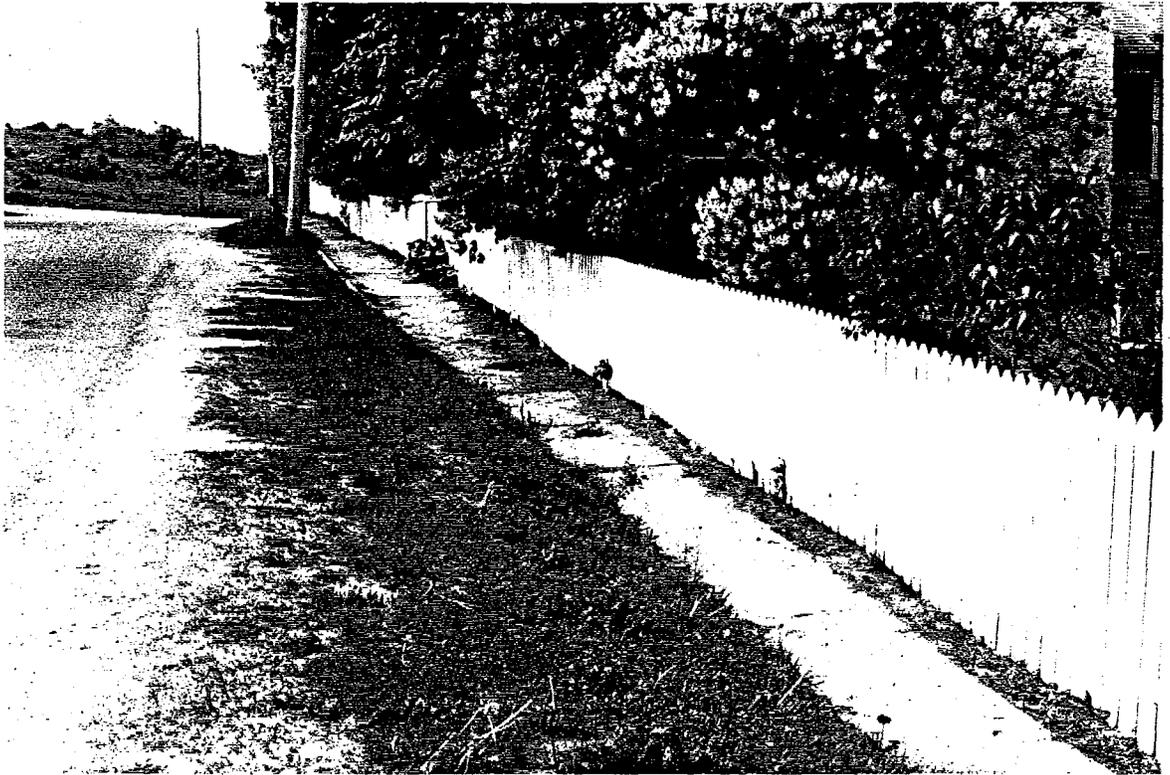
The mix of tree species and the grass-ditches are important features of George Street.



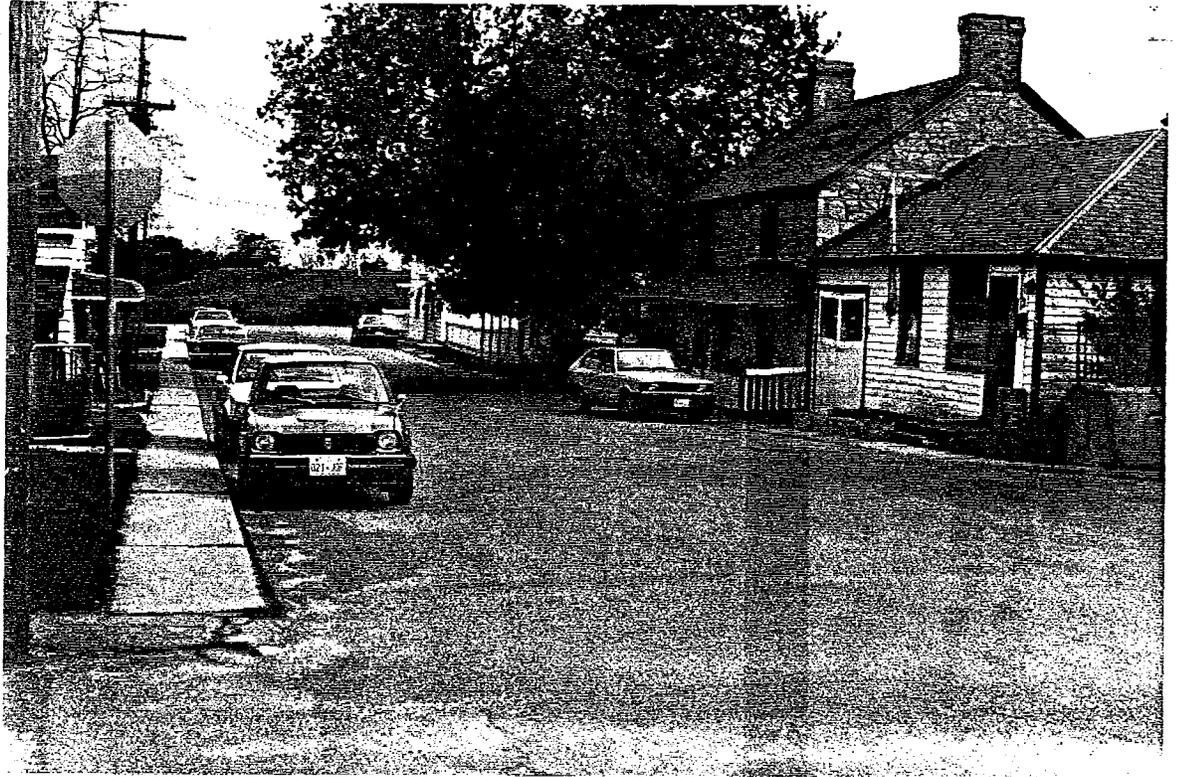
Glimpses of the front facades of the historic houses are made through openings in the hedgerow at the edge of the street.



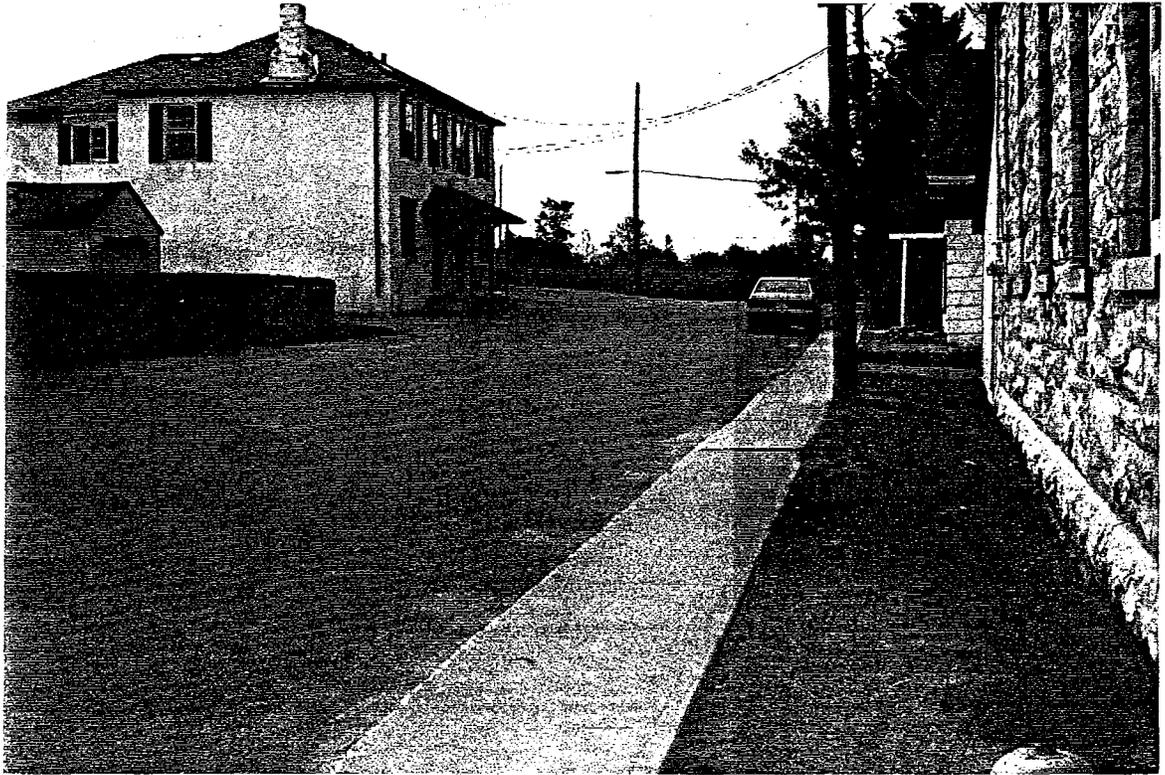
The narrow setback of the historic houses and the front yard fencing create a strong edge to the public space.



The uneven edge of the paving and the narrow sidewalk are important characteristics of Main Street.



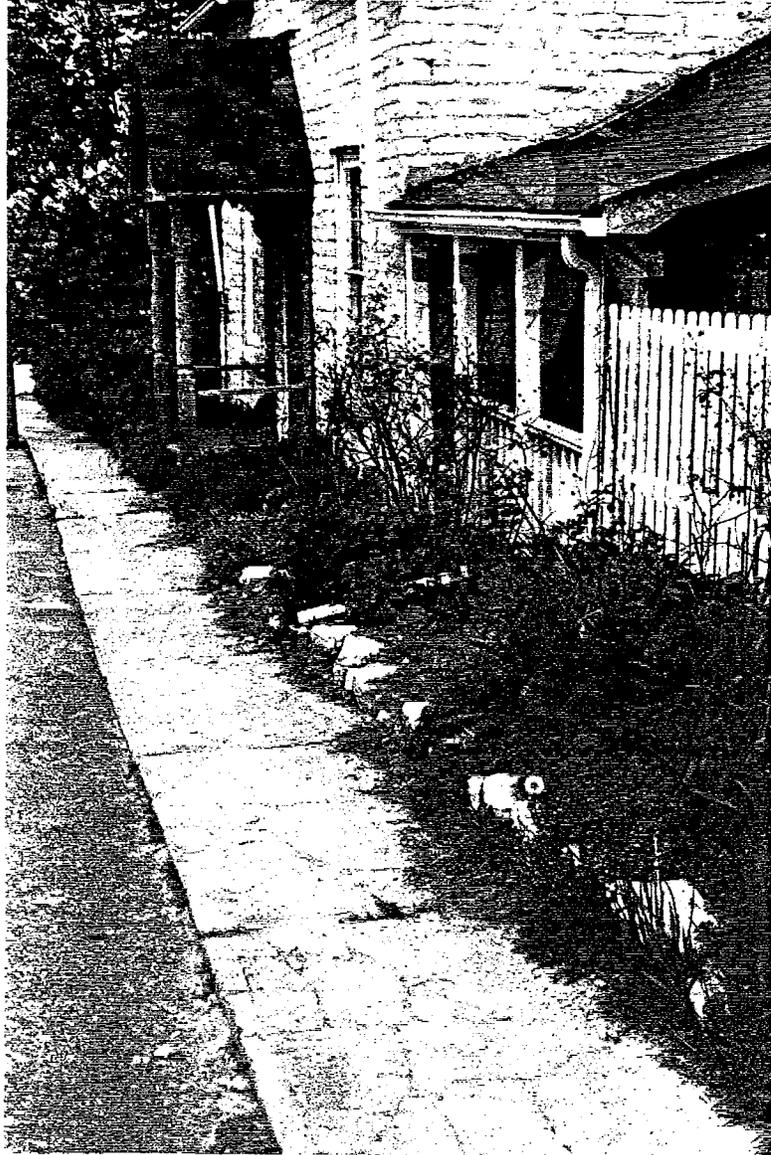
In the village core the building setbacks are minimal and the front porches become significant elements in the streetscape.



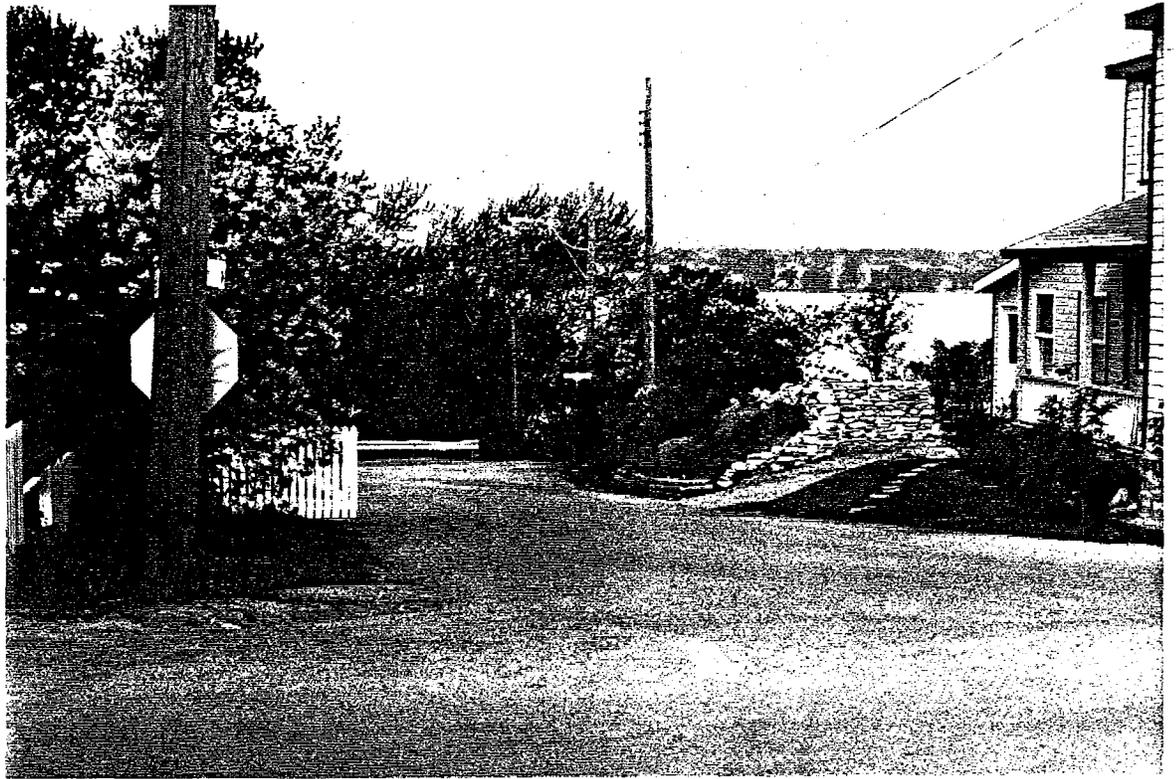
The corner of James and Drummond Streets lacks definition.



The proximity of fencing and plantings to the street reinforces the intimate scale of the district core.

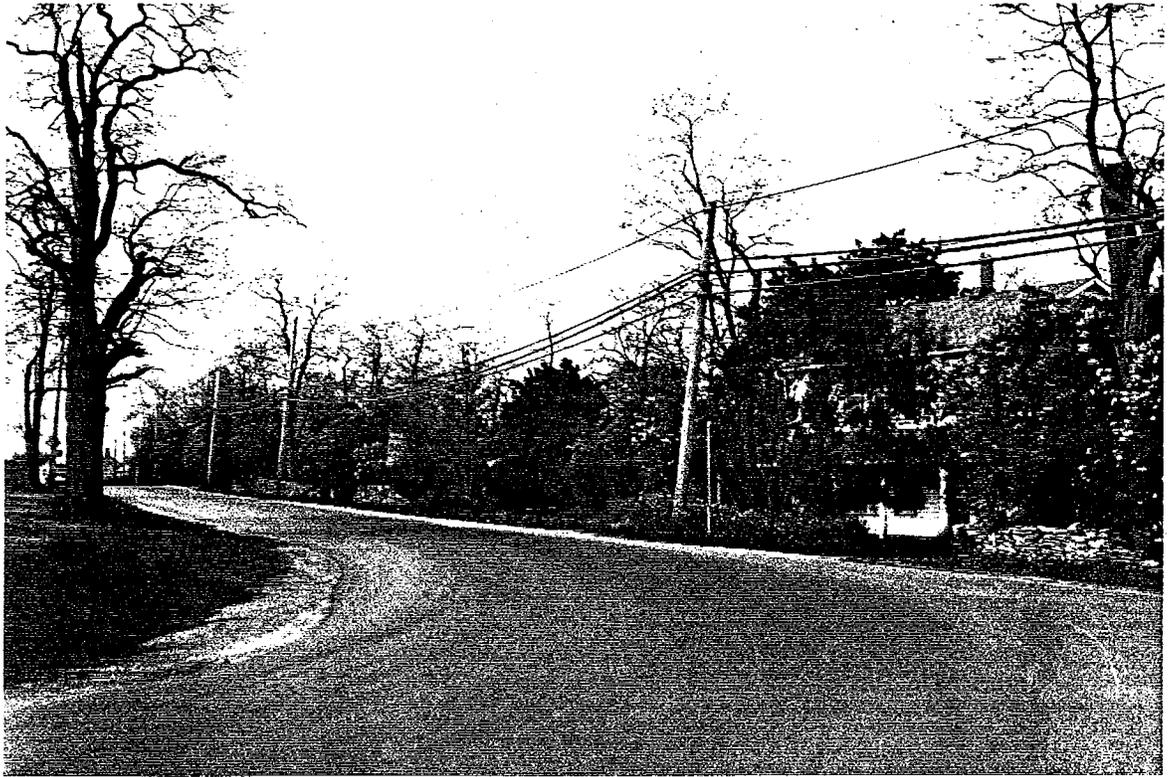


The soft planted edge of the private space creates a detailed foreground along the street.



The Regent Street road allowance provides a visual link to the river and distant Kingston.

Landscape Unit 6

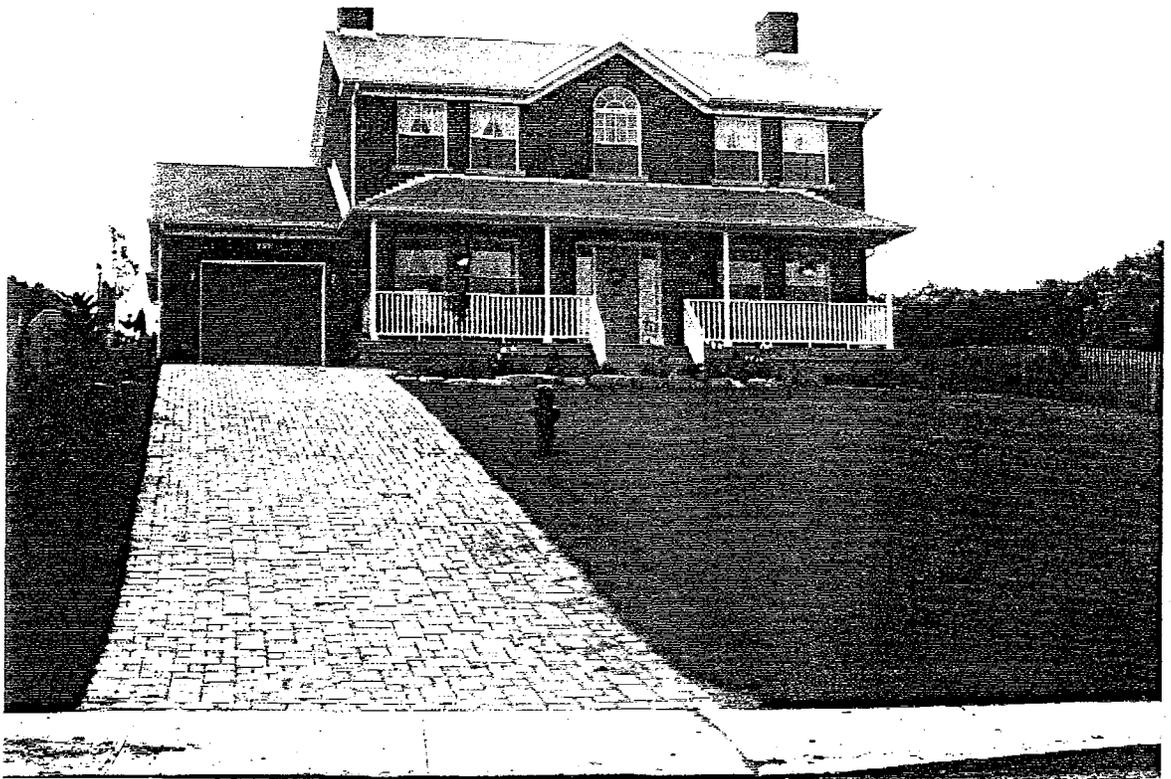


The northern entrance into the district is strongly defined with mature trees, shrubs and stone fencing.



The landscape treatment of the front yard is characteristic of the late 1800s and is now an important historical remnant in the district. The yard was originally defined with wood and wire fencing at the street.

Landscape Unit 7



The modern residential landscape treatment consists of low foundation planting beds, deep open lawns and wide interlocking stone driveways. The entire facade of the house is visible from the street.



The east edge of the street is clearly defined by a curb faced sidewalk. The west side has an uneven border and is accented by mature trees and shrubs. The front facade of each residence is visible through breaks in the linear screening along the road.

Landscape Unit 8



The slope of land and the surrounding open space reinforce the prominence of the church tower.



Together, the historic stone wall, pillars and nut grove constitute an important entrance feature.

APPENDIX 6: Heritage District Plan

6.0 HERITAGE DISTRICT PLAN

6.1 Background

Interest in conserving the special character of Barriefield can be traced back to the early 1970s. Enactment of the Ontario Heritage Act in 1975 enabled the Township of Pittsburgh to focus conservation activities by providing means of designating this unique area within the municipality.

Initiation of the Barriefield Village Heritage Conservation District Study, adoption of The Barriefield Heritage Conservation District Plan, and designation of the village as a heritage conservation district under Part V of the Ontario Heritage Act in the late 1970s and early 1980s were major achievements in the province at that time.

Since then the day to day processing of permit applications, the allocation of grant monies by the municipality and the continuing planning activities of the Township have proceeded with a central concern for promoting sound conservation practice within the district.

However, the past decade of conservation planning has highlighted some of the shortcomings of the initial studies, district planning policies and guidelines. The following sections review the variety of heritage planning studies, policies, guidelines, administrative procedures and other mechanisms that have been used by the Township to implement the heritage conservation district.

6.2 Barriefield Village Heritage Conservation District Study (1978)

Prepared by Carl Bray and the Township LACAC the study comprised a detailed analysis of the character of the future conservation district. Additionally the study made numerous recommendations regarding the future planning of the area, particularly with respect to its buildings and landscapes.

At the time of its preparation there may have been the understanding that the study would also be the "district plan". However a separate plan document was later prepared that referenced the study as an appendix. The plan relied

extensively on study recommendations and its vision for the future of the village.

For the time and with few if any precedents elsewhere in Ontario the study stands on its own as a model document in providing a clear rationale for the designation of the future district. The authors evidently understood the prevailing economic circumstances of the area and the potential threat that new development held.

Equally important the study recognized the underlying dynamic of district designation: a concern for ensuring that as change occurred new development must respect the existing built heritage character of Barriefield. The building analysis also catalogued the various changes that the variety of heritage buildings had undergone and reflected the fact that Barriefield's present character was derived from a myriad changes over the years.

Analysis also revealed the importance of the vista and vignette characteristics of Barriefield and stressed their retention in future planning of the area.

Importantly the study noted that :

Heritage Designation will seek to preserve all the good things by attempting to control what happens to the existing fine buildings . (Page 41)

as well that :

New buildings will not necessarily have to reflect any traditional style - a well designed modern building will enhance and be mannerly with its neighbours just as earlier ones were when they were "modern" .

The study continues in this enlightened vein by opining that guidelines for new construction must be helpful by providing assistance without resorting to archaic stylistic design. To this end a variety of measures were proposed in section 4.6, Recommendations: Design and in section 6, the Block by Block Analysis.

This latter section provided the essential vision for the village of Barriefield which had been alluded to earlier in the study (page 58) where it had been stated that:

A definite context and purpose to the improvement in the form of an overall village plan is the key to the development of pride of place.

Indeed the block by block recommendations provide a wealth of information and insights into the anticipated future of Barriefield. For one reason or another these visions of Barriefield were never implemented. Diluted initiatives do appear in the District Plan as well as the Official Plan e.g. medium density development.

It is of importance to identify some of those opportunities that now may have been lost:

- waterfront boardwalk and access (Block 1);
- Wellington Street right of way steps (Block 4a);
- preservation of framed view of church steeple (Block 12a);and
- clustered low rise development (Block 12b).

Additionally the study contained many proposals for the landscaping of public spaces and the creation of new or enhanced views and vistas of buildings and features.

Since its publication the study recommendations especially those contained in the block by block analysis have largely gone ignored and appear little referred to. Its relegation to an appendix to the District Plan may account for its demise as a document that should have been routinely and regularly consulted.

6.3 The Barriefield Heritage Conservation District Plan (1979)

The District Plan was adopted by the Council of the Corporation of the Township of Pittsburgh in November, 1979 and was endorsed by the Ministry of Culture and Recreation in January 1980.

The District Plan was somewhat ambiguous in its relationship to the foregoing study described in section 2.2. The Study served as supporting material and was included as an appendix to the Plan. The aim of these documents appeared to be the preservation and enhancement of the nineteenth century village character through the use of guidelines embodied in both the Plan and Study. Clearly then the two documents were to guide conservation and change together.

Over the past decade there has been increasing familiarity with the principles and practice of heritage conservation. The number of designated heritage conservation districts has also grown steadily. Particular experience with the unique issues inherent in district planning and the publication of new Ministry advice in the mid-1980s enables a more critical assessment of the adequacy and appropriateness of the Barriefield Plan.

Accordingly a detailed review of the policies and guidelines of the Plan was made in order to highlight those areas where change might be required. No attempt is made here to suggest specific revisions or amendments.

It must be noted that some of the objectives have not been realized over the past decade. These may have simply been beyond the proper scope of a district plan and those means of implementation available under the Ontario Heritage Act.

2.B. 1 To seek preservation and restoration of Barriefield's heritage buildings together with their outbuildings, fences and stone walls.

As a conservation objective this suggests that the process of conservation is about preserving and restoring heritage features. The Ontario Heritage Act is silent on the substantive matters of the practice of conservation. Processes under Part V of the Act suggest that the intent of designation is to enable municipalities to review change within a district in order that destructive alterations to heritage fabric are avoided.

Restoration is a particular and discrete form of conservation activity i.e. the recovery of features of a property as it once appeared at a particular time. It

may involve the removal of important features of a later period and has the potential to be quite destructive.

The intent of this objective also suggests that the Township will actively seek restoration of heritage buildings although it has no legislative authority to do so.

Conservation objectives that suggest maintenance and repair of heritage buildings are now probably more in keeping with the times.

2 B. 6 To consider the relocation of suitable older buildings to sites in Barriefield.

This practice is decidedly suspect as a legitimate conservation activity. It condones building removal from original locations and inadvertently encourages building removal rather than conservation in situ.

2 D. 3 To permit a limited amount of semi-detached or rowhousing in specific locations.

This objective may now no longer be attainable . Those lands identified in the block by block analysis for this type of development have now been developed or are scheduled for single family use.

2 D. 7 To establish areas of parkland and waterfront for use by local residents.

Recent proposals for residential development adjacent to the Cataraqui River and between the unopened road allowances of Regent Street and Wellington Street may have provided opportunities for waterfront access. This objective does not appear to have been actively pursued.

The financial, social and cultural objectives in sections 3 and 4 while commendable may be reasonably beyond that expected of a heritage conservation district plan. Achieving a diverse social mix of groups is particularly problematic.

Policy recommendation in section 3 of the Plan provide guidelines on the desired aspects of change in Barriefield. The policies are not accompanied by illustrations or graphic material. The relegation of the Study to an appendix is a

lost opportunity to remind those people using the Plan of the special qualities of this particular district and to reinforce its conservation.

Of importance would have been the inclusion of a summary of the overall physical characteristics of the village, notably : a predominance of one to one-and-a-half storey dwellings of frame and stone construction. The policies respecting land-use, existing buildings, new construction and so on could then recall the pervasive character that was to be conserved.

With regard to land-use policies described in section B of the Plan certain policies are now redundant. Reference to areas of medium density housing and the waterfront walkway are opportunities that have not been realized and are now incapable of realistically being executed.

The Plan also sought encouragement of certain kinds of commercial uses within the district including artisan shops, a restaurant, retail stores, and uses that would cater to visitors or tourists. Over the past decade there is little evidence to suggest that commercial ventures have made a significant impact on the local economy of Barriefield and its heritage fabric.

In many respects this is fortuitous. Tourism and commercial ventures do not always have the best interests of heritage conservation at heart. In Barriefield the predominant uses within the village are residential. Significant commercial development with the attendant demand for parking and signage would probably have significant and detrimental effects on the special character of the village.

Policies respecting the promotion of commercial uses must be more thoroughly evaluated and developed if commercial uses are to be encouraged within the district.

Section C *Existing Buildings*, addresses all matters related to the physical change of buildings : preservation, alterations and additions. The intent of the policies is quite clear. Sound and sensible conservation policies are advocated.

Section D *New Construction* describes the way in which new construction is to be judged. Given the thrust of guidelines elsewhere in the Plan advocating

single family development the design guidelines appear to call for built forms and spaces that are best achieved by medium density development.

The enclosure of spaces, grouping of forms and zero lot line development are concepts that are difficult to realize through standard plans of subdivision for single family development.

Permitted maximum heights of two-and-one-half storeys may well be in conflict with the scale of the village advocated in *D.I.c*. Additionally the policy respecting preferred style, *analogous with existing heritage structures*, is considered to be vague and capable of misinterpretation. (*Analogous* may be defined as similar, parallel or similar in function but not necessarily in structure or position.). Importantly the Study recognized the importance of encouraging contemporary buildings. Contemporary conservation philosophy emphasizes the contribution of modern-day architecture to our surroundings.

The seeming adherence to historicism in conservation district planning may have immediate appeal at first. It provides seemingly simple solutions to the problem of incorporating old and new. This approach is fraught with complexities. Differing tastes, new servicing requirements, and contemporary needs such as the double garage become increasingly difficult to accommodate within the context of traditional styles. Also additional cost may be incurred by providing mock detailing.

Aside from one or two large residences in the village the bulk of heritage dwellings in the conservation district comprise low profile development, largely of frame or stone construction with small gross floor areas. Present-day building in Barriefield, as witnessed in recent construction, is typified by large houses in traditional styles. Some appear to be an uncomfortable fit comprising classical proportions but in inappropriate materials and lacking in correct detailing.

The issue of materials is somewhat heightened by the advocacy of a variety of traditional building fabric in *D. I. f*. Review of the original heritage building survey reveals that nearly 40 per cent of the 46 heritage buildings were of stone, 54 per cent of frame (or clad in some material), and a mere 6 per cent of

brick. Use of squared log, red brick and board and batten may thus be out of keeping with the prevailing heritage character of the village.

Guidelines *D.1.g* and *D.1.h* advocate well-proportioned and compatible windows, and traditional and compatible roof construction respectively. These are sound guidelines which can be clarified by the use of both written and graphic descriptions to show more precisely the objectives being sought.

Section E, *Landscaping and Amenity* is a section of the Plan that has been little acted upon and in some cases contrary actions taken. Opportunities for the protection of vistas and vignettes and the provision of a continuous waterfront walkway may have been lost.

Section 4, *Implementation* describes generally how the Plan is to be implemented. Much of this material is now dated or has been superseded by revised processes and procedures of LACAC and the municipality. Funding has been sought for a variety of projects but as yet no conservation district fund has been established either under the former BRIC program or Preserving Ontario's Architecture.

In summary the District Plan was an excellent document for its time especially with respect to the clear enunciation of preservation objectives. With the benefit of experience over the past decade it is evident that a number of opportunities to implement achievable objectives have been lost. Of particular note are :

- access to the waterfront and the development of a boardwalk;
- developing vacant land for medium density dwellings would probably have provided far greater flexibility and variety in preserving views, providing low profile housing and interesting building and landscape design.

APPENDIX 7: Case Studies

7.0 CASE STUDIES

7.1 Introduction

In this appendix section a number of residences have been selected to show by way of example how additions have been or could be accommodated on each heritage property. Five examples taken from Residential R2-1 Zone typify the types of problems and solutions which exist in the design of additions for existing dwellings.

In particular the case studies examine: the types of building additions previously constructed, and how the addition had influenced the integrity of the original building and its context; the individual problems that might influence the design of the new addition; and, the particular heritage attributes of the dwellings which must be protected.

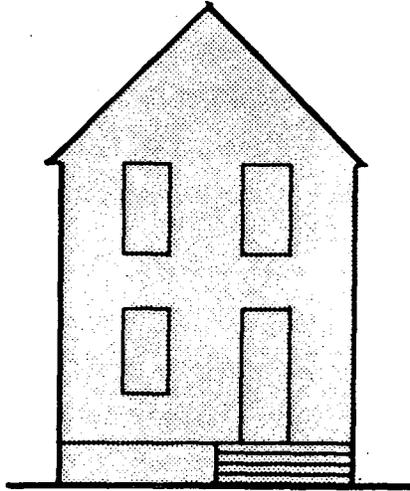
As indicated in the historical analysis section of the Appendices, there are a number of distinct residential building types in Barriefield. These have been identified as,

Pre-1850	Type 1	1 or 1 1/2 storey stone with low pitched roof.
Post-1850	Type 2	1 or 1 1/2 storey stone with low pitched roof and central gable over the front door.
	Type 3	2 storey, five bay house with side gables.
	Type 4	1 or 1 1/2 storey frame with side gables and cladding in clapboard or shiplap with minimal exterior detail.
	Type 5	1 1/2 or 2 storey frame or brick with front gable and side hall plan.

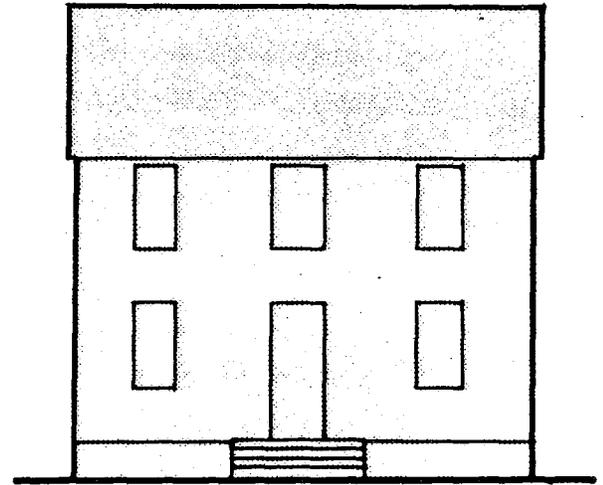
Each one these buildings types has a distinctive character which is dependent on its: roof line, scale and proportions, ratio of wall to window area and architectural detail. These characteristics must remain intact, even when alterations and additions are made.

The following describes the individual properties.

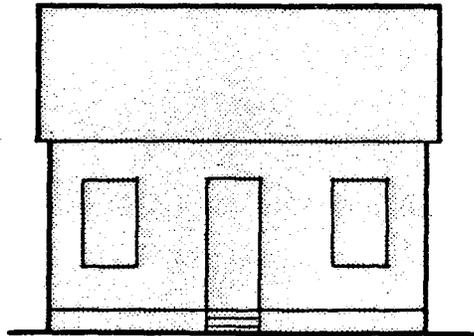
TYPICAL HOUSE TYPES



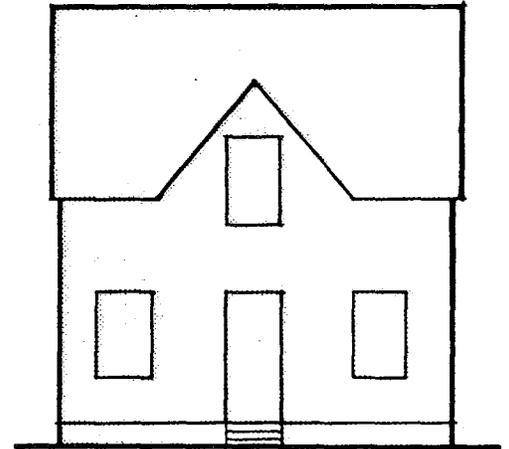
TWO STOREY FRONT GABLE



TWO STOREY SIDE GABLE



ONE STOREY SIDE GABLE



**ONE AND ONE HALF STOREY
SIDE GABLE**

**SAMPLE ADDITIONS ARE GIVEN FOR THE ONE AND A HALF STOREY
AND TWO STOREY FRONT GABLE HOUSE TYPES. SIMILAR
GUIDELINES MAY BE ADAPTED FOR THE ONE AND TWO STOREY
SIDE GABLE MODELS.**

Type: Two storey frame

Heritage attributes:

- Typical two storey frame building with gable end toward street.
- Steeply sloping roof.
- Original facade treatment on the two sides facing Main Street and Regent Street.
- Distinctive frame portico entry.
- Decorative shingle work and original window and door treatment.
- Intact woodwork detailing on front facade such as decorative rosettes at fascia trim, dentil course, and shiplap wood siding.

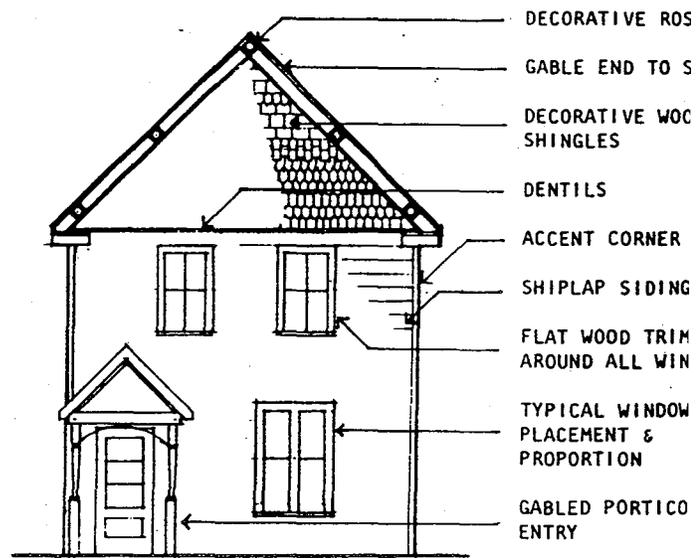
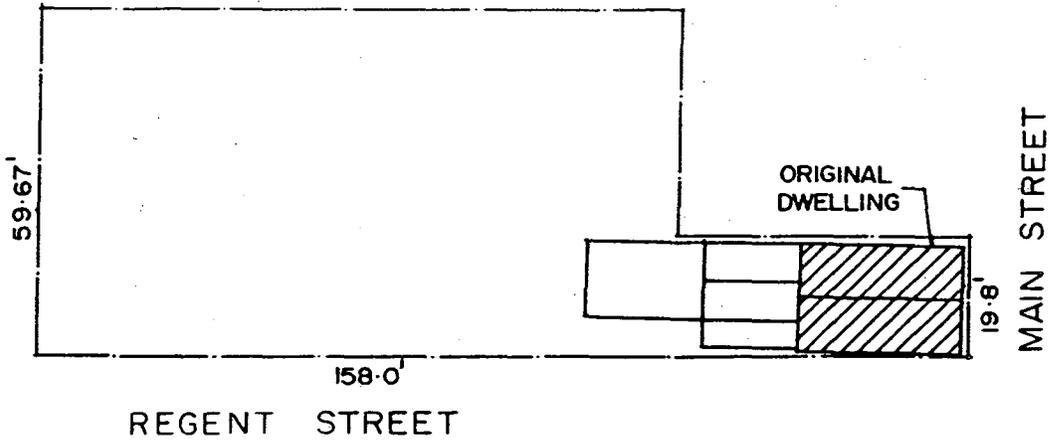
Features to be protected:

- Roofline
- Front facade in its entirety.
- Material and detail
- Frame portico
- Side facade facing Regent Street

Comments:

This building has been altered by two previous additions.

The roofline of the first two storey addition, built in the nineteenth or early twentieth century, steps down from the original, and the addition is set back from the building face. These two factors distinguish the addition from the original building in a satisfactory manner.



FRONT ELEVATION



SIDE ELEVATION

The second one storey shed addition, built within the past year, steps down again to the rear of the building and is an acceptable form of addition, built in compatible materials, and simple detailing which does not conflict with the original building.

As shown in the accompanying site plan the total allowable gross floor area for this site is 5244 square feet. (35% coverage) The existing building, including two additions totals approximately 1800 square feet (13% coverage). The permissible height in this zone would allow for the addition to be approximately 8 feet higher than the original gable.

The application of these maximums in the design of additions would totally overpower, and obscure the original historic building. To date, the additions to this dwelling have been designed in an appropriate and sensitive manner.

Guidance from this example:

- Do not alter the proportions or form of the front facade of the building.
- Retain or replace in kind and detail all original or appropriate materials on the original building.
- Additions should be built to the rear of the building. Their rooflines should begin below the roofline of the original building.
- The scale for the total sum of additions must not overpower the original building. A series of additions or a series of part of one addition is preferable to a single building mass.
- Additions and alterations to corner buildings must be designed to address both streets in a manner which is complementary to the existing street character.
- New window and door openings should be designed which are compatible in proportion and alignment with the originals.

Type: One-and-one-half storey frame (after 1850)

Heritage attributes:

- Typical one and one half storey frame building with front gable and side hall plan .
- The proportions are tall and narrow in comparison to other housing types, and there is a steeply sloping roof.
- There are pronounced fascia and eave returns with flat wood trim around the windows. The trim has a triangular head.

Features to be protected:

- One and one half storey form and roofline.
- Door and window locations.
- Original window, door, fascia and eave detail on front facade.

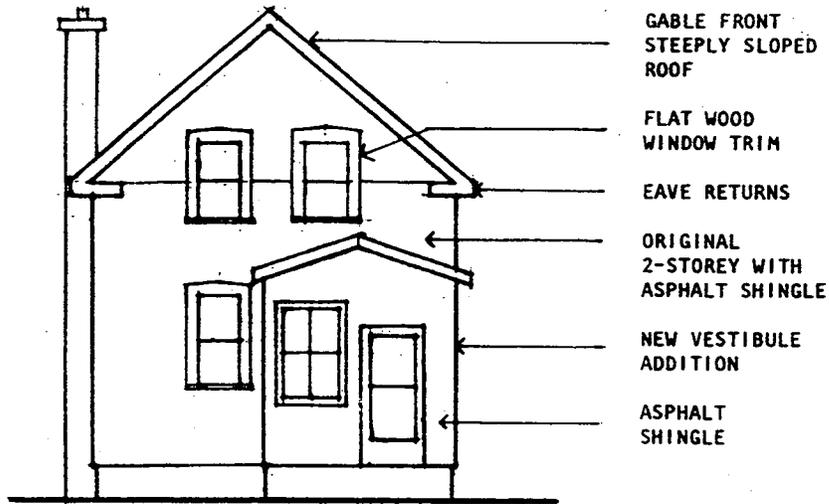
Comments:

This building has already been altered in three ways.

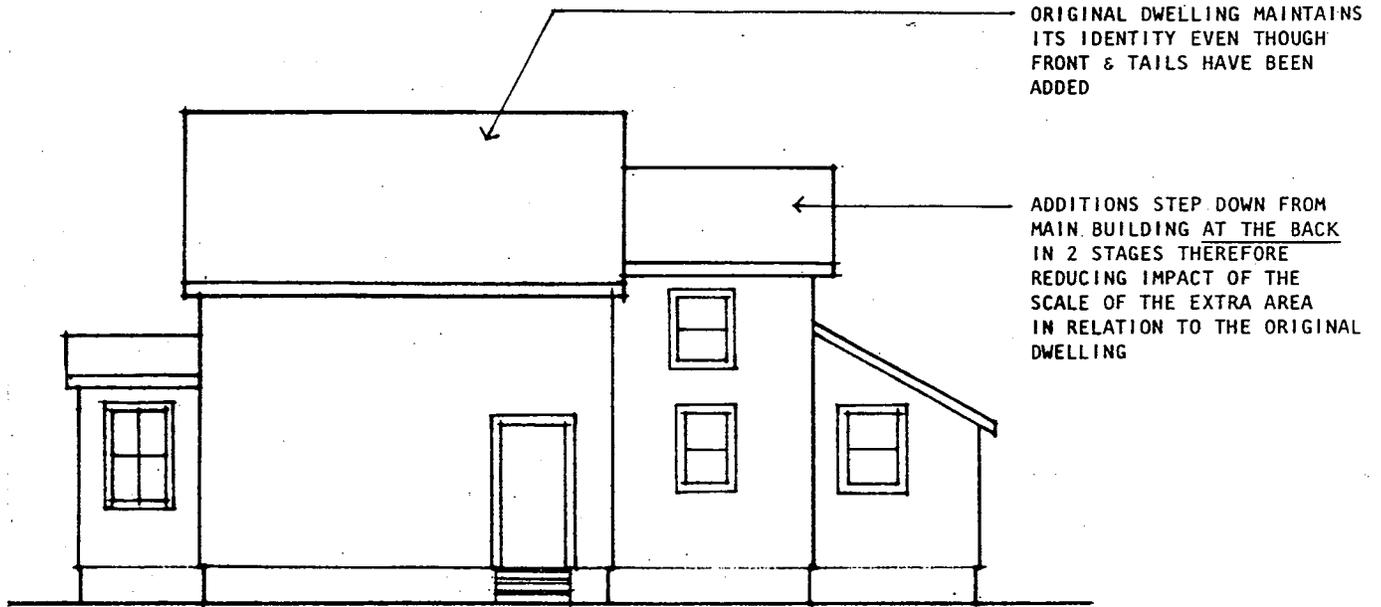
New one-storey vestibule has been added to the front facade. While it detracts from the original house form, it is a typical form of addition which can be seen in many examples within the village.

Original shiplap cladding has been covered by asphalt siding.

Two frame additions have been added to the rear of the building. These "tail" additions are in keeping with the original building form. The roof steps down in two stages from the roofline of the original and therefore reduces the impact of the mass of the addition area. This is a satisfactory form of addition for this building type.



FRONT ELEVATION



SIDE ELEVATION

Guidance from this example:

- Retain original or appropriate eave, fascia, window and door trim on the existing building.
- Replace cladding materials in kind and detail, and use materials for the additions which are compatible with the original.
- Do not build forward of the principle facade or facades.
- Additions should be located in the rear of building. Their rooflines should begin below the roofline of the existing building.
- The scale of the additions should not overpower the form of the original building. Do not build additional floor area which is greater than 100% of the total of the original building. That is, the total of all additions over time must not be greater than 100% of the original gross floor area.

Type: One storey frame (after 1850)

Heritage attributes:

- Typical one storey frame building with low pitched roof with side gables.
- Door and window location on the front facade original, but the windows, doors and cladding have been altered.

Comments:

This building presents a very particular problem which has to do with the building site, and with the very small existing size of the building.

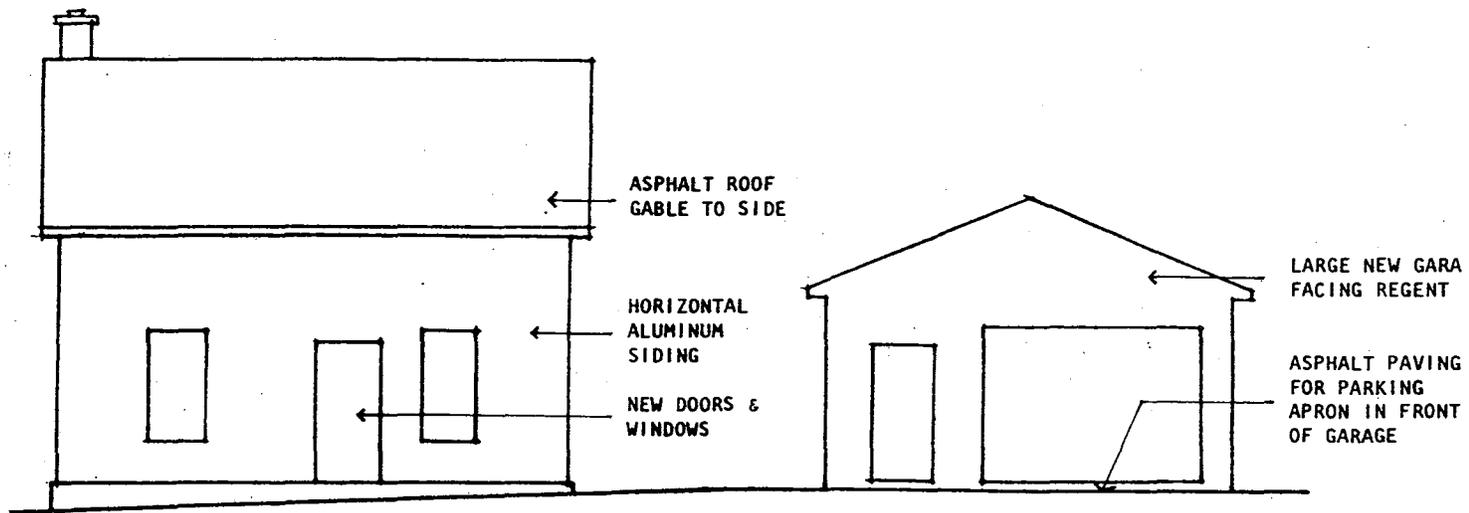
The building has a small shed addition to the rear, but the gross floor area of the building is still only around 700 square feet. Expansion to the rear of the building is restricted by a large in-ground swimming pool. A large one-storey garage restricts side yard expansion.

It would appear that a second storey addition would provide the additional space which is required. However, because of the character of the street (one and one half storey buildings) and the roof height of the original building, the addition of a complete second storey would be inappropriate.

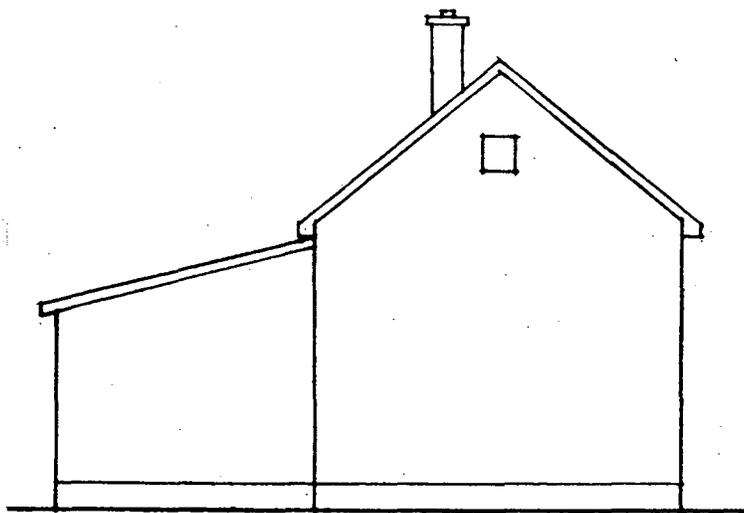
Guidance from this example:

- The original height of the roof line should be maintained.
- Additions should be made to the rear of the building. When the site restricts the size of additions made to the rear, additions to the side of the building may be permitted if there are similar precedents within the community.
- The addition of: one or two one storey side wings which step back from the building; a new centre gable to increase height and light on the upper floor, and a small one and one half storey rear addition, could substantially increase the floor area of the building while maintaining the distinctive form of the original building.

- Original materials should be replaced in kind and detail if the primary building faces are altered.
- Parking and auxiliary service buildings should be shielded from view, and should not interrupt the streetscapes.
- Oblique views of the side walls of buildings and their additions must be considered in the formulation of a design. For example, the east side of this building is very prominent because of the deep setback of the adjacent garage. The new design of this east facade must take into consideration that it will be viewed in a similar manner to views of a side elevation on a corner.



FRONT ELEVATION



SIDE ELEVATION

Type: One-and-one-half storey stone

Heritage attributes:

- Typical one and one half storey limestone building with pitched roof and side gables.
- There is a central gable with arched window over the front entry door.
- Exterior woodwork trim is simple and may be original.

Features to be protected:

- One and one half storey form and roofline.
- Central gable over entry door.
- All doors and windows in the original building.
- All exterior woodwork trim on the original building
- The integrity of the original stonework.

Comments:

This building has had two frame additions added to the rear.

Each addition steps down from the original building.

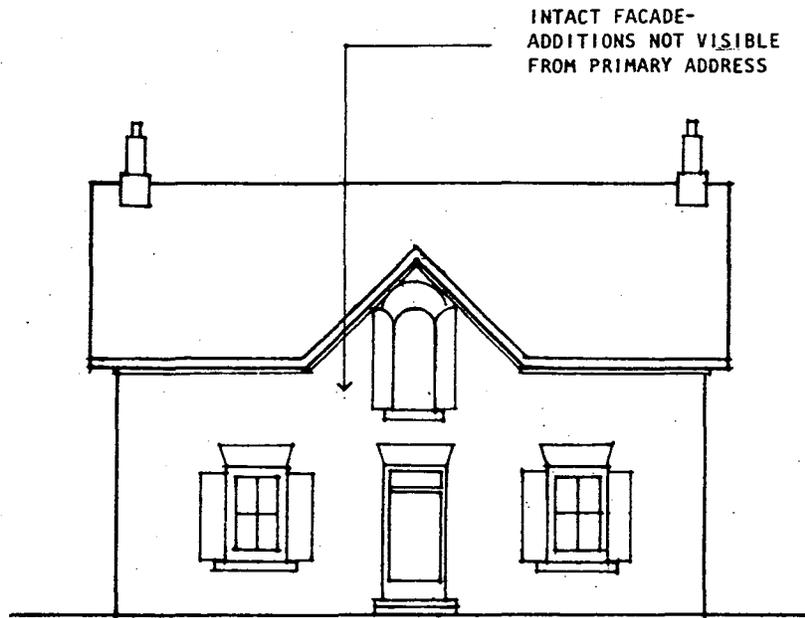
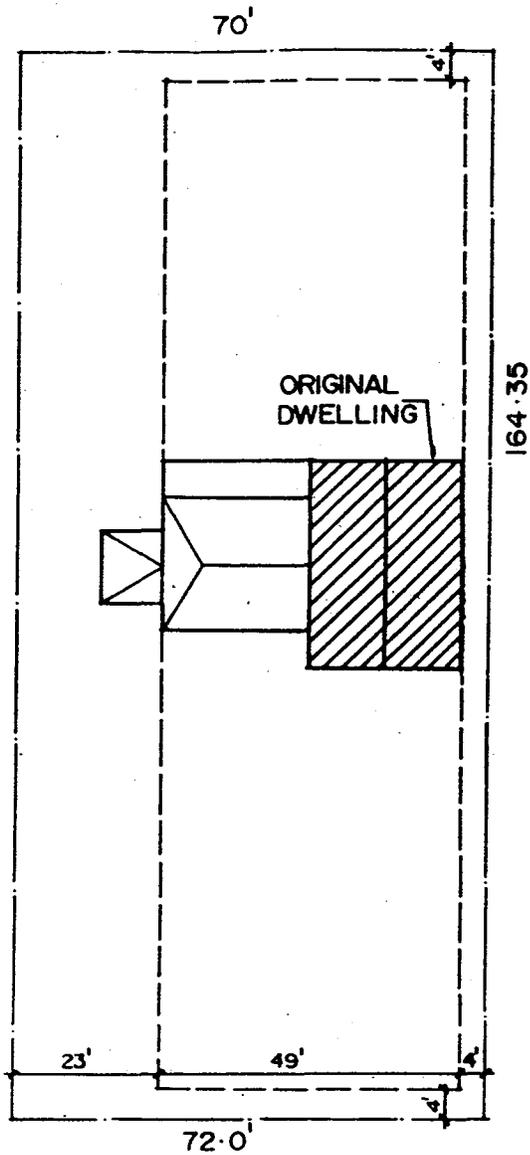
The proportion of door and window openings is appropriate to the original building.

The setback of the additions from Regent Street distinguishes the original from the new work.

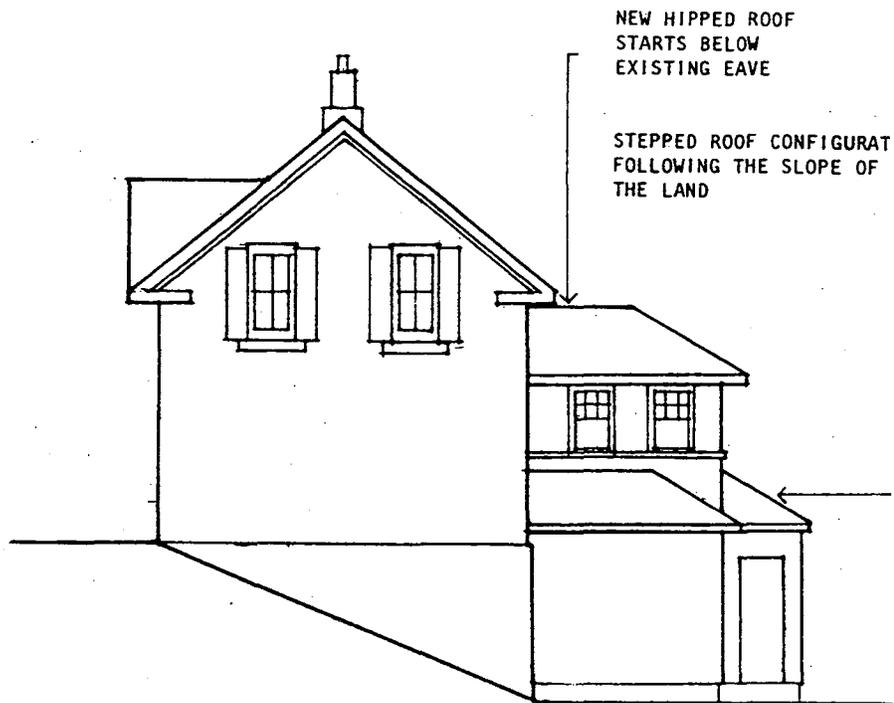
The choice of natural materials (stucco and wood) and colouration of work on the addition harmonizes with the original building.

The scale and overall massing for the additions do not detract from the original building, and make a positive contribution to the streetscape on regent street.

REGENT STREET



FRONT ELEVATION



SIDE ELEVATION

With regard to zoning, the potential coverage for the R2-1 site is approximately 4000 square feet. This would allow a building of 8000 square feet to be constructed on the site.

The earliest building has a total floor area of approximately 1200 square feet; with the building additions added into this total, there is a total gross floor area of approximately 2200 square feet. This represents a 10% coverage ratio.

The existing coverage is appropriate to the original house, lot and streetscape.

Guidance from this example:

- The roofline of all additions should be lower than the roofline of the original building.
- Additions should be located to the rear of the original building.
- New additions should be set back in plan from the original building
- Cladding materials chosen for new additions should be of materials, colours and textures which are compatible with the original building.
- Door and window openings should be designed which have similar proportion to those as the original.
- The scale and overall massing of the additions should not detract from the original building.
- Existing zoning regulations regarding height, coverage and setbacks should be amended so that buildings are examined on a case by case basis.

Type: One-and-one-half storey stone (c. 1853)

Heritage attributes:

- Similar to previous example.

Features to be protected:

- Similar to previous example, plus the frame porch at front entry.

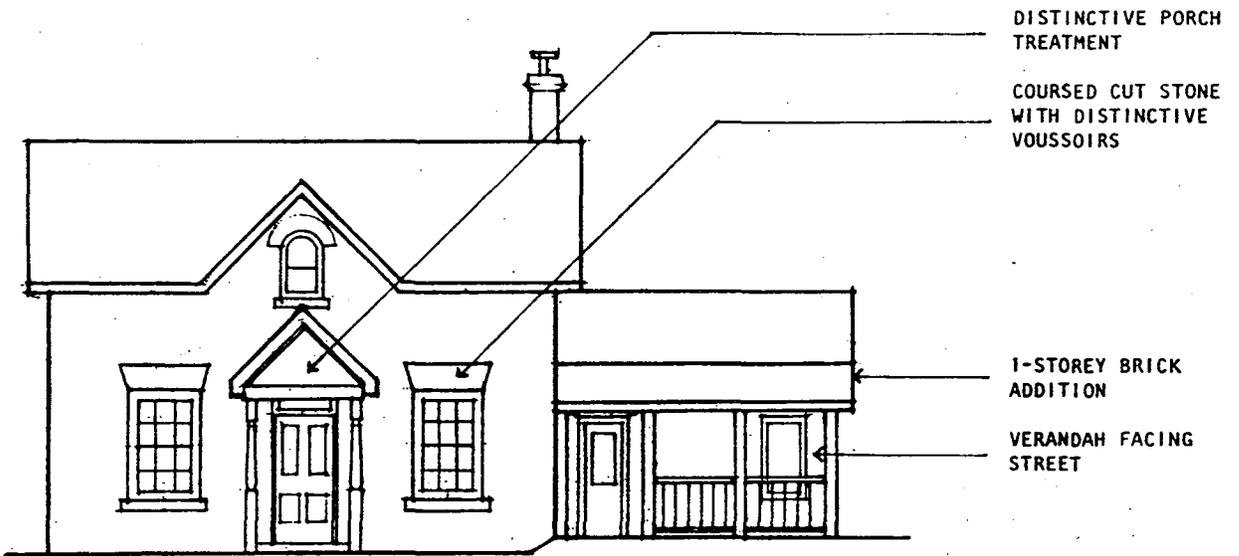
Comments:

The original stone building has a low one storey addition to the east with open front and rear Verandahs. Although it is not generally advocated that additions be made to the side of original structures, this addition is satisfactory for the following reasons:

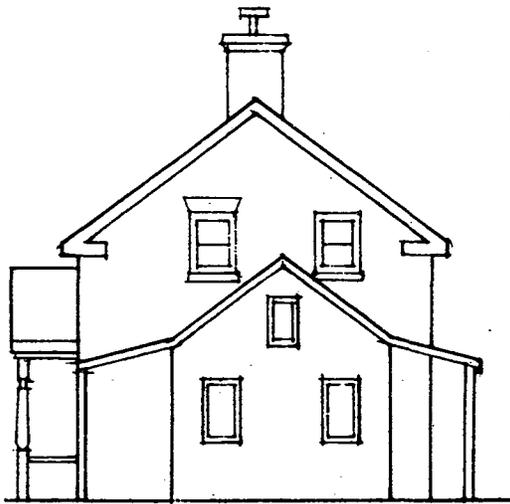
- it is set back from the main face of the building though the use of an open verandah.
- the ridge of its roof is considerably lower than the main ridge; and
- its scale does not detract from the main building.

Guidance from this example:

- When it is not possible because of site restrictions to add to the rear of this particular building type, satisfactory additions may be made to the side walls of the existing building.
- It is always preferable to build to the rear of the existing building.



FRONT ELEVATION



SIDE ELEVATION