

Appendix A Inventory of properties within the Barriefield Heritage Conservation District

Introduction to the Inventory

The following inventory is an update to the Historical Building Survey contained in the Appendices to the 1992 Barriefield Heritage Conservation District Plan (HCD) update. The historical information for the properties has been carried over from the 1992 Plan, updated with additional information on alterations provided by the City of Kingston through their Heritage Permit Application tracking system, and from the residents of Barriefield. Information regarding properties not contained in the 1992 document or constructed after 1992 was provided by the City of Kingston and Barriefield residents.

The inventory of buildings has been reformatted from the 1992 Plan to be consistent with the City of Kingston's format for identifying heritage properties, and with the format for Statements of Significance provided by the Canadian Register of Historic Places. This format includes a description of the historic place, a summary of its heritage value, and heritage attributes that define its heritage value. This information is provided only for properties identified as 'heritage' structures.

On behalf of the City, the consulting firm of MacNaughton Hermsen Britton Clarkson Planning Limited (MHBC) took new photographs from the public right-of-way in October 2014. Some photos were provided by the City or residents where views from the public realm during the site visit were obscured by vegetation or vehicles.

The classification of buildings as 'heritage' and 'non-heritage' has been used to identify separate sets of guidelines in the HCD Plan for the different property types. 'Heritage' properties are those that are at least 40 years old or older, and contain original or restored materials, are intact examples of architectural style or representative of a particular style or vernacular building type, and maintain their orientation or relationship to the street and context.

'Non-heritage' buildings are still important buildings in the Barriefield Heritage Conservation District, and all contribute to the District in their own ways, particularly to the streetscape and overall low-profile residential character. In some cases, older buildings have been identified as 'non-heritage' because they have been substantially altered and the integrity of original materials, form, or location has been lost or obscured.

This inventory is intended to provide a snapshot of the built heritage resources of the District (and their immediate settings) as they exist today. The list of heritage attributes is intended to capture recurring patterns in setting, materials, number of window and door openings (bays), architectural features, form and massing that collectively make up the character of Barriefield. The policies and guidelines of the Heritage Conservation District Plan provide guidance on the conservation, restoration or alteration of heritage and non-heritage properties.

Drummond Street

Name:

Address: 3 Drummond Street

Property Number:
1011090090016000000

Lot: PLAN 51 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	1927
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two
Roof Type:	Front gable
Building Height:	One and one half storey
Alterations:	Window trim, board and batten siding, frieze board under roof added (2000).
Landscape/setting:	Close setback to street, side yard with lawn and mixed vegetation, wooden shed in rear yard.
Heritage value:	Non-heritage (little known heritage fabric of dwelling remains)

Name:

Address: 6-8 Drummond Street

Property Number:
1011090090005000000

Lot: PLAN 51 PT LOT 6



Property Type:	Residential
Era/Date of Construction:	c. 1814 to 1819
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Four
Roof Type:	Hip
Building Height:	Two storey
Alterations:	Rear addition. Transom light, door and steps replaced (2006).
Landscape/setting:	Very close to street, Minimal landscaping, Gravel drive.
Heritage value:	Heritage

Description of Historic Place:

6-8 Drummond Street is a two storey Vernacular style structure built of shaped limestone. It is a two storey semi-detached building with a rectangular plan. A more recent two storey wing has been added to the rear of the building creating a "T" shaped plan. The structure is located on the east side of Drummond Street in the Barriefield Heritage Conservation District.

Heritage Value:

This house is believed to be one of the oldest in Barriefield. Lot 6 between James and Regent Streets was purchased in 1814 by widow Catherine Milks from Richard Cartwright. It would appear that a house was constructed on the southerly portion of the lot between 1814 and 1819 before it was sold to Thomas Chittle of the Mounted Royal Veterans Volunteers. In all likelihood, the present structure is the house shown on the 1827 map of Barriefield. The house was sold by auction in 1821 and bought by William Usher, a sergeant of the 76th Regiment at Fort George.

It has a low hip roof with a brick chimney on the north elevation. The main elevation is divided into four bays with two centrally located entrances and side windows. The window sashes consist of 6/6 lights. Stone courses and keystones are located above the windows and doors.

Heritage Attributes:

Elements that define the historical value of the property include:

- Understated neo-classical/loyalist building representative of early construction in Barriefield Village

Elements that define the architectural value of the property include:

- Stone construction
- Rectangular plan
- Symmetrical four bay facade
- Rectangular window openings
- Rectangular single door openings with transom
- Stone course and keystone above windows and doors
- Stone window sills
- Low profile hip roof
- Brick chimney

Elements that define the contextual value of the property include:

- Close setback from the street
- Orientation to Drummond Street

Name:

Address: 10 Drummond Street

Property Number:
1011090090006000000

Lot: PLAN 51 PT LOT 6 RP
13R11947;PT PART 1



Property Type:	Residential
Era/Date of Construction:	c.1824-1831
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Five
Roof Type:	Medium side pitched side gable
Building Height:	One and one half storey
Alterations:	Two additions (including garage) added to rear of building (1994/1995), Original wooden siding covered by synthetic siding but restored (1994), Facade altered with the removal of the window to the immediate south of the main door but restored, One storey verandah once enclosed by screens but restored. Chimneys rebuilt (1992).
Landscape/setting:	Close setback to street, fenced/hedged side yard
Heritage value:	Heritage

Description of Historic Place:

10 Drummond Street is a one and one half storey side gable frame structure. It faces Drummond Street in the Barriefield Heritage Conservation District with a side yard extending to the intersection at Regent Street.

Heritage Value:

This property was once part of Lot 6 which was purchased by Catherine Milks in 1814 and sold to Thomas Chittle in 1819. The exact construction date is unknown but has been estimated to be between 1824 and 1831 during the ownership of Thomas Chittle.

This one and one half storey frame house has a rectangular plan with the long side facing Drummond Street. Two small one storey additions are located on the east side. Two large stone chimneys run up the outside end walls of the house.

Heritage Attributes:

Elements that define the historical value of the property include:

- Understated neo-classical/loyalist building representative of early construction in Barriefield Village

Elements that define the architectural value of the property include:

- One and one half storey, rectangular side gable plan
- Symmetrical five bay facade
- Rectangular window and door openings
- Open front porch
- Narrow horizontal cladding
- Stone Chimneys

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Drummond Street
- Low hedges delineating property boundary

Name:

Address: 12 Drummond Street

Property Number:

1011090090017000000

Lot: PLAN 51 PT LOT 6 RP

13R18380;PARTS 3 AND 4



Property Type:	Residential
Era/Date of Construction:	Under construction 2014/2015
Architect/Builder:	Builder Stephenson
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Two
Roof Type	Front gable
Building Height:	One and one half storey
Alterations:	New building – N/A
Landscape/setting:	Close setback to street
Heritage value:	Non-heritage

Name:

Address: 13 Drummond Street

Property Number:
1011090090040000000

Lot: PLAN 51 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	c.1900
Architect/Builder:	Jack Esford
Building style/Influence:	Vernacular
Materials:	Frame, synthetic cladding
Number of Bays:	Two
Roof Type:	Front gable
Building Height:	One and one half storey
Alterations:	Side porch addition, Window and door replacements, Synthetic cladding, Rear second storey addition (1999)
Landscape/setting:	Close setback to street, fenced yard, minimal landscaping
Heritage value:	Heritage

Description of Historic Place:

13 Drummond Street is a one and one half storey front gable structure located on the west side of Drummond Street in the Barriefield Heritage Conservation District.

Heritage Value:

Built by Jack Esford c.1900, this one and one half storey vernacular frame house was enlarged by Albert Tisdell soon after it was constructed. It has a rectangular plan with the short end facing Drummond Street.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular form representative of early 20th century construction in the Barriefield Village.

Elements that define the architectural value of the property include:

- Front facing gable
- One and one half/two storey plan

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Drummond Street

Name:

Address: 14 Drummond Street

Property Number:
1011090090018000000

Lot:
PLAN 51 PT LOT 6



Property Type:	Residential
Era/Date of Construction:	1830-1837
Architect/Builder:	James Pentland
Building style/Influence:	Vernacular
Materials:	Stone
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	Two storey
Alterations:	One storey side addition removed from south elevation, Roof resingled (1993). Two storey addition added to rear (2002). Paint removed from brick surface (1993). Remove porch (2005)
Landscape/setting:	Close setback to street, mixed shrubs, gravel drive
Heritage value:	Heritage

Description of Historic Place:

14 Drummond Street is a two storey rectangular side gable structure located on the east side of Drummond Street in the Barriefield Heritage Conservation District.

Heritage Value:

Built by shoemaker James Pentland between 1830 and 1837, this house was sold to Gabriel Belwa, a cooper, in 1840. His son, Charles Belwa, served as township clerk for many years. The house was purchased by the Warmington family in 1909.

This simple two storey coursed rubblestone house is rectangular in plan with the long axis to the street. The corners are accented with quoins. The main facade is divided into 3 bays on the ground floor with an off-centre entrance door and two windows. The second floor has two windows set over the first floor windows. The roof is a

medium pitched side gable with slightly projecting eaves on the front and back. An inset stone chimney is located at each gable end.

Heritage Attributes:

Elements that define the historical value of the property include:

- Understated vernacular building representative of early construction in Barriefield Village

Elements that define the architectural value of the property include:

- Stone construction with quoins
- Two storey rectangular side gable plan
- Three bay facade
- Rectangular window and door openings
- Stone courses above windows and door
- Stone sills
- Stone chimneys

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Drummond Street

Name:

Address: 15 Drummond Street

Property Number:
1011090090039000000

Lot: PLAN 51 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	2004
Architect/Builder:	Builder Ian Moffat – Truehaven Design Builders
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	Not known
Landscape/setting:	Close setback to street, lawn, flagstone path, lilac, asphalt drive
Heritage value:	Non-heritage

Name:

Address: 16 Drummond Street

Property Number:
1011090090019000000

Lot: PLAN 51 PT LOT 6



Property Type:	Residential
Era/Date of Construction:	Reportedly constructed 1903, altered in 1990s and 2013
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two bays per wing
Roof Type:	Front and side gable
Building Height:	One and two storeys
Alterations:	Alterations in 1990s – expand rear addition and add new addition, addition to workshop, roof replacement, restore building facade, new windows. Porch and window improvements, (2005/2006). Verandah added to west elevation of one storey addition (2013).
Landscape/setting:	Close setback to street, mixed shrubs, flowers and groundcover, asphalt drive
Heritage value:	Heritage

Description of Historic Place:

16 Drummond Street is a one and two storey building located on the east side of Drummond Street in the Barriefield Heritage Conservation District.

Heritage Value:

The property at 16 Drummond Street was reportedly constructed in the early 20th century, and has been renovated substantially since. It is a two storey front gable frame structure with a one storey side gable addition. The structure is of vernacular design.

Heritage Attributes:

Elements that define the historical value of the property include:

- Understated vernacular building representative of early 20th century construction in Barriefield Village

Elements that define the architectural value of the property include:

- Frame construction
- Narrow horizontal cladding
- Rectangular front and side gable plan
- Two bay facade on main section of house and two bay side wing
- Brick chimney
- Open front porch
- Cornice returns

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Drummond Street
- Picket fence

Name:

Address: 17 Drummond Street

Property Number:
1011090090038000000

Lot: PLAN 51 PT LOT 5
BEING;13R11604 PART 1



Property Type:	Residential
Era/Date of Construction:	2002
Architect/Builder:	Designed by Sherman A. Hill /Built by Patrick Powers Construction
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable with gable dormers
Building Height:	One and one half storey
Alterations:	Rear porch added 2002
Landscape/setting:	Close setback to street, mixed shrubs, flowers and groundcover, flagstone walk, asphalt drive
Heritage value:	Non-heritage

Name:

Address: 18 Drummond Street

Property Number:

1011090090020000000

Lot: PLAN 51 PT LOT 6 RP

13R15137;PART 1



Property Type:

Residential

Era/Date of

1830-1840

Construction:

Architect/Builder:

Not known

Building style/Influence:

Vernacular

Materials:

Frame, synthetic cladding

Number of Bays:

Three

Roof Type

Side gable

Building Height:

Two storey

Alterations:

Synthetic cladding, One storey side addition on south elevation, One storey addition to rear, Window and door replacements, Raised roofline from one and one half storeys to two storeys

Landscape/setting:

Close setback to street, fenced side yard

Heritage value:

Previously owned by Samuel Chestnut, a Yeoman, but categorized as Non-heritage (much altered)

George Street

Name:

Address: 3 George Street

Property Number:

1011090090008100000.00

Lot: PLAN 51 PT LOT 8

13R2641;PART 1 & 13R15780 PART 2



Property Type:

Residential

Era/Date of Construction:

1989-1990

Architect/Builder:

Not known

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Three

Roof Type

Side gable

Building Height:

One and one half storey, one storey side wing

Alterations:

Porch added (2004). Driveway relocated from George Street (2000).

Landscape/setting:

Lawn, picket fence, lilac, side yard with specimen trees,

Heritage value:

Non-heritage

Name:

Address: 5 George Street

Property Number:

1011090090025000000.00

Lot: PLAN 51 PT LOT 8 RP

13R17477;PART 1



Property Type:

Residential

Era/Date of Construction:

1983. Replaced earlier building destroyed by fire

Architect/Builder:

Friends of owner – names not known

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Two

Roof Type

Front gable

Building Height:

Two storey

Alterations:

Wood siding replaced aluminum (2005).

Landscape/setting:

Flagstone walk, gravel drive, shrubs

Heritage value:

Non-heritage

Name:

Address: 7 George Street

Property Number:
1011090090024000000.00

Lot: PLAN 51 PT LOT 8



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	William and Frederick Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two
Roof Type:	Front gable
Building Height:	One and one half storey
Alterations:	Small one storey and larger one and one half storey addition to north elevation (2007). Windows replaced (2005). Gable portico added to front entrance after 1992. Fencing added (1993).
Landscape/setting:	Close setback to street, concrete walk, fenced yard, mixed shrubs
Heritage value:	Heritage

Description of Historic Place:

7 George Street is a one and one half storey house with cross gable roof located on the west side of George Street in the Barriefield Heritage Conservation District.

Heritage Value:

Constructed by local builders William and Frederick Allen, this one and one half story frame house has a rectangular plan with a medium pitched front gable roof. The property was owned by William Norman. The front facade is divided into two bays with a side entrance and a double-hung window unit. A one and one half storey addition and a single storey addition are located on the north side.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular structure representative of late 19th century construction in Barriefield Village by the Allen brothers.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Cross gable T-shape plan
- Two bay facade
- Rectangular window openings
- Single rectangular door opening
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to George Street
- Low profile fencing delineating property

Name:

Address: 9 George Street

Property Number:
1011090090023000000.00

Lot: PLAN 51 PT LOT 8



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	William and Fredrick Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two
Roof Type	Front gable
Building Height:	One and one half storey
Alterations:	Original wooden cladding replaced with aluminum siding. Windows repaired (2012).
Landscape/setting:	Hedged yard, close setback to street, corner lot
Heritage value:	Heritage

Description of Historic Place:

9 George Street is located at the southwest corner of George Street and Wellington Streets in the Barriefield Heritage Conservation District. It is a one and one half storey front gable structure with rectangular plan.

Heritage Value:

This house was constructed by local builders William and Frederick Allen in the late 19th century, and owned by Harry Norman. It consists of a one and one half storey front gable structure with a side entrance. The steep gable roof has a returned eave. Once clad in wooden siding, the house is presently covered with aluminium siding. A one storey enclosed vestibule is located at the front entrance.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of late 19th century construction in Barriefield Village by the Allen brothers.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Front gable, rectangular plan
- Two bay facade (second storey)
- Returned eaves
- Narrow horizontal cladding

Elements that define the contextual value of the property include

- Close setback to street
- Orientation to George Street
-

Green Bay Road

Name: Salisbury House

Address: 218 Green Bay Road
(formerly 402 Regent Street)

Property Number:
1011090090060000000.00

Lot: PLAN 51 PT LOT A RP
13R19177;PART 1



Property Type:	Residential
Era/Date of Construction:	Late 1880s
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Brick
Number of Bays:	Two
Roof Type	Front gable
Building Height:	Two and one half storey
Alterations:	Repair second storey windows (2012), repair and repoint damaged bricks (2009), enclose rear west porch (1995), enclose porch (1995), replace windows with wood windows (1992), add solarium (1990). Approval granted to remove south porch, east one storey addition, gazebo addition, north porch, and detached storage building and construct a one and one half storey addition to rear and new detached garage in rear yard (2014).
Landscape/setting:	Open lawn, gravel drive, willow trees and mixed vegetation
Heritage Value:	Heritage

Description of Historic Place:

The property at 218 Green Bay Road was formerly addressed as 402 Regent Street in the 1992 Heritage Conservation District Plan Review. The property is located on the south side of Green Bay Road. It is a two and one half storey front gable brick structure with side hall entrance plan.

Heritage Value:

The design of the two and one half storey brick house in a common bond pattern represents a vernacular style used commonly in the late 19th century. A pair of narrow first storey windows separated by bricks are located west of the entrance. A gabled

portico at the front entrance has been constructed, reflecting a previous design. The roof of the house is a steeply pitched gable with a round arched window and a later dormer addition on the west side. The front windows have brick courses/voussoirs. Brick chimneys are located in the centre and back of the roofline. In 1884 the property was owned by James Salisbury, a retired member of the Royal Canadian Rifles.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of late 19th century construction in Barriefield Village

Elements that define the architectural value of the property include:

- Two and one half storey massing
- Front gable side hall plan
- Two bay facade (pair of narrow windows on first storey, single windows on second storey)
- Rectangular window and single door opening
- Round arched window in gable
- Brick construction in stretcher bond pattern on the front wall and common bond pattern on the side walls
- Stone foundation

Elements that define the contextual value of the property include:

- Open lawn and side yard areas
- North facing orientation to Green Bay Road
- Mixed vegetation

Name:

Address: 220 Green Bay Road

Property Number:

1011090090060100000.00

Lot: PLAN 51 PT LOTS A AND 2
RP;13R19177 PART 2



Property Type:	Residential
Era/Date of Construction:	2009
Architect/Builder:	Designed and built by Ian Moffat, Truehaven Designs
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable with gable dormers
Building Height:	One and one half storey with raised basement
Alterations:	Solar panels installed (2010), granted approval for detached garage (2013)
Landscape/setting:	Stone retaining wall, mixed annuals, mixed vegetation, gravel drive
Heritage Value:	Non-heritage

Name:

Address: 221 Green Bay Road

Property Number:
1011090090062070000.00

Lot: PLAN 1963 LOT 1 RIDEAU
CANAL



Property Type:	Residential
Era/Date of Construction:	2003
Architect/Builder:	Designed and built by Ian Moffat, Truehaven Designs
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three, with two bays on one storey east house extension
Roof Type	Cross gable
Building Height:	One and one half storey with raised basement
Alterations:	Retaining wall constructed (2003).
Landscape/setting:	Open lawn, mixed shrubs and specimen trees
Heritage Value:	Non-heritage

Name:

Address: 222 Green Bay Road

Property Number:
1011090090062000000.00

Lot: PLAN 1963 LOT 5



Property Type:	Residential
Era/Date of Construction:	2003
Architect/Builder:	Designed and built by Ian Moffat, Truehaven Designs
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Six
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	None recorded
Landscape/setting:	Stone and mixed shrub garden, gravel drive
Heritage Value:	Non-heritage

Name:

Address: 223 Green Bay Road

Property Number:
1011090090062050000.00

Lot: PLAN 1963 LOT 2 RIDEAU
CANAL



Property Type:	Residential
Era/Date of Construction:	2005
Architect/Builder:	Designed and built by Ian Moffat, Truehaven Designs
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Five
Roof Type	Side gable
Building Height:	One storey
Alterations:	Stone cladding changed to board and batten (2005)
Landscape/setting:	Open lawn, mixed shrubs and trees, gravel drive
Heritage Value:	Non-heritage

Name:

Address: 225 Green Bay Road

Property Number:
1011090090062030000.00

Lot: PLAN 1963 LOT 3 RIDEAU
CANAL



Property Type:	Residential
Era/Date of Construction:	2002
Architect/Builder:	Designed and built by Ian Moffat, Truehaven Designs
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three, with one bay on one storey north house extension
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	Pool added to rear yard (2004), roof pitch altered at rear (2006).
Landscape/setting:	Open lawn, mixed trees and shrubs, gravel drive
Heritage Value:	Non-heritage

Name:

Address: 227 Green Bay Road

Property Number:
1011090090062010000.00

Lot: PLAN 1963 LOT 4 RIDEAU
CANAL



Property Type:	Residential
Era/Date of Construction:	1996
Architect/Builder:	Architect Robert Carothers, builder Garofalo Bros.
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Seven
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	None recorded
Landscape/setting:	Open lawn, mixed shrubs/trees, gravel drive
Heritage Value:	Non-heritage

Name:

Address: 229 Green Bay Road

Property Number:
1011090090075020000.00

Lot: CON EGCR PT LOT 20
RP;13R12645 PART 1 RIDEAU
CANAL



Property Type:	Residential
Era/Date of Construction:	1995
Architect/Builder:	Built by Mac Gervan/SUN builders
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	Detached building constructed (2008)
Landscape/setting:	Mixed shrubs and trees, stone garden wall, gravel drive
Heritage Value:	Non-heritage

James Street

Name:

Address: 228 James Street

Property Number:

1011090090058000000.00

Lot: PLAN 51 PT BLK A RP

13R8003;PART 5



Property Type:

Era/Date of

Construction:

Architect/Builder:

Building style/Influence:

Materials:

Number of Bays:

Roof Type

Building Height:

Alterations:

Landscape/setting:

Heritage Value:

Residential

Front section originally constructed c. 1840 on Allumete Island, Ottawa. Mid-section constructed in Ancaster (date not known) rear section constructed early 1800s in Hamilton area

Originals not known. Moved to location in 1985/6 by Tony Jenkins.

Vernacular

Log and frame

Three

Side gable with gable dormer

One and one half storeys

Moved to location in 1985. Construct garage and add dormers to north side of house (1995), change garage design (1996). Add dormer windows to house (1998). Change garage roof to metal (2011).

Open lawn, mixed trees and shrubs

Heritage

Description of Historic Place:

The property at 228 James Street is located on the north side of James Street and the east side of Green Bay Road, with frontage on both streets, in the Barriefield Heritage Conservation District. The property contains a collection of 19th century frame structures relocated from various locations.

Heritage Value:

The front section of the dwelling, facing James Street was originally constructed c. 1840 on Allumete Island, Ottawa. The mid-section was constructed in Ancaster (date not known) and the rear section constructed early 1800s in Hamilton area. The original architect and builders, or histories of the individual components are not known. The dwelling components were relocated to the property in 1985 by Tony Jenkins.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of various 19th century vernacular construction designs.

Elements that define the architectural value of the property include:

- Symmetrical three bay facades on both James Street and Green Bay Road
- Frame construction with narrow horizontal cladding
- Log construction
- Rectangular window openings
- Single front door with wood surround (James Street elevation)
- Single front door with sidelights and transom (Green Bay Road elevation)
- Side gable roof

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to James Street and Green Bay Road

Name: James Medley Jr. House

Address: 230 James Street

Property Number:
1011090090057000000.00

Lot: PLAN 51 PT LOT 2 PT LOT A



Property Type:	Residential
Era/Date of Construction:	1856-1857
Architect/Builder:	James Medley Jr.
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Five
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	Main entrance reconstructed, solarium added (1993). Masonry work repaired and repointed, garden shed constructed (1994), roof re-shingled, windows repaired (2006 & 2008), wooden trim repaired and repainted, downspouts replaced (2010), replace porch (2011), repairs to soffit, windows, door; add porch rail and stairs (2012).
Landscape/setting:	Fenced garden, open front lawn to street.
Heritage Value:	Heritage

Description of Historic Place:

The James Medley House is located on the north side of James Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey stone dwelling built in the mid-19th century.

Heritage Value:

This property was purchased by local tailor James Medley in 1852. He proceeded to build the present house in 1856 or 1857 on the site of an earlier frame dwelling.

The house was damaged by fire in the 1980s, but has since been reconstructed/restored.

The house is a one and one half storey limestone structure built into the downward slope of the lot. The basement is also exposed on the front elevation, where earth has been removed. The limestone is squared and dressed on the main facade. It is evenly coursed on all elevations.

The long side of the rectangular plan is oriented to James Street and a rear addition forms an "L" shaped configuration. The main elevation is five bays wide with a central doorway and two windows on each side. The main entrance door has an elliptical fanlight with tracery and half sidelights with bottom panels. The roof is a medium pitched central front gable and gable parapets with two inset brick chimneys. A semi-circular window with tracery is located in the central gable. A plain cornice runs under the eaves. An open porch is located along the width of the front elevation.

A one and one half storey stone addition on the rear of the house was raised during the 1980s renovations and an upper storey of board and batten was added.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of mid 19th century construction in Barriefield Village.

Elements that define the architectural value of the property include:

- L-shaped plan
- One and one half storey massing
- Cross gable roof with side gable parapets
- Brick chimneys
- Exposed basement
- Even coursed squared, dressed limestone construction
- Symmetrical five bay façade with open porch
- Rectangular window openings
- Single door opening with fanlight and sidelights
- Round arched window in gable
- Stone voussoirs

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to James Street
- Stone and metal fence

Name: Jacob Sharman House

Address: 232 James Street

Property Number:
1011090090056000000.00

Lot: PLAN 51 S PT LOT 2 &
PT;JAMES ST RP 13R7197 PART 1



Property Type:	Residential
Era/Date of Construction:	1860s
Architect/Builder:	Jacob Sharman
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type	Hip with central front gable
Building Height:	Two storey
Alterations:	Window and door replacements. Porch removal (pre-1992). Removed chimney (2002), replaced concrete with pavers in front yard (2008).
Landscape/setting:	Concrete wall, deeper setback to street, mixed vegetation, asphalt drive
Heritage value:	Heritage

Description of Historic Place:

The Sharman House is located on the north side of James Street in the Barriefield Heritage Conservation District. The property contains a two storey frame dwelling with symmetrical three bay facade and hip roof with central gable. Large multi-paned windows flank the central entrance and a round arched window is located in the gable. The gable contains bargeboard and a finial.

Heritage Value:

In 1863 Jacob Sharman, a local carpenter and boat builder, purchased village lots 2 and 3 which included a small one storey frame house dated c. 1820 built by John Ferguson. It is believed that Sharman incorporated this earlier dwelling in the present structure. The present two storey frame building is square in plan with a three bay front elevation and central door. The medium pitched hip roof has a central front gable. This gable has a round arched window which was restored shortly before the 1992 inventory, as well as decorative bargeboard and a finial at the peak. At one

time an open porch with trim similar to the bargeboard stood on the front elevation. The venetian style window openings on the ground floor of the main elevation are part of a c. 1860s renovation while the window sashes are modern additions.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of mid 19th century construction in Barriefield Village

Elements that define the architectural value of the property include:

- Two storey massing
- Square/rectangular plan
- Symmetrical three bay facade
- Rectangular window openings
- Single door opening
- Round arched window opening in gable
- Hip roof and central gable
- Bargeboard and finial
- Horizontal cladding

Elements that define the contextual value of the property include:

- Orientation to James Street

Name:

Address: 234 James Street

Property Number:
1011090090053000000.00

Lot: PLAN 51 S PT LOT 3



Property Type:	Residential
Era/Date of Construction:	C. 1945
Architect/Builder:	Not known
Building style/Influence:	Post-war vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type	Hip
Building Height:	One storey
Alterations:	Repainted with railings added to front steps (1992). lean-to addition on north side, replaced roof and windows (2011)
Landscape/setting:	Stone wall, open lawn, mixed trees and shrubs
Heritage value:	Heritage

Description of Historic Place:

234 James Street is located on the north side of James Street in the Barriefield Heritage Conservation District. It is a one storey frame structure constructed in the mid-20th century.

Heritage Value:

This vernacular frame building is typical of the many post World War II houses constructed during the 1940s and early 1950s. It is one story in height set on a high concrete foundation and has a hip roof. A small open entrance porch with squared column is located at the front facade. The main elevation is divided into three bays with a central doorway and one window on each side. The plan is rectangular with the short side facing the street.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular post-war design representative of the changing nature of Barriefield by the mid-20th century.

Elements that define the architectural value of the property include:

- One storey massing
- Frame construction
- Hip roof
- Three bay facade
- Rectangular window and door openings
- Open front porch

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to James Street
- Stone retaining wall

Name: Pittsburgh Inn

Address: 236 James Street

Property Number:
1011090090052000000.00

Lot: PLAN 51 S PT LOT 3 PT
JAMES;ST CLSD AND RP 13R7197
PART;3



Property Type:	Residential (former Inn)
Era/Date of Construction:	c.1838
Architect/Builder:	William Walker
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Four
Roof Type	Side gable
Building Height:	Two storey
Alterations:	Restoration of round arched fanlight above door; Restoration of first storey window voussoir to west of main door; Two storey addition added to west elevation (2007); Large picture window added to east elevation of main structure but removed (2006); Veranda extended to the entire length of south facade (2007); Concrete retaining wall surrounding south end of property replaced with stone wall; Original wooden shingles replaced but later restored; Extensive additions to north elevation added before 1908 but removed prior to 1992.
Landscape/setting:	Stone wall, mixed shrubs and trees, deeper setback from street
Heritage value:	Heritage

Description of Historic Place:

The property known as the Pittsburgh Inn is located on the north side of James Street in the Barriefield Heritage Conservation District. The property is a two storey four bay stone structure with a side gable roof.

Heritage Value:

William Walker purchased the east third of the south half of lot 3 from widow, Ann Gray, in 1831, which included a frame house probably built by Samuel Gray after 1817.

Walker then bought the remaining half of the south part of lot 3 later in the same year and demolished the frame house. It would appear that the present two storey limestone building was constructed between 1838 and 1840 by William Walker as a tavern. Named the "Pittsburgh Inn" by 1842, this hostelry had several tenant proprietors. In 1843 proprietor James Medley Sr. held a meeting in the building to promote the construction of St. Marks Church. William Rees was the proprietor of the tavern in 1862-65.

William Walker sold the property to William Hutton in 1867. Hutton changed the name of the establishment to the "Dominion House". The Hutton family owned the property until 1925 when it was sold to Robert Gray. Gray owned the property until 1961.

The plan of the building is rectangular with the main elevation of the building along the long axis facing James Street. It is divided into four bays with the door located west of the centre. The high pitched side gable roof has overhanging eaves and a brick end chimney is inset on each gable end.

The 1908 Fire Insurance Plan shows an extensive addition off the north end of the building consisting of a one storey stone addition with a gable roof and a two storey frame addition with a hip roof attached to the north elevation. They have both since been removed.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of early construction in Barriefield village

Elements that define the architectural value of the property include:

- Two storey massing
- Stone construction
- Rectangular plan
- Side gable roof
- Four bay facade
- Rectangular window and door openings
- Semicircular fanlight over main doorway
- Side gable brick chimneys

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to James Street

Name: John Medley Sr. House

Address: 238 James Street

Property Number:
1011090090010000000.00

Lot: PLAN 51 PT LOT 5 RP
13R7197;PART 5



Property Type:	Residential
Era/Date of Construction:	C. 1814
Architect/Builder:	William Baker
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	One storey addition added to west end of main structure and later replaced with garage prior to 1992; Gable dormer altered, windows replaced and metal roof added (1995).
Landscape/setting:	Dry stone wall, open lawn, specimen trees, gravel drive
Heritage value:	Heritage

Description of Historic Place:

238 James Street is located on the North Side of James Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey, three bay frame structure.

Heritage Value:

Once part of the Barriefield House property (202 Main Street), the main section of this frame house is believed to have been built by William Baker sometime after 1814 and before 1820. The frame house is mentioned in an 1822 sale document for the Barriefield House property and is included in the 1842 Ordnance Map of the village. This lot was severed in 1851 and sold to John Medley Sr., a local butcher.

The original frame section of the house is one and one half storeys in height and is set on a stone foundation. It has an original rectangular plan but additions have been added over the years including a front facing garage on the west end of the building,

which projects forward from the original house. The garage appears to have replaced a one storey frame addition shown on the 1908 Goad's Fire Insurance Plan. A front verandah runs the width of the main facade of the original building.

The main facade is asymmetrical and divided into three bays with an off-centre doorway and two windows, one on each side. A gable dormer has been added to the front of the building. A stone chimney is inset on the east gable end.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of early construction in Barriefield Village

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable plan
- Three bay facade
- Rectangular window and door openings
- Narrow horizontal cladding
- Stone chimney

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to James Street

Name:

Address: 240 James St

Property Number:
1011090090009000000

Lot:
PLAN 51 PT LOT 5 RP
13R4582;PART 1



Property Type:	Residential
Era/Date of Construction:	1955 (replaced earlier building destroyed by fire)
Architect/Builder:	Not known
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Multiple bay
Roof Type	Side gable
Building Height:	One storey
Alterations:	None recorded
Landscape/setting:	Open lawn, hedge row along front
Heritage value:	Non-heritage

Name:

Address: 242
James St

Property Number:
101109009000400000
0

Lot:
PLAN 51 PT LOT 6
RP 13R7197;PART
7 BARRIEFIELD
VILLAGE



Property Type: Commercial. Antique store since 1990s, previously “Brownie’s” grocery store

Era/Date of Construction: Mid-20th century

Architect/Builder: Not known

Building style/Influence: Contemporary

Materials: Brick

Number of Bays: Four

Roof Type: Flat

Building Height: One storey

Alterations: Low stone wall and landscaping added along James Street parking lot sometime between 2012 and 2014. Garage door installed (2007). Approval granted for second storey eight bay residential addition with hip roof (2014)

Landscape/setting: Parking Lot along James Street, Small shrubs and grass along parking lot edge. Low stone garden wall

Heritage value: Non-heritage

Name:

Address: 242A James St

Property Number:
1011090090003050000.00

Lot:
PLAN 51 PT LOT 7 & PT
JAMES;ST RP 13R11292 PARTS
1 & 2



Property Type:	Residential
Era/Date of Construction:	2001-2002
Architect/Builder:	Architect Bruce Downey
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Multi bay
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	Structure repainted sometime between 2012 and 2014, Railings added to front porch steps (2014)
Landscape/setting:	Open lawn, mixed shrubs and trees
Heritage value:	Non-heritage

Name:

Address: 244 James Street

Property Number:

1011090090003000000.00

Lot: PLAN 51 PT LOT 7 & PT

JAMES;STREET 13R7197 PT PART 8



Property Type:

Residential

Era/Date of Construction:

1907

Architect/Builder:

William Toner, Herbert Dowler & Bill Milton

Building style/Influence:

Vernacular

Materials:

Frame

Number of Bays:

Two

Roof Type

Cross gable

Building Height:

One and one half storey

Alterations:

One and one half storey addition to east elevation (2005). Original wooden siding replaced with aluminum but restored after 1992, Original wooden shingles replaced with metal roofing. Garage rebuilt (2006), windows rebuilt (2006)

Landscape/setting:

Dry stone wall, lilac hedge, gravel drive

Heritage value:

Heritage

Description of Historic Place:

244 James Street is located on the north side of James Street in the Barriefield Heritage Conservation District. It is a one and one half storey residence with an L-shape plan, cross gable roof and two bay facade.

Heritage Value:

Although it is known that there were buildings on this property during the 19th century, the present house was not erected until 1907 by local farmer William Toner. The builders were apparently Herbert Dowler, a local carpenter, and Bill Milton, a farmer. Frederick and Clara Radwell purchased the house in 1919 and sold it in 1926 to Florence and James Blake who owned the property until 1950.

The main structure is a one and one half storey frame house with a steep front gable roof and a typical two bay, side entrance plan. A single brick chimney stands on the roof

ridge to the rear of the house. A simple open one storey verandah wraps around the south (front) and east elevations. It is supported by decorative turned posts. Although presently clad in metal, the roof once had wooden shingles. Two one storey additions stand to the rear of the main block, and a one and one half storey addition built after 1992 extends from the original structure's eastern side.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of early 20th century construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Cross-gable roof with brick chimney
- Frame construction
- Two bay facade
- Rectangular window and door openings
- Wrap around open porch

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to James Street
- Low stone wall

Name: Etta Dowler House

Address: 246 James Street

Property Number:
1011090090002000000.00

Lot: PLAN 51 W PT LOT 8
13R15780;PART 1



Property Type:	Residential (former Inn)
Era/Date of Construction:	1830-1840
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Limestone Rubble
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	Original wooden shingles replaced with metal roofing. Addition and garage constructed (2003).
Landscape/setting:	Open lawn, mixed shrubs and trees,
Heritage value:	Heritage

Description of Historic Place:

246 James Street is located on the north side of James Street in the Barriefield Heritage Conservation District. It consists of a one and one half storey three bay stone structure adjoined to a five bay stucco clad structure.

Heritage Value:

It would seem probable that 246 and 248 James Street were not built at the same time. The older section at 248 was probably built during the c.1830 while 246 was added by 1840. The land records indicate that David Morton, an innkeeper, and Daniel Kittle and Charles Wilson had purchased the property including all houses, outhouse and other buildings erected as tenants in common in 1829.

The two houses are similar in building material, plan, roof structure and height. Built in limestone rubble, the one and one half storey structure at 246 James Street has a medium pitched side gable roof and a front facade divided into three bays with a slightly off-centre entrance door and two single windows, one on each side. The window openings on 246 James Street are more squared than 248 James Street and shorter in

height and have radiating stone voussoirs and no sill. The 6/6 lights in the window sash have been retained. Although originally wood shingles, the roof is now clad in metal roofing.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design that is representative of early construction in Barriefield.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable plan
- Stone construction
- Three bay facade
- Rectangular window and door openings
- Stone courses/voussoirs above windows and door

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to James Street

Name: Morton's Inn

Address: 248 James St.

Property Number:
1011090090001000000.00

Lot: PLAN 51 PT LOT 8 & PT
JAMES;ST PL 13R7197 PT 10



Property Type:	Residential
Era/Date of Construction:	C. 1830
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Stone Covered in Stucco
Number of Bays:	Five
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	Stucco-type cladding, 246 James Street added to eastern elevation as separate residence between 1830 and 1840, Shed dormer added to main elevation, One storey addition added to rear of 248 prior to 1908, One storey verandah across entire length of 248 facade replaced with shed roof portico over main entrance. Board and batten added to dormer, porch supports replaced, windows restored and new roof, stucco repaired (2004).
Landscape/setting:	Open lawn, mixed shrubs and trees
Heritage value:	Heritage

Description of Historic Place:

246 James Street is located on the north side of James Street in the Barriefield Heritage Conservation District. It consists of a one and one half storey five bay side gable structure clad in stucco adjoined to a stone three bay structure.

Heritage Value:

It would seem probable that 246 and 248 were not built at the same time. The house at 248 was probably built during the 1830s while 246 was added by 1840. According to the land records, David Morton, an innkeeper, and Daniel Kittle and Charles Wilson purchased the property including all houses, outhouse and other buildings erected as tenants in common in 1829. According to LACAC research notes, "Morton's Inn", one of the earliest taverns in Pittsburgh Township was operating out of the building by 1830.

The two houses are similar in building material, plan, roof structure and height. Built in limestone rubble, the one and one half storey structure at 248 James Street has a medium pitched side gable roof and a five bay front facade with a central doorway with side lights and two windows on each side of the entrance. The exterior stonework has been stuccoed. The window openings at 248 are rectangular in shape and longer than the windows at 246 James Street. The 6/6 lights in the window sash have been retained. The entrance door has multi-paned rectangular sidelights with a lower wooden panel. A shed dormer has been added to main elevation.

According to the 1908 Fire Insurance Plan, 248 had a full width one storey verandah across the front facade. It has been replaced by a shed roof portico over the entrance. The one storey rear addition to the house existed on the Fire Insurance Plan of 1908. A large stone chimney is located between the two houses slightly inside the wall of 248. A second stone chimney is found on the east end of 248.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design that is representative of early construction in Barriefield.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable plan
- Five bay facade
- Rectangular window and door openings including side lights
- Chimneys

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to James Street

Main Street

Name: Barriefield House

Address: 202 Main Street
(Listed as 206 Main Street in 1992
Inventory)

Property Number:
1011090090011000000

Lot: PLAN 51 PT LOT 4 & 5 PT
OF; JAMES ST RP 13R12326 PART 1



Property Type:

Era/Date of Construction:

Architect/Builder:

Building style/Influence:

Materials:

Number of Bays:

Roof Type

Building Height:

Alterations:

Residential

1814-1816

William Baker

Neoclassical or "Loyalist"

Stone

Five

Cross gable and side gable

Two and one half storey

19th century centre gable addition; repairs to
stone (1995), north side third floor window
replaces (1999) painting and repair of
exterior (2006).

Landscape/setting:

Open lawn, set on rise of land, mixed
shrubs and mature trees

Heritage value:

Heritage

Description of Historic Place:

Located on a prominent site at the corner of James and Main Streets, Barriefield House once commanded a fine view down to the river. The house is a two and one half storey stone cross gable structure constructed between 1814-1816.

Heritage Value:

Barriefield House pre-dates the naming of Barriefield Village and is one of the oldest (if not the oldest) surviving limestone houses in the community. It was built by William Baker, a British immigrant employed as a cabinet maker at the naval dockyard. Baker lived in the house until 1822 when Walter McCaniffe, a local merchant purchased the property. The H.M. naval storekeeper, John R. Glover resided in the house from 1826 to 1832. In 1863 it was acquired by St. Mark's Church as a Rectory.

The building is a two and one half storey rectangular structure with a high pitched side gable roof built in the early vernacular neo-classical or “Loyalist” tradition of Ontario architecture. Four brick chimneys, two on each gable, once serviced the interior fireplaces in the house. The eavline of the front elevation is punctuated by the later addition of a central gable with a semi-circular headed attic window. Directly underneath the central gable french doors open onto a small balcony at the second storey level.

The front entrance is centrally situated in a five bay façade and has a semi-elliptical fanlight, and side windows typical of its original classical style. The two original first floor windows to the right of the entrance were replaced by a large multi-paned picture window in the 20th century. The present open porch with its central portico is believed to be a more modern adaptation of an earlier porch which spanned the full width of the façade when built. The present deck area is accentuated by a railing with plain square balusters and the portico has square Tuscan order pilasters and columns. A two storey limestone kitchen wing with a side gable roof extends from the north side of the main house on the main façade.

Heritage Attributes:

Elements that define the historical value of the property include:

- Neo-classical/Loyalist design representative of early construction in Barriefield

Elements that define the architectural value of the property include:

- Two and one half storey massing
- Rectangular, cross gable plan
- Stone construction, including courses above windows
- Rectangular regularly spaced window openings
- Single door opening with sidelights and elliptical fanlight
- Round arched window in gable with brick voussoir
- Side brick chimneys

Elements that define the contextual value of the property include:

- Setting on rise of land
- Setback from street
- Orientation to Main Street
- Stone fence piers

Name: William Hutton House

Address: 207 Main Street

Property Number:
1011090090051000000

Lot: PLAN 51 PT LOT 3 RP 13R2800;PART
1



Property Type:	Residential
Era/Date of Construction:	C. 1874
Architect/Builder:	William Hutton
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Three
Roof Type	Medium pitched cross gable
Building Height:	One and one half storey
Alterations:	Fence replaced according to historic photos (1992), detached garage constructed (2005), rear addition replacing glass enclosure (2005)
Landscape/setting:	Strip of lawn along front
Heritage value:	Heritage

Description of Historic Place:

The property known as the Hutton House is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey cross gable, three bay stone dwelling constructed in the late 19th century.

Heritage Value:

Built by William Hutton, owner of the Dominion House Hotel c. 1874, this one and one half story limestone house is a later addition to the village. It is clearly shown on the 1878 Illustrated Historical Atlas Map of the Village of Barriefield. Always part of the larger land parcel associated with 201 Main Street, members of the Hutton Family owned the house continuously from 1874 to 1969. In 1978, the present property at 207 Main Street was severed from the main property at 201 Main Street.

This building has undergone very few external alterations over the years. It is built into the slope of the land resulting in a one and one half storey front building and a full basement level on the rear. It is constructed of squared and evenly coursed limestone.

The main building is rectangular in plan with a medium pitched cross gable roof. The roof has wide projecting eaves, a plain soffit moulding and frieze and returned eaves on each gable end. Reconstructed brick chimneys are presently located in the same position as the original two. The front gable has a round arched window opening placed above the central door. The main entrance door is a single door with a transom overhead to light the interior hallway.

The main facade is divided into a typical three bay arrangement with a central front entrance and two flanking side windows. The 1908 Fire Insurance Plan indicates that a one and one half storey rear addition extended from the rear of the main house. The present two storey frame addition was apparently built c. 1928 and was renovated prior to the 1992 Inventory. The later rear additions give the house its "T" shaped plan.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone design representative of late 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing with walk-out basement
- T-shaped cross gable plan
- Stone construction including courses and voussoirs
- Symmetrical three bay facade
- Rectangular window and door openings
- Round arched window in centre gable
- Soffit moulding and frieze
- Returned eaves at side gables

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to main Street
- Side yard
- Low picket fencing

Name: George Medley House

Address: 210 Main Street

Property Number:
1011090090012000000

Lot: PLAN 51 PT LOT 4 RP
13R13670;PART 1



Property Type:	Residential
Era/Date of Construction:	1867
Architect/Builder:	John Mitchell
Building style/Influence:	Vernacular
Materials:	Brick
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	Constructed addition and garage, reconstructed front porch, canopy and slab (2003), stove pipe installed (2006), utility garden shed with north side roof extension constructed (2011)
Landscape/setting:	Raise open lawn; Accent shrub plantings, Framed by mature deciduous trees
Heritage value:	Heritage

Description of Historic Place:

210 Main Street is located on the southeast corner of Main Street and Regent Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey side gable, three bay brick house constructed in 1867.

Heritage Value:

This property was once part of the Barriefield house estate purchased by William Baker in 1814 from Richard Cartwright. It was subsequently subdivided from Barriefield House and sold to Duncan Thompson in 1820. The John Pugh family owned the land from 1823 to 1853 when Elizabeth Medley bought it. In 1860 a log house was located on the property and it is believed that George Medley, brother of Elizabeth Medley, lived there. In 1867 George Medley contracted builder John Mitchell to construct a one and one half storey brick house on the site. The house has remained in the Medley Family until at least the late 20th century.

This house was built on a fieldstone foundation has a medium pitched side gable roof. The projecting boxed eaves are returned on the side elevations. The front elevation is arranged in a typical three bay fashion with a central door and side windows. The window sills are limestone. At one time all windows had operable exterior wooden louvered shutters. The present enclosed porch is a more modern addition replacing an earlier structure which ran the entire width of the facade. The main entrance door has a two light transom.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular brick design representative of mid 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable rectangular plan
- Return eaves on side gables
- Brick construction
- Stone foundation
- Symmetrical three bay facade
- Regularly spaced rectangular window and door openings
- Open porch

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Main Street
- Prominent corner location

Name: George Medley House

Address: 215 Main Street

Property Number:
1011090090046000000

Lot: PLAN 51 PT LOT B RP
13R5604;PART 1



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	William and Frederick Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two
Roof Type:	Front gable
Building Height:	Two storey
Alterations:	Rear wing addition (pre-1992), one storey shed roof addition constructed behind two storey rear wing (pre-1992), house and trim repainted (1992), five sash windows, fascia and eaves troughs restored, repaired and replaced (2010-2011)
Landscape/setting:	Corner lot, lawn, mixed shrubs
Heritage value:	Heritage

Description of Historic Place:

The George Medley House is located at the northwest corner of Main Street and Regent Street in the Barriefield Heritage Conservation District. The property contains a two storey front gable two bay frame house constructed by the Allen brothers in the late 19th century.

Heritage Value:

Constructed by local builders William and Frederick Allen for George Medley in the late 19th century, this two story frame house sits on the northwest corner of Regent and Main Streets. It is very similar in detailing to its neighbour 217 Main Street which was also built by the Allen Brothers for George Medley during the same period.

The building consists of a rectangular shaped main block facing Main St. and a rear wing - which is a later addition - facing onto Regent Street to create an "L" plan. Both the main block and the rear wing have high pitched gable roofs. A full width front gable dominates the Main St. facade of the primary block. The gable detailing consists of a variety of decorative wooden shingle designs and a simple solid bargeboard with decorative rosettes and return eaves. A single row of dentils are located immediately below the decorative shingles.

The main section sits on a coursed rough-faced limestone foundation and is clad in shiplap siding with accenting cornerboards. The side front entrance has a small gable portico which consists of turned supporting posts and separate semi-circular arches fixed between each post as a decorative element. The window sash consist of typical late 19th century 2/2 lights. An early historical photograph shows that a number of windows had exterior louvred shutters on the main block.

The rear wing is also clad in shiplap siding. It has a one storey hip roof side porch with plain squared supporting posts with a plain square balustrade and hand rail on the south elevation. A one storey shed roof addition has recently been-constructed behind the two storey rear wing.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative of late 19th century Allen brothers construction in Barriefield

Elements that define the architectural value of the property include:

- Two storey massing
- Front gable plan with rear wings
- Return eaves, gable shingles and bargeboard
- Two bay facade
- Frame construction
- Evenly spaced rectangular window and door openings on front facade
- Gable porch

Elements that define the contextual value of the property include:

- Close setback to street
- Prominent location at Main and Regent Streets
- Orientation to Main Street

Name: Medley's Store

Address: 217 (also 219) Main Street

Property Number:
1011090090045000000

Lot: PLAN 51 PT BLK B



Property Type:	Residential (former commercial)
Era/Date of Construction:	1874
Architect/Builder:	William and Frederick Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Five
Roof Type	Cross gable
Building Height:	Two storey
Alterations:	Decorative fascia ornamentation on front gable replaced (pre-1992), exterior cladding replaced (pre-1992), restoration (1993), steel roofing, terrace doors with sidelights applied to rear addition (1998), asphalt shingles replaced with cedar (1998), new addition constructed (1998), windows on north and south facades replaced (2004)
Landscape/setting:	Front garden with assortment of shrubs
Heritage value:	Heritage

Description of Historic Place:

217 Main Street is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains one of the few remaining former commercial buildings of the village, consisting of a rectangular frame, cross gabled, five bay structure built in the late 19th century.

Heritage Value:

Built for George Medley as a grocery store in the late 19th century, this two storey frame structure has also served as a post office and a semi-detached house. Local builders Frederick and William Allen were responsible for the construction of this building. It is very similar to its neighbour 215 Main St., which was also built by the

Allen Brothers for George Medley around the same period. W.J. Norris ran the grocery store c. 1920s.

Rectangular in plan, the principal axis of this structure runs parallel to Main Street. It has a high pitched gable roof with a large central gable on the front elevation. The original eaves were returned on the side gables. At one time the gable was ornamented with a decorative fascia which has been replaced. The decorative wooden shingle work is still extant. The two original brick chimneys located on the end gables have been demolished.

The southeast corner of the building has a recessed entrance door and a typical shop display window with multiple lights indicating its early mercantile use. The front elevation at street level is divided into five bays with alternating doors and windows. At one time a retractable awning covered the shop window and entrance. Each door has a single transom overhead.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative of late 19th century commercial construction by the Allen Brothers in Barriefield

Elements that define the architectural value of the property include:

- Two storey massing
- Rectangular cross gable plan
- Centre gable with shingles and louvred shutters
- Five bay facade with evenly spaced rectangular window and door openings
- Commercial shop display window
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Main Street

Name:

Address: 221 Main Street

Property Number:

1011090090044000000

Lot: CON EGCR PT BLK B



Property Type:	Residential
Era/Date of Construction:	1963
Architect/Builder:	Mel Clarke
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Four
Roof Type	Side gable
Building Height:	One storey
Alterations:	Not Known
Landscape/setting:	Mixed vegetation, gravel drive
Heritage value:	Non-heritage

Name: Alexander Mayberry House
& Byrnes Hotel & Grocery

Address: 223-225 Main Street

Property Number:
1011090090043100000

Lot: PLAN 51 PT BLK B RP
13R7631;PART 1



Property Type:	Residential
Era/Date of Construction:	C. 1834
Architect/Builder:	Alexander Mayberry
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Multiple
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	New roofing installed, dormers reconstructed/reconfigured (2011), chimneys repointed (2011), eave and soffit details changed (2012), south gable windows restored (2012), front vestibule demolished (2012),garage to be reconstructed with rear shed dormer
Landscape/setting:	Close setback to street
Heritage value:	Heritage

Description of Historic Place:

The property at 223-225 Main Street (formerly addressed as 211 and 213) is located on the west side of Main Street in the Barriemfield Heritage Conservation District. The property consists of a one and one half storey stone structure that historically served several uses including residence, inn, grocery store and post office. It was constructed in the 1830s.

Heritage Value:

Built in the early c.1834 by Alexander Mayberry, a local blacksmith, this one and one half storey limestone cottage was originally a single dwelling. In 1862 it was sold and became the "Pittsburgh Inn". From 1873 to 1913 cabinetmaker Miles Byrnes operated a grocery store and tavern in this location. It has also been a post office.

The original building consisted of a three bay front facade with a central doorway and two flanking windows. The side gable roof is a medium pitch and the eaves are flush with the wall planes. Two multi-flue stone chimneys are located at either end of the original building and are integral to the side wall masonry. The limestone is squared and evenly coursed on all sides. An historical photograph shows that the front elevation was tuck pointed to emphasize the horizontal lines of the masonry joints.

The roof has two wooden gable dormers sided with shiplap cladding which are probably later 19th century additions. The original roofing material was wooden shingles. The first floor windows on the main facade once had exterior louvred shutters.

A full width open verandah once stretched across the front facade. It had a simple shed roof covered with a metal batten roof, plain chamfered supporting posts with a boxed base, decorative fretwork at the top of each post, a wooden floor and a handrail and trellis-style enclosure along the edges. At one time a one storey frame and stucco building stood on the south end of the building. As well, until recently, a one and one half storey limestone and wood frame attached garage was also built on the north end probably by the mid-19th century; it is proposed to be restored and rebuilt.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone design representative of early construction in Barriefield village.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular side-gable plan
- Stone construction including stone courses and keystones above doors and windows
- Multiple bay facade with regularly spaced rectangular windows and door openings
- Stone chimneys
- Stone and wood frame attached garage.

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Main Street

Name:

Address: 226-228 Main Street

Property Number:
1011090090035000000

Lot: PLAN 51 PT LOT 4 RP
13R10677;PART 1



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	Not Known
Building style/Influence:	Vernacular
Materials:	Wood Frame
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	Two storey
Alterations:	Exterior siding repainted (1991), brick chimney removed (pre-1992), wooden shingles restored (pre-1992), two-storey addition with porch and double-car garage constructed (1997), siding replaced with wood cladding (2005), exterior wood repaired, replaced and painted (2011)
Landscape/setting:	Open lawn, mature spruce
Heritage value:	Heritage

Description of Historic Place:

The property at 226-228 Main Street is located on the east side of Main Street in the Barriefield Heritage Conservation District. The property contains a two storey wood frame structure with side gable roof and symmetrical three bay facade, constructed in the late 19th century.

Heritage Value:

Relocated to its present position in the late 19th century, this frame house was apparently placed on the foundations of an earlier 1816 structure which had been destroyed by fire. Its rectangular plan is placed with the long axis oriented to the street. Two storeys high, it has a medium pitched side gable roof with a boxed returned eave on each side wall. A plain frieze board is located below.

A one storey open verandah with supporting turned posts and decorative brackets runs the full width of the main elevation. Exterior louvred shutters once framed all of the window openings but have been removed.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative on early construction in Barriefield Village

Elements that define the architectural value of the property include:

- Two storey massing
- Rectangular side-gable plan
- Return eaves on side gable
- Stone foundation
- Frame construction
- Symmetrical three bay first storey facade and central paired window in second storey
- Rectangular regularly spaced window and door openings
- Full width open porch with turned posts and brackets

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Main Street

Name: Mason Anderson House

Address: 233 Main Street

Property Number:
1011090090042000000

Lot: PLAN 51 PT BLK B RP
13R3500;PART 1



Property Type:	Residential
Era/Date of Construction:	C. 1821
Architect/Builder:	John Mason
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Three
Roof Type	Side gable
Building Height:	Two storey
Alterations:	Single storey section converted to garage (pre-1992), replacement of original wooden shingles with metal roof (pre-1992)
Landscape/setting:	Slopes down towards water, Manicured coniferous shrubs frame the front facade.
Heritage value:	Heritage

Description of Historic Place:

The property at 233 Main Street is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains an 1820s two-storey vernacular stone structure with a symmetrical three bay facade and single storey garage wing.

Heritage Value:

Built by John Mason, a stone mason, this structure was originally a one storey single stone cottage. At some point in the 19th century the roofline was raised to create the present two storey dwelling. This change is evident in the stonework on each gable end. It has a rectangular plan and typically is arranged with the long axis parallel to Main Street. The main elevation is divided into three bays with a central doorway and two flanking side windows, one on each end. The doorway has a simple transom which is divided into four lights.

The limestone used in the exterior walls is squared and evenly coursed on the east elevation and the windows and entrance doorway are accentuated with large dressed quoins. The two side and rear walls consist of coursed rubblestone. The medium pitched gable roof which is presently clad in metal roofing was originally covered with wooden shingles. A brick chimney is located at each gable end. A parapet wall with large corbelled end stones is located on the south end of the building. The north gable has a returned eaves detail.

The stone addition on the south end of the structure now serves as a garage. It once consisted of a one and one half storey stone building with a gable roof, a three bay south elevation and a central doorway.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone design representative of early 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- Two storey massing
- Side gable rectangular plan
- Stone construction, including quoins and voussoirs around the first storey window and door openings
- Symmetrical three bay facade of main house, with regularly spaced rectangular window and door openings
- Brick chimneys at gable ends
- Single storey stone side wing
- Parapet wall and corbels on south end of roof.

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Main Street

Name: Willowmere

Address: 239 Main Street

Property Number:
1011090090075010000

Lot: CON EGCR PT LOT 20
RP;13R12645 PART 2



Property Type:	Residential
Era/Date of Construction:	1818-1819
Architect/Builder:	John Hendry
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Three
Roof Type	Side gable
Building Height:	Two storey
Alterations:	Raised roof, wooden shingles replaced with metal batten roof (pre-1992), 1.5-storey shed removed for driveway (pre-1992), two second floor north windows replaced (2010)
Landscape/setting:	Sloping lawn, shrubs and trees
Heritage value:	Heritage

Description of Historic Place:

Willowmere is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains a two storey stone structure with rectangular side-gable plan and symmetrical three bay facade, constructed in the early 19th century.

Heritage Value:

Once known as the Richmond Hotel, this building was erected in 1818-1819 by John Hendry as a one and one half storey single dwelling. The roof was reportedly raised to its present two storeys later in the 19th century. Rectangular in plan with the long wall parallel to the street, the main facade is divided into three bays with a central doorway. The central window on the second floor is a casement window in contrast to the other double hung units. The steeply pitched side gable roof has a metal batten roof with brick end chimneys. Each gable end has a returned eave.

A full width one storey verandah with a metal batten roof runs across the main elevation. It has turned supporting posts, decorative brackets and fretwork, and a handrail with turned balusters. The first floor window openings have quoins. A one and one half storey frame shed once stood on the south end but has since been removed for a driveway. At one time a decorative post and wire fence, immediately in front of the verandah, separated it from the roadway.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone design representative of early 19th century construction in Barriefield village.

Elements that define the architectural value of the property include:

- Two storey massing
- Rectangular side gable plan
- Return eaves and chimneys at gable ends
- Stone construction, including stone courses and quoins
- Symmetrical three bay facade with regularly spaced rectangular window and door openings, including central casement window on second storey
- wooden shutters on second storey
- Full-width open porch with turned posts, balustrade, brackets and trim

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Main Street

Name:

Address:243 Main Street

Property Number:

1011090090076000000.00

Lot:

CON EGCR PT LOT 20 RP;13R3373
PART 1 TO 3 RIDEAU;CANAL



Property Type:

Residential

Era/Date of Construction:

1981

Architect/Builder:

Architect James Woollven, builder Emmons & Mitchell
Construction Ltd.

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Four

Roof Type

Side gable

Building Height:

One and one half storey

Alterations:

Rolling shutters installed (1992), porch constructed on
front facade and painted to match trim (1993), carport
enclosed, garage door added to front of enclosure with
windows and door at rear (1993)

Landscape/setting:

Open lawn with wild flowers and shrubs

Heritage value:

Non-heritage

Name:

Address: 244 Main Street

Property Number:

1011090090074090000

Lot: PLAN 1910 LOT 10



Property Type:

Residential

Era/Date of Construction:

1989/1990

Architect/Builder:

Jim Colden

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Five

Roof Type

Side gable

Building Height:

Two storey

Alterations:

New front steps and porch floor (2004); Shingles, veranda pillars and baluster replaced (2005), glass and metal storm windows added to front and rear of house (2005), portion of stone wall in back yard rebuilt (2005); porch railing repaired (2010); rails and posts replaced on front steps (2013); 8 windows replaced (2014); shingles replaced on porch roof (2015)

Landscape/setting:

Open lawn with specimen trees with assortment of shrubs, deep setback

Heritage value:

Non-heritage

Name:

Address: 246 Main Street

Property Number:

1011090090074080000.00

Lot:

PLAN 1910 LOT 9 E/S HWY 15



Property Type:

Residential

Era/Date of Construction:

1988

Architect/Builder:

Garofolo Bros.

Building style/Influence:

Contemporary

Materials:

Frame with brick cladding

Number of Bays:

Three

Roof Type

Side gable

Building Height:

Two storey

Alterations:

Not Known

Landscape/setting:

Open lawn, deep setback

Heritage value:

Non-heritage

Name: Hewitt House

Address: 247 Main Street

Property Number:
1011090090077000000

Lot: CON EGCR PT LOT 20
RP;13R2218 PART 1 RIDEAU CANAL



Property Type:	Residential
Era/Date of Construction:	c.1838
Architect/Builder:	Ann and Oliver Boiselle
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Three
Roof Type	Truncated hip
Building Height:	Two and one half storey
Alterations:	One storey addition constructed (1928), stone addition extending from rear constructed (pre-1992), upper ¼ of stone chimneys repointed (1994), roof replaced, chimney removed (2000), siding repaired and repainted (various years), window relocated and reinstalled (2000), gutters, downspouts, awning applied to house (2001), chimney repaired (2005), chimney repointed and woodwork painted (2006), storm windows replaced (2008), roofing replaced and two sills and primary windows repaired (2009), iron handrail installed for stone stairs (2010), two sections of cedar roof replaced (2010), vents installed (2011)
Landscape/setting:	Built into slope of the land, open lawn, trees in side yard, gravel drive
Heritage value:	Heritage

Description of Historic Place:

The property at 247 Main Street is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains a two and one half storey stone and frame structure with three bay facade that was constructed in the 1830s and added to in 1928.

Heritage Value:

This building was originally built in the 1830s as a one storey unevenly coursed limestone cottage with a square plan. The present structure is two-and-one-half storeys in height due to the 1928 addition of a frame second storey and attic by the Hewitt family. The roof is a high truncated hip with a central front gable dormer. Large stone chimneys are located on each side elevation inset for the eaves. The main facade is divided into three bays with a central doorway. Built into the slope of the land, the basement wall in the rear of the house is fully exposed. A stone addition extends from the rear of the building. The main entrance door is covered with a frame vestibule with a gable roof.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of early stone construction and 19th century modification in Barriefield

Elements that define the architectural value of the property include:

- Two and one half storey massing
- Square plan
- Stone and frame construction
- Three bay first storey facade with regularly spaced rectangular window and door openings, two bay second storey facade with rectangular windows aligned with first storey bays.
- Stone chimneys

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Main Street

Name:

Address: 248 Main Street

Property Number:

1011090090074070000.00

Lot:

PLAN 1910 LOT 8



Property Type:

Residential

Era/Date of Construction:

2004

Architect/Builder:

Architect Anthony D. Barlow, builder Mark Peabody

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Three

Roof Type

Front gable

Building Height:

Two storey

Alterations:

Not known

Landscape/setting:

Open lawn, deep setback

Heritage value:

Non-heritage

Name: Ann & William Michael
House

Address: 249 Main Street

Property Number:
1011090090078000000

Lot: CON EGCR PT LOT 20
RP13R2012;PART 1 RIDEAU CANAL



Property Type:	Residential
Era/Date of Construction:	C. 1819
Architect/Builder:	Ann and William Michael
Building style/Influence:	Vernacular
Materials:	Brick
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	One and one half storey
Alterations:	Cedar roof replaced (2005), chimneys restored/repointed, chimney caps added (2009-2011), front and back porches repaired and replaced (2011)
Landscape/setting:	Built into a steep embankment,
Heritage value:	Heritage

Description of Historic Place:

The property at 249 Main Street is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey brick structure with symmetrical three bay facade constructed in the 1830s.

Heritage Value:

This one and one half storey brick house is built into the steep embankment overlooking the Cataraqui River. It has a Flemish bond brick pattern and a full fieldstone foundation/basement to the rear facing the slope of the incline. This building is known to have been erected by Ann and William Michael, a master armourer, probably in the 1819.

Rectangular in plan, the front elevation is divided into a typical three bay arrangement with a central doorway and two flanking windows one on each side. The present window sashes have 2/2 lights although earlier historical photographs of the

house show 6/6 lights in all windows. The high pitched side gable roof has a plain boxed eave which is returned on the side gables. A brick chimney is located at each gable.

The present full-width open verandah on the street elevation is not present on an earlier historical photograph indicating that it is an early 20th century addition. It has turned posts with decorative brackets and a hip roof. At one time the front yard area was deeper and enclosed by a wooden picket fence and gate. The present height and width of the roadway has eliminated this historic landscape feature.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular brick design representative of early 19th century design in Barriefield Village.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular side gable plan
- Brick construction in Flemish bond pattern, including courses above windows
- Symmetrical three bay facade with evenly spaced rectangular window and door openings
- Brick chimneys at side gables

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Main Street

Name:

Address: 250 Main Street

Property Number:

1011090090074060000.00

Lot:

PLAN 1910 LOT 7



Property Type:

Residential

Era/Date of Construction:

2010/2011

Architect/Builder:

Architect Janos Szabo, builder Dan Gurney

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Five

Roof Type

Side gable

Building Height:

Two storey

Alterations:

Not known

Landscape/setting:

Open lawn, deep setback

Heritage value:

Non-heritage

Name:

Address: 251 Main Street

Property Number:

10110900900800000000.00

Lot:

CON EGCR PT LOT 20 RP;13R11230
PART 1 RIDEAU CANAL



Property Type:

Residential

Era/Date of Construction:

1975 (boathouse pre-1970s)

Architect/Builder:

Not Known

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Multi bay

Roof Type

Cross gable

Building Height:

One storey (at street – walk-out rear elevation)

Alterations:

Kitchen extension (1992), major boathouse renovations (2002), realignment of doors in front of columns (2003), additions to north and west elevations of house constructed (2009), roofing replaced with cedar shingles (2009), new stone and brick cladding applied (2009)

Landscape/setting:

Open lawn, deep setback

Heritage value:

Non-heritage

Name:

Address: 252 Main Street

Property Number:

1011090090074050000.00

Lot:

PLAN 1910 LOT 6 E/S HWY 15



Property Type:

Residential

Era/Date of Construction:

1988

Architect/Builder:

Architect Peter Gilmore, builder Ted Pope

Building style/Influence:

Contemporary

Materials:

Frame and faced with "Old Ontario Size brick"

Number of Bays:

Five

Roof Type

Cross gable

Building Height:

Two storey

Alterations:

New garage door installed (1994), two tab shingled roof replaced with asphalt shingles of similar colour and design (2001)

Landscape/setting:

Open lawn, mixed shrubs, deep setback

Heritage value:

Non-heritage

Name:

Address: 254 Main Street

Property Number:

1011090090074040000.00

Lot:

PLAN 1910 LOT 5



Property Type:

Residential

Era/Date of Construction:

1989/1990

Architect/Builder:

Harvey Rosen

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Five

Roof Type

Side gable

Building Height:

Two storey

Alterations:

Front porch and cedar deck constructed (1993), wood cladding replaced with synthetic siding (1999), cedar shake roof replaced (2012)

Landscape/setting:

Open lawn, mixed shrubs and trees, deep setback

Heritage value:

Non-heritage

Name:

Address: 256 Main Street

Property Number:

1011090090074030000.00

Lot:

PLAN 1910 LOT 4



Property Type:

Residential

Era/Date of Construction:

1989

Architect/Builder:

Brisbin, Brooks & Begnon

Building style/Influence:

Contemporary

Materials:

Frame with brick cladding

Number of Bays:

Three

Roof Type

Cross gable

Building Height:

Two storey

Alterations:

Steps added to front of verandah (1992)

Landscape/setting:

Open lawn, mixed shrubs and trees, deep setback

Heritage value:

Non-heritage

Name:

Address: 258 Main Street

Property Number:

1011090090074020000.00

Lot:

PLAN 1910 LOT 3



Property Type:

Residential

Era/Date of Construction:

1999

Architect/Builder:

Garofalo Bros.

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Four

Roof Type

Side gable with gable dormers

Building Height:

Two storey

Alterations:

Second storey addition added above garage
(2013)

Landscape/setting:

Open lawn, mixed shrubs and trees, deep
setback

Heritage value:

Non-heritage

Name:

Address: 260 Main Street

Property Number:

1011090090074010000.00

Lot:

PLAN 1910 LOT 2



Property Type:

Residential

Era/Date of Construction:

1989

Architect/Builder:

Contractor Tony Jenkins, builder Scott King

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Five

Roof Type

Cross gable

Building Height:

One and one half storey

Alterations:

Not known

Landscape/setting:

Open lawn, mixed shrubs and trees, deep setback

Heritage value:

Non-heritage

Name:

Address: 262 Main Street

Property Number:

1011090090074000000.00

Lot:

PLAN 1910 LOT 1



Property Type:

Residential

Era/Date of Construction:

1990

Architect/Builder:

Designed by Barb Carr and David Craig, built by Ed Tavares

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Three

Roof Type

Cross gable

Building Height:

Two storey

Alterations:

Shingles replaced (2002), verandah and verandah steps repaired (2002), lean-to sheds constructed at side and rear of garage (2002) shingles removed and replaced (2007), garage extended to add studio (2012)

Landscape/setting:

Mixed shrubs, trees and groundcover, deep setback

Heritage value:

Non-heritage

Name:

Address: 265 Main Street

Property Number:

1011090090081000000.00

Lot:

PLAN 464 LOT 5 RIDEAU CANAL



Property Type:

Residential

Era/Date of Construction:

1965

Architect/Builder:

Ancestral Homes construction

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Multiple bay

Roof Type

Side gable

Building Height:

One storey

Alterations:

Shingles replaced (2007), garage demolished and replaced with smaller garage structure (2008)

Landscape/setting:

Mixed shrubs, trees, open lawn, semicircular drive

Heritage value:

Non-heritage

Name: St. Mark's Anglican Church

Address: 268 Main Street

Property Number:
1011090090079000000.00

Lot: CON EGCR N PT LOT 19
ST;MARKS CHURCH HALL



Property Type:	Church
Era/Date of Construction:	1843-1844
Architect/Builder:	Richard Jones
Building style/Influence:	Gothic Revival
Materials:	Stone
Number of Bays:	Three
Roof Type	Front gable with tower
Building Height:	Two storey plus tower
Alterations:	Addition of chancel and sanctuary (1897), balcony and choir loft moved to front of church (1897), church hall constructed next to church (1961), bell tower restored (1993), steel cladding installed (1998), bell tower masonry restored (2006), roof soffit, fascia, eaves, troughs and downspout repaired and restored (2007), chimney repaired (2007), section of bell tower repointed (2010-2012)
Landscape/setting:	Large lot, open lawn, shrubs and specimen plantings, long driveway, constructed on rise of land
Heritage Value:	Heritage

Description of Historic Place:

St. Mark's Church is a two storey (plus tower) Gothic Revival structure. It is located towards the northern edge of the Barriefield District, and its tower is visible from Highway 15 and Highway 2, making it a landmark structure in Barriefield.

Heritage Value:

A public meeting was held in March 1843 at the James Medley House to discuss erecting a church for Barriefield. Land was donated by John Marks and a tender was let to Richard Jones to build a stone church by May 1844. St. Mark's was opened for services in July 1844 by Archdeacon George Okill Stuart of Kingston. The church

underwent a major renovation in 1897 with the addition of a chancel and sanctuary. The balcony and choir loft were moved to the front of the church. Several Barriefield buildings have served as the parish rectory over the years including Barriefield House, Willowmere, and the John Marks House. The parish hall has been at different times located in the township hall and the 1850 Barriefield school. A new hall was erected in 1961 next to the church. The property is still partially enclosed with a dry stone fence and stone pillars at the entranceway. St. Mark's is an important landmark building within the heritage conservation district.

St Mark's Church is a two storey structure with central front tower constructed in the Gothic Revival Style. The church is constructed of stone and features a front gable roof. The Church features many of the hallmarks of the Gothic Revival style, including lancet (pointed arch) window and door openings, buttresses and tower. The church also features recessed quatrefoil details on the front, and stained glass windows. A stone fence with tall pillars and a pointed, gothic motif cap are located at the entrance to the church.

Heritage Attributes:

Elements that define the historical value of the property include:

- Use of the property as a church/community amenity
- Status as the only village church

Elements that define the architectural value of the property include:

- Two storey stone construction
- Central square front tower
- Stone buttresses
- Lancet windows and louvred opening in tower
- Stone courses surrounding windows and stone sills
- Pointed arch wooden double door
- Quatrefoils in gable on either side of the tower
- Front gable roof

Elements that define the contextual value of the property include:

- Deep setback from street
- Long central drive
- Location on rise of land
- Stone fence and pillars

Mixed vegetation framing the lot

Name:

Address: 269 Main Street

Property Number:

1011090090082000000.00

Lot:

PLAN 464 LOT 4 PT LOT 3 AND;RP
13R19850 PART 1



Property Type:

Residential

Era/Date of Construction:

1957

Architect/Builder:

Not known

Building style/Influence:

Contemporary

Materials:

Frame and concrete block, stucco cladding

Number of Bays:

Multiple bay

Roof Type

Side gable and hip

Building Height:

One storey

Alterations:

Major renovations (1992-1993) by Rob Crothers

Landscape/setting:

Mixed shrubs and trees, lawn, dry stone wall

Heritage value:

Non-heritage

Name:

Address: 273 Main Street

Property Number:

1011090090211220000.00

Lot:

PLAN 464 PT LOT 3 RP;13R18166
PARTS 3 AND 4



Property Type:

Residential

Era/Date of Construction:

2011

Architect/Builder:

Builders Jake Dupuis and David Gay

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Multiple bay

Roof Type

Cross gable

Building Height:

Two storey

Alterations:

Not known

Landscape/setting:

Sloped yard, trees, lawn, stone retaining wall

Heritage value:

Non-heritage

Name: John Marks House

Address: 275 Main Street

Property Number:
1011090090083500000.00

Lot: PLAN 464 PT LOT 3
RP;13R18166 PART 5



Property Type:	Residential
Era/Date of Construction:	1824-1828
Architect/Builder:	Stone structure by John Grant, Main house by John Marks
Building style/Influence:	Vernacular
Materials:	Log and Frame
Number of Bays:	Four
Roof Type	Side gable
Building Height:	Two storey
Alterations:	Restoration (2005), windows restored (2006)
Landscape/setting:	Open lawn, specimen trees, gravel drive
Heritage value:	Heritage

Description of Historic Place:

The John Marks House is located on the west side of Main Street in the Barriefield Heritage Conservation District. The property contains a c. 1820s two storey frame structure connected to a c. 1800 stone structure.

Heritage Value:

The construction of this house is partially documented in the diary of its original owner John Marks from 1824-1828. When Marks purchased EGCR Lot 19 in 1824 a small stone dwelling built by John Grant c. 1800 already existed on the lot. This stone dwelling is believed to have been incorporated into the present structure on the north side.

Marks was a prominent historical figure in Barriefield. He was a leader in local government as well as many business, commercial and social enterprises. He served as a MLA from 1836 to 1840; was president of the court martial that sentenced the leader of the Patriots of the Battle of the Windmill Van Schults to death in 1839; first warden of Frontenac County council and first reeve of Pittsburgh

Township; as well as helping to establish St. Mark's Church on land that he had donated. He was also instrumental in forming the Cataraqui Bridge Co. and having a bridge built to connect Kingston and Barriefield.

This two storey house has a "T" shaped plan with a rectangular main block and a rear wing. The long axis of the main house is oriented towards Main Street and has a medium pitched side gable roof. The present structure is clad in shiplap siding. A one storey stone wing with a hip roof stands on the north side. The front facade is divided into four bays with a side entrance door and three first floor windows and four second storey windows. The second floor window sashes have 6/6 lights. Historic photographs show that some of the upper windows had louvred exterior shutters at one time.

A one storey verandah runs across the full width of the main elevation and down the south elevation. The supporting posts are turned. An off-centre brick chimney is located on the roof ridge of the main house while the rear wing and the side stone addition also have brick chimneys. A semi-circular window is located in the north side gable.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone and frame designs representative of early construction in Barriefield Village, and early changes to the property.

Elements that define the architectural value of the property include:

- Two storey massing of frame structure
- One storey massing of stone structure
- "T" shape plan with side gable and hipped roofs
- Four bay facade of frame structure with regularly spaced rectangular window and door openings
- Central rectangular window in stone section
- Wrap-around open porch with turned balustrades
- Brick chimneys
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Main Street

Name:

Address: 277 Main Street

Property Number:

1011090090084000000.00

Lot:

PLAN 464 LOT 2 RIDEAU CANAL



Property Type:

Residential

Era/Date of Construction:

1958

Architect/Builder:

Not Known

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Multiple bay

Roof Type

Cross gable

Building Height:

One storey

Alterations:

Major renovations (mid-to-late 1990s), wooden steps, posts and railings replaced (2008)

Landscape/setting:

Open lawn, trees, semicircular drive

Heritage value:

Non-heritage

Regent Street

Name: Alexander Rickey House

Address: 404 Regent Street

Property Number:
1011090090048000000

Lot: PLAN 51 PT LOT 2



Property Type:	Residential
Era/Date of Construction:	c. 1895
Architect/Builder:	Alexander Rickey
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Multi bay
Roof Type	Multi gable
Building Height:	One and one half storey
Alterations:	Barn demolished (pre-1992), wooden shingles replaced (pre-1992), house foundation repaired (1994), verandah posts, gingerbread detailing and original front window restored (2009), windows replaced (2009), repair and paint siding on addition (2011), bay window replaced two original double hung windows on the west elevation (2011)
Landscape/setting:	Assortment of shrubs and specimen trees, picket fence
Heritage value:	Heritage

Description of Historic Place:

The property at 404 Regent Street is located at the southwest corner of Regent Street and Sharman's Lane in the Barriefield Heritage Conservation District.

Heritage Value:

Built by Alexander Rickey, a local wagon maker and blacksmith, following a devastating fire in 1895, this one and one half to two storey frame dwelling has an irregular plan and a multi gable roof. The main section faces onto Regent Street with a side cross gable running west down the slope towards the river. The rear extension has a raised fieldstone foundation/basement with an entry door from the ground level. Numerous changes have occurred to the exterior of the

house over the years. When first built the detailing over the main entrance consisted of a pediment with paired brackets and eared side trim for the opening. The trim outside of the structural openings of the windows had a plain wooden pediment. Most of the windows had exterior louvered shutters.

The north elevation has undergone a number of noticeable changes. The present one storey bellcast verandah was added to the north side over the main entrance probably towards the end of the 19th century. It had plain chamfered supporting posts and decorative fretwork along the eaves which has since been restored. The single window to the west of the main entrance has been considerable foreshortened from the original opening

An extra window has been added to the east elevation facing Sharman's Lane immediately below an original small gable window. The newer lower window opening creates an unusual feature. A modern picture window has also been added on the first floor. A one storey bay window replaced two original double hung windows on the west elevation c. mid-20th century.

Clad in shiplap siding, the house has accenting cornerboards, a plain soffit and fascia board and return eaves in the main gables. The roof was originally covered with wooden shingles. A large two storey barn once stood on the south side of the house but it has been demolished and a new house has been built in its former location.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of late 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- Irregular plan
- Cross gable roof
- Return eaves
- Rectangular window and door openings
- Wooden window surrounds
- Wooden bell-cast porch with trim
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Regent Street
- Picket fence

Address: 405 Regent Street

Property Number:
1011090090034000000.00

Lot:
PLAN 51 PT LOT 4



Property Type:	Residential
Era/Date of Construction:	1997
Architect/Builder:	Architect Lily Inglis
Building style/Influence:	Contemporary
Materials:	Frame, stone cladding
Number of Bays:	Five
Roof Type	Cross gable
Building Height:	One and one half storey
Alterations:	Brick chimneys added (1998)
Landscape/setting:	Trees, shrubs, stone garden walls
Heritage value:	Non-heritage

Name: The Grange House

Address: 406 Regent Street

Property Number:
1011090090049000000

Lot:
PLAN 51 PT LOT 2



Property Type:	Residential
Era/Date of Construction:	1880s
Architect/Builder:	Mr. Godwin
Building style/Influence:	Vernacular
Materials:	Brick
Number of Bays:	Two
Roof Type	Front gable
Building Height:	Two and one half storey
Alterations:	Front porch added (post-1908), outbuildings removed (post-1908), two dormer windows installed (1994), new window under front gable installed (1994), two storey addition constructed at rear (1994), new mudroom, deck and single storey addition constructed (1996), skylights installed on south facing roof slope of rear addition (1997), asphalt shingles replaced (2010)
Landscape/setting:	Screened enclosure, wall climbing shrubs, specimen trees
Heritage Value:	Heritage

Description of Historic Place:

The property at 406 Regent Street is located on the southeast corner of Regent Street and Sharman's Lane. The property includes a two and one half storey, front gable, two bay brick structure constructed in the late 19th century.

Heritage Value:

The northwest half of Lot 3 was purchased in October 1883 by Margaret and William George Grange from Jacob Sharman. George Grange, a waiter, was first listed in the Barriefield directory in 1889 perhaps indicating the year that the house was completed. The architect is said to have been a Mr. Godwin.

The overall design and plan of the house is reminiscent of the house at 218 Green Bay Road, which was built around the same time. It is a narrow two storey brick structure with a front gable orientation and a side hall entrance plan. The brick is laid on a limestone foundation in a stretcher bond while the one storey brick addition is laid in a common bond. The first floor of the main facade which faces Regent Street has a single side entrance and a double window similar to 218 Green Bay Road. The second floor has two single, closely placed window openings in the centre of the facade. The steeply pitched gable roof was originally covered with wooden shingles. The boxed eave has a slight curve at the bottom end on both the front and rear gables creating the ornamental effect of an arch.

The one storey front porch is not shown on the 1908 Fire Insurance Plan and would appear to be a later addition to the building. It has a hip roof with doric supporting columns and a railing with balusters. In the 1908 Plan, three frame outbuildings are associated with the house including a privy, a driveshed and a storage shed, since removed.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of late 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- Two and one half storey massing
- Front gable plan
- Brick construction: with two bond patterns (stretcher and common bond)
- Two bay facade
- Rectangular window and door openings, including double window on first storey
- Round arched gable window
- Stone foundation

Elements that define the contextual value of the property include:

- Setback from the street
- Orientation to Regent Street

Name: Robert Forbes House

Address: 407 Regent Street

Property Number:
1011090090033000000

Lot: PLAN 51 PT LOT 4 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	1853-1854
Architect/Builder:	Robert Forbes
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Three
Roof Type:	Cross gable
Building Height:	One and one half storey
Alterations:	One storey brick addition added to east elevation (late 1800s), exterior shutters removed (pre-1992), wooden shingles replaced (pre-1992), one storey building added at rear (2008), new garage door installed (2012)
Landscape/setting:	Thin strip of front lawn, made up with coniferous trees which frame the dwelling.
Heritage value:	Heritage

Description of Historic Place:

The property at 407 Regent Street is located on the north side of Regent Street in the Barriefield Heritage Conservation District. It consists of a one and one half storey cross gabled, three bay stone structure constructed in the mid-19th century.

Heritage Value:

Built in local limestone, the traditional vernacular style of this one and one half storey dwelling is typical to the area. Constructed for Robert Forbes, a local grocer, the house is rectangular in plan with a three bay front elevation consisting of a central entrance door and a single window on each side. The roof is a medium pitched central front gable. The front entrance is protected by a small portico with side railings with balusters. The central front gable has a semi-circular window and voussoir. A one storey brick addition was added to the east side of the building probably during

the late 19th century. It has a bellcast roof which incorporates both front and rear verandahs into the structure. Metal hardware still extant in the stone walls indicates that the house had exterior shutters at one time.

Heritage Attributes:

Elements that define the historical value of the property include:

- Limestone vernacular construction representative of mid-19th century design in Barriefield.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Cross gable plan
- Stone construction
- Symmetrical three bay facade with recessed brick side gable addition
- Rectangular window and door openings
- Round arched gable window
- Stone courses/voussoirs
- Gable front porch
- Metal shutter hardware

Elements that define the contextual value of the property include:

- Close setback from street
- Orientation to Regent Street

Name:

Address: 408 Regent Street

Property Number:

1011090090013000000

Lot:

PLAN 51 PT LOTS 4 & 5
RP;13R15982 PART 1



Property Type:

Residential

Era/Date of Construction:

1927 (?)

Architect/Builder:

Not known

Building style/Influence:

Vernacular/Contemporary

Materials:

Frame

Number of Bays:

Four

Roof Type

Front gable

Building Height:

One and one half storey

Alterations:

Adapted from stable of adjacent property to residential use (1990s), black shingle roof installed (1990), 6" siding replaced with 3" siding (1990), greenhouse at rear of dwelling replaced with living space (1995)

Landscape/setting:

Dry stone wall, lawn, specimen trees and shrubs

Heritage Value:

Non Heritage – substantial alterations

Name:

Address: 409-411 Regent Street

Property Number:
1011090090032000000

Lot:
PLAN 51 PT LOT 5



Property Type:

Era/Date of Construction:

Architect/Builder:

Building style/Influence:

Materials:

Number of Bays:

Roof Type

Building Height:

Alterations:

Landscape/setting:

Heritage Value:

Residential

1977 – replaced earlier structure that was demolished

Not known

Contemporary

Frame

Four

Mansard

Two storey

Not known

Front garden with an assortment of shrubs

Non-Heritage

Name:

Address: 412 Regent Street

Property Number:
1011090090014000000

Lot: PLAN 51 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	C. 1890
Architect/Builder:	William and Frederick Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Two
Roof Type	Front gable
Building Height:	One and one half storey
Alterations:	Insulbrick removed and exterior painted (1994), soffits and eaves troughs replaced (1994)
Landscape/setting:	Asphalt drive, chain link fenced yard, minimal vegetation
Heritage value:	Heritage

Description of Historic Place:

The property at 412 Regent Street is located on the south side of Regent Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey front gable frame, two bay structure constructed in the late 19th century.

Heritage Value:

This portion of Lot 5 was sold to local builder William Allen in 1888. It is believed that William and Frederick Allen erected this house c. 1890. The house was purchased by Hannah Navisson in 1905 and is clearly shown on the 1908 Fire Insurance Plan.

One of several structures built in Barriefield by the Allen Brothers, the building's front gable roof and two bay main facade with a side hall entrance is typical of the late 19th century vernacular domestic architecture. It is set on a limestone foundation. The steeply pitched roof has a returned eave detail on the front elevation. The window trim is

wooden with a triangular shaped head. A one storey front entrance vestibule with a gable roof encloses the front entranceway was added, likely in the 20th Century.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame construction representative of late 19th century construction by the Allen brothers in Barriefield.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Front gable rectangular plan
- Return eaves
- Two bay, side hall facade
- Frame construction
- Rectangular window and door openings
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Regent Street

Name: Stephen Yarwood House

Address: 413 Regent Street

Property Number:
1011090090031000000

Lot: PLAN 51 PT LOT 6



Property Type:	Residential
Era/Date of Construction:	C. 1830
Architect/Builder:	Stephen Yarwood
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	One and one half storey
Alterations:	One storey addition extending from east elevation constructed (pre-1992), original wooden shingles replaced with metal roof (pre-1992), chimney repaired (1990), metal roof replaced with shingles (1990), vinyl siding installed (2001), sunroom constructed (2007)
Landscape/setting:	Close setback to street, picket fence
Heritage value:	Heritage

Description of Historic Place:

The property at 413 Regent Street is located on the northeast corner of Regent Street and Drummond Street in the Barriefield Heritage Conservation District. It consists of a one and one half storey frame, side gable, three bay structure with a two bay side addition.

Heritage Value:

Located on a northeast corner of Regent and Drummond Streets, this one and one half storey frame house was built by Stephen Yarwood, a local dockyard worker, c. 1830. It was purchased in 1843 by Nicholas Cross, a local carpenter. Rectangular in plan with a side gable roof, the main facade is divided into three bays with an off- centre main doorway. A one storey addition with a shed roof is located on the east elevation and is located flush to the front wall of the main

building. A large brick chimney inset from the east gable end served three interior fireplaces.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame construction representative of early construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular side gable plan
- Asymmetrical three bay facade
- Rectangular window and door openings
- Brick chimney
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Regent Street
- Corner location at Regent and Drummond Streets
- Picket fence

Name: Pittsburgh Township Hall

Address: 414 Regent Street

Property Number:
1011090090015000000

Lot: PLAN 51 PT LOT 5
RP13R14131;PART 1



Property Type:	Institutional / Museum
Era/Date of Construction:	1886
Architect/Builder:	Designed by William Newlands, built by Robert Free
Building style/Influence:	Vernacular
Materials:	Limestone
Number of Bays:	Three
Roof Type:	Front gable
Building Height:	One storey
Alterations:	One storey frame addition added to rear of building (pre-1992), wooden shingles removed and replaced with metal roof (1993), ramped access and handrails added to front entrance (1995), new door and concrete pad installed at rear entrance (1995)
Landscape/setting:	None, Narrow strips of grass, Close to sidewalk
Heritage value:	Heritage

Description of Historic Place:

The property at 414 Regent Street is located on the southwest corner of Regent Street and Drummond Street in the Barriefield Heritage Conservation District. The property contains a one storey front gable, three bay stone structure that was once the Pittsburgh Township Hall.

Heritage Value:

Located on the southwest corner of Regent and Drummond Streets, this prominent and fine limestone public building was built in 1886 as the Pittsburgh Township Hall. The original mason was Robert Free. The building was restored and converted to a township library, and later the Frontenac County Schools Museum.

The limestone is squared and dressed and laid in a broken course. The corners are emphasized by quoins as are the window and door openings. It has a rectangular plan with the short end towards Regent Street. The side elevations are divided into five bays with semi-circular window openings. The main facade has a central entranceway with sidelights and a semi-circular double transom with flanking semi-circular windows, one on each side. A datestone and inscription stating "Township Hall 1886" is located in the gable peak over the main entrance. Each gable end has returned eaves. Two tall brick chimneys are located on either side of the gable ridge to the rear of the building. According to the 1908 Goad's Fire Insurance Plan the roof was once covered with wooden shingles. It presently has a metal roof. A large one storey frame addition with a shed roof extends from the back of the building.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone construction representative of late 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular front gable plan
- Return eaves
- Stone construction with brick chimneys
- Symmetrical three bay facade
- Round arched window and door openings
- Sidelights and arched transom at entrance
- Stone sills, quoins and voussoirs
- Circular name and date inset "Township Hall 1886"

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Regent Street
- Prominent corner location

Name:

Address: 416 Regent Street

Property Number:
1011090090007000000

Lot:
PLAN 51 PT LOT 6



Property Type:	Residential
Era/Date of Construction:	1996-1997
Architect/Builder:	Designed and built by Hans Reich
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Cross gable
Building Height:	One and a half storey
Alterations:	Not known
Landscape/setting:	Open front lawn with specimen deciduous tree, Accenting front shrub garden with stone path
Heritage Value:	Non-Heritage

Name: Hyland-Stanton House

Address: 415 Regent Street

Property Number:
1011090090030000000

Lot: PLAN 51 PT LOT 6 & 7
RP;13R8111 PART 1 RP
13R13152;PART 1



Property Type:	Residential
Era/Date of Construction:	1830s
Architect/Builder:	George Hyland
Building style/Influence:	Vernacular
Materials:	Stone
Number of Bays:	Three
Roof Type:	Side gable with later front gable dormer
Building Height:	One and one half storey
Alterations:	Gable dormer on front elevation added (pre-1992), one and one half storey addition at east side of structure replaced with one storey addition (late 1900s), one storey frame addition extending from rear of structure replaced with one and one half storey addition (late 1900s), one storey garage on the structure's west side demolished (post-1992), front dormer downsized (post-1992) white cedar shingles replaced with fibreglass asphalt shingles (2004), front door replaced (2008), porch replaced with limestone patio (2010)
Landscape/setting:	Close setback to street, mixed vegetation
Heritage value:	Heritage

Description of Historic Place:

The property at 415 Regent Street is located on the north side of Regent Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey, side gable, three bay stone structure constructed c. 1830.

Heritage Value:

Built c. 1830 by stonemason George Hyland, this small vernacular one and one half storey stone cottage was sold in 1840 to Patrick Curtis, a local labourer. Curtis sold the property in 1870 to Mary Stanton and Nathaniel Stanton, a cabinetmaker.

The building has a rectangular plan with a typical three bay front elevation consisting of a central doorway and two flanking windows, one on each side. The medium pitched side gable roof slightly projects at the eaves and has a single brick chimney inset on the east gable end. A gable dormer was added to the main elevation at a later date. The large blocks of roughly squared limestone are laid in a broken course with oversized quoins on the corners and around the window openings. According to the 1908 Fire Insurance Plan, a one and one half storey building was once attached at the east side of the structure and a one storey frame addition extended to the rear.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular stone design representative of early construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular, side gable plan
- Stone construction, including stone quoins and courses above windows
- Symmetrical three bay facade
- Rectangular window and door openings
- Brick chimney

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Regent Street

Name:

Address: 418 Regent Street

Property Number:
1011090090007100000

Lot: PLAN 51 PART LOT 7
RP;13R9029 PART 1



Property Type:	Residential
Era/Date of Construction:	2003
Architect/Builder:	Designed by owner Margaret Hooey, built by Scott King
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type:	Hip
Building Height:	One storey
Alterations:	Not known
Landscape/setting:	Large specimen trees, assortment of shrubs, asphalt drive
Heritage value:	Non-heritage

Name: Thomas Esford House

Address: 419 Regent Street

Property Number:
1011090090028000000

Lot: PLAN 51 PT LOT 7 RP
13R13152;PART 2



Property Type:	Residential
Era/Date of Construction:	1850
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Frame with Limestone Foundation
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	One and one half storey
Alterations:	Garage added to property (pre-1992), central brick chimney removed and new chimney added on west elevation (pre-1992), original wooden siding covered by modern aluminum siding (pre-1992), wall dormer added and height increased (post-1992), single window in eastern gable replaced with two separate windows (post-1992), first storey window added on eastern elevation of main structure (post-1992), saltbox rearward addition replaced with one and one half storey structure (post-1992),
Landscape/setting:	Close setback to street, lawn, small shrubs
Heritage value:	Heritage

Description of Historic Place:

The property at 419 Regent Street is located on the north side of Regent Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey side gable three bay vernacular frame structure constructed in the mid-19th century.

Heritage Value:

This small one and one half storey vernacular frame dwelling was constructed on a limestone foundation with a rectangular plan and a low pitched side gable roof. The main facade is divided into three bays with an off-centre entranceway. A central brick chimney has been removed and a brick chimney on the west side has been added. The original wooden siding is now covered with modern aluminium siding which obscures any original detailing. Since the 1992 inventory, two wall dormers have been added to increase space in the upper storey and the saltbox addition out the rear has been replaced with a one and one half storey structure and an east facing vestibule.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of mid 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable rectangular plan
- Three bay asymmetrical facade
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation to Regent Street

Name:

Address: 420 Regent Street

Property Number:
1011090090008000000

Lot:
PLAN 51 PT LOT 7



Property Type:	Residential
Era/Date of Construction:	C. 1900 - moved to location in early 1950s
Architect/Builder:	Not known
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Front gable
Building Height:	One and one half storey
Alterations:	Formerly Peter's Grocery, moved from James Street (post-1992), major renovations (1990s) wrap-around balcony added (2006), one storey addition constructed (2007)
Landscape/setting:	Well maintained front garden with specimen trees
Heritage Value:	While an older property, the building has been relocated and greatly altered. Non Heritage.

Name: George Batten House

Address: 421 Regent Street

Property Number:
1011090090027000000

Lot: PLAN 51 W 1/2 LOT 8



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century (after 1874)
Architect/Builder:	George Batten
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	One and one half storey
Alterations:	Small one storey addition added to rear of structure (pre-1992), original windows and doors replaced (pre-1992), original wooden siding replaced with aluminum siding (pre-1992)
Landscape/setting:	Close setback to street, no soft landscaping
Heritage value:	Heritage

Description of Historic Place:

The property at 421 Regent Street is located on the north side of Regent Street in the Barriefield Heritage Conservation District. The property includes a one and one half storey frame structure with rectangular side gable plan and three bay facade, constructed in the late 19th century.

Heritage Value:

Believed to have been constructed by local labourer George Batten after 1874. this small one and one half storey frame vernacular cottage is rectangular in shape and has a low pitched side gable roof. The main facade is divided into three bays with an off-centre main entrance door. A small one storey addition extends from the rear giving the structure an "L" shaped plan. Originally clad in wooden siding the structure now has aluminium siding. The original window and doors have been replaced.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of modest late 19th century construction in Barriefield.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular side gable plan
- Asymmetrical three bay facade
- Rectangular window and door openings

Elements that define the contextual value of the property include:

- Close setback to street
- Orientation Regent Street

Name George McAllister House

Address: 423 Regent Street

Property Number:

1011090090026000000.00

Lot:

PLAN 51 PT LOT 8



Property Type:	Residential
Era/Date of Construction:	C. 1880
Architect/Builder:	George McAllister
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	One storey shed roof addition added to rear of dwelling (between 1880s and 1908), black asphalt shingle roof replaced (1992), windows and rear door repaired and replaced (2006), siding on west elevation removed (2006), building envelope and fence restored (2006-2010)
Landscape/setting:	None, structure fronts directly onto sidewalk
Heritage value:	Heritage

Description of Historic Place:

The property at 423 Regent Street is located on the northwest corner of Regent and George Streets in the Barriefield Heritage Conservation District. It contains a one and one half storey side gable, three bay frame structure constructed in the late 19th century.

Heritage Value:

This building was erected c. 1880 by George McAllister. It is a typical vernacular frame building, one and one half storeys with a medium pitched side gable roof and a three bay main facade with a central entrance. A brick chimney is inset on each end gable. The eaves have a wide overhang on the front section and are flush

on the rear addition. The siding is shiplap with accenting cornerboards. The structure has wooden window and door trim with a projecting hood.

A one storey shed roof addition was added to the full width of the main building prior to 1908 creating a "saltbox" appearance. Each side elevation of the main building has two second storey windows and one northerly placed first floor window. The building was restored not long before the 1992 inventory.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative of late 19th century construction in Barriefield

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable/saltbox rectangular plan with brick chimneys
- Symmetrical three bay facade
- Rectangular window and door openings
- Narrow horizontal cladding with accenting cornerboards

Elements that define the contextual value of the property include:

- Close setback to the street
- Orientation to Regent Street

Sharman's Lane

Name: Hutton House

Address: 2 Sharman's Lane

Property Number:
1011090090055100000.00

Lot: PLAN 51 PT LOT 3 RP
13R2800;PART 2



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Four
Roof Type	Side gable
Building Height:	Two storey
Alterations:	Conversion from double to single unit house, front deck. Interlock pavers added to driveway (2010), exterior repairs (2007), roof replacement (2002).
Landscape/setting:	Close setback to street, shrubs
Heritage Value:	Heritage

Description of Historic Place:

The property at 2 Sharman's Lane is located on the east side of Sharman's Lane in the Barriefield Heritage Conservation District. The property contains a two storey, side gable four bay frame structure constructed in the late 19th Century.

Heritage Value:

Originally built in the late 19th century as a double house, this two storey frame building has recently been converted to a single unit dwelling. It has a side gable roof and is clad in shiplap siding with contrasting cornerboards and flat wooden window trim with slightly projecting hoods. Divided into four bays, it originally consisted of a window/door, door/window arrangement. The front elevation now has a single off-centre door and transom with two windows on the south end and one window on the north end. A modern deck with a hand railing. and balustrade runs across the front of the building.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame construction representative of late 20th century design in Barriefield

Elements that define the architectural value of the property include:

- Two storey massing
- Side gable rectangular plan
- Frame construction
- Stone foundation
- Four bay facade
- Rectangular window and door openings
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Close setback to the street
- Orientation to Sharman's Lane

Name:

Address: 3 Sharman's Lane

Property Number:
1011090090055000000

Lot: PLAN 51 PT LOT 2



Property Type:	Residential
Era/Date of Construction:	1978
Architect/Builder:	Architect Neil MacLennan, builder Tasker Tucker
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type:	Hip
Building Height:	Two storey
Alterations:	Windows and patio door replacement (2009)
Landscape/setting:	Specimen trees, small open lawn, asphalt drive
Heritage Value:	Non-Heritage

Wellington Street

Name:

Address: 401 Wellington Street

Property Number:
1011090090074100000

Lot: PLAN 1910 LOT 11



Property Type:	Residential
Era/Date of Construction:	1988
Architect/Builder:	Siemonson and Rosen
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	Porch constructed (2007), windows replaced (2004), garage converted to family room (1993).
Landscape/setting:	Open lawn, specimen trees, lined shrubs
Heritage Value:	Non-heritage

Name:

Address: 402 Wellington Street

Property Number:

1011090090035020000

Lot: PLAN 51 PT LOT 4

RP13R10749;PART 1



Property Type:

Residential

Era/Date of Construction:

1993-1994

Architect/Builder:

Designed by owner Graham Mutch, built by SUN
builders/Mac Gervan

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Three

Roof Type

Cross gable

Building Height:

One and one half storey

Alterations:

Siding replaced (2005), gable added to outbuilding (2000),
rear door replaced (1993)

Landscape/setting:

Open lawn, mixed shrubs and specimen trees

Heritage Value:

Non-heritage

Name:

Address: 403 Wellington Street

Property Number:
1011090090074110000

Lot: PLAN 1910 LOT 12



Property Type:	Residential
Era/Date of Construction:	1997-1998
Architect/Builder:	Builder Pat Powers
Building style/Influence:	Contemporary
Materials:	Frame
Number of Bays:	Not known
Roof Type	Side gable
Building Height:	Two storey
Alterations:	Addition (2000), chimney added (1997), retaining wall added (1997), Pickets added to porch (1996).
Landscape/setting:	Front yard screening
Heritage Value:	Non-heritage

Name: Aaron Hill House

Address: 404 Wellington Street

Property Number:
1011090090036000000.00

Lot: PLAN 51 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	C. 1840
Architect/Builder:	Not known
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type	Side gable
Building Height:	One and one half storey
Alterations:	Window and door replacements, cladding replacement (2003). Several additions have been built onto the main house
Landscape/setting:	Large shrubs, open lawn
Heritage Value:	Heritage

Description of Historic Place:

The property at 404 Wellington Street is located on the south side of Wellington Street in the Barriefield Heritage Conservation District. The property includes a one and one half storey three bay frame residence with rectangular side gable plan.

Heritage Value:

This one and one half storey frame house has a basic rectangular plan with a three bay main elevation consisting of a central doorway and two flanking side windows. The present exterior wall covering is aluminium siding. Several additions have been built onto the main house. The medium pitched gable roof has a boxed cornice with a returned eave.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative of mid-19th century construction in Barriefield Village

Elements that define the architectural value of the property include:

- One and one half storey massing
- Side gable rectangular plan
- Frame construction
- Symmetrical three bay facade with regularly spaced rectangular window and door openings
- Narrow horizontal cladding

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Wellington Street

Name: John Tisdell House

Address: 406 Wellington Street

Property Number:
1011090090037000000

Lot: PLAN 51 PT LOT 5



Property Type:	Residential
Era/Date of Construction:	Late 19 th Century
Architect/Builder:	John Tisdell
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Three
Roof Type:	Side gable
Building Height:	One and one half storey
Alterations:	Rear one and one half storey addition with a one storey side porch
Landscape/setting:	Small open lawn, assortment of shrubs
Heritage Value:	Heritage

Description of Historic Place:

The property at 406 Wellington Street is located on the south side of Wellington Street in the Barriefield Heritage Conservation District. It contains a one and one half storey frame structure with rectangular side gable plan and three bay facade constructed in the late 19th century.

Heritage Value:

Built by John Tisdell in the late 19th century on the southwest corner of Wellington and Drummond Streets, this one and one half storey frame house has a side gable roof and a three bay main facade with a central door and two flanking side windows. The cornice is boxed with returned eaves on the gable ends. The east facade which faces Drummond Street has a rear one and one half storey addition with a one storey side porch.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular design representative of late 19th century construction in Barriefield.

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular side gable plan
- Symmetrical three bay facade with regularly spaced rectangular windows
- Horizontal cladding

Elements that define the contextual value of the property include:

- Setback from street
- Orientation to Wellington Street

Name:

Address: 408 Wellington Street

Property Number:

1011090090029000000

Lot: PLAN 51 PT LOT 6-7

RP;13R11023 PARTS 1 TO 5



Property Type:

Residential

Era/Date of Construction:

1994

Architect/Builder:

Designed and built by owners - Labrie family

Building style/Influence:

Contemporary

Materials:

Frame

Number of Bays:

Five

Roof Type

Side gable

Building Height:

One and one half storey

Alterations:

Metal roof added (2011), lot severance (2003), Porch added (1995), siding painted (1994)

Landscape/setting:

Open lawn, Specimen trees, Front screening hedges

Heritage Value:

Non-heritage

Name:

Address: 411 Wellington Street

Property Number:
1011090090075000000

Lot: CON EGCR E PT LOT 20



Property Type:	Institutional
Era/Date of Construction:	1953
Architect/Builder:	Not known
Building style/Influence:	Mid-century modern
Materials:	Brick
Number of Bays:	Multiple
Roof Type	Flat
Building Height:	Two storey
Alterations:	1968 rear addition, portables added (1993-2010), sun shelter added (2003), garbage enclosure constructed (1993), fencing added (1992/2004).
Landscape/setting:	Large open lawn, Specimen trees, Front screening hedges, asphalt drive
Heritage Value:	Non-heritage

Description of Historic Place:

The property at 411 Wellington Street is located on the north side of Wellington Street in the Barriefield Heritage Conservation district. The property contains a two storey T-shape brick building with multiple bays. The school was constructed in 1953 and added to in 1968. It closed in 2014.

Heritage Value:

The former J.E. Horton Public School was constructed in 1953, on land purchased by the School Board from His Majesty the King in 1951. The land was granted by the Crown to John Grant in 1811. James Grant, likely a descendant, sold an acre of the property to Richard Davis in 1818, and 97 acres to Robert Moore in 1819. In 1828 Davis sold 1/5 of an acre to Moore. At some point, Robert MacDonald came to own 125 acres of the lot (instruments not shown in land registry records) but in 1844 sold the land to the Ordnance department. An 1842 map shows the north part of the lot and the part of the adjacent lot where the church was built as a possible location of a military redout. It

does not appear that this was ever constructed. In 1855, a lime kiln operation was reportedly located on the property. Aside from small severances, the property was owned by the Crown from 1844 until the mid-20th century purchase by the school board. The school served Barriefield and the surrounding area of the former Pittsburgh Township until 2014 when it was declared surplus by the school board and closed.

**Name: William Allen
House**

Address: 412 Wellington
Street (formerly 12
Wellington Street)

Property Number:
1011090090022000000

Lot: PLAN 51 PT LOT 7 & 8



Property Type:	Residential
Era/Date of Construction:	1860, Moved to present site late 1930s
Architect/Builder:	William Allen
Building style/Influence:	Vernacular
Materials:	Frame
Number of Bays:	Five
Roof Type:	Side gable
Building Height:	One and one half storey
Alterations:	Move to current property in late 1930s; veranda removed (1980); roof repairs (2006), windows replaced (1992)
Landscape/setting:	Fenced lawn, specimen trees, assorted shrubs
Heritage Value:	Heritage

Description of Historic Place:

The property at 412 Wellington Street is located on the south side of Wellington Street in the Barriefield Heritage Conservation District. The property contains a one and one half storey side gable structure with five bay facade constructed in the mid-19th century and moved to the site in the 1930s. The main house was moved (late 1930s) to Wellington Street from leased lands at the north-east intersection of James and George Streets. The veranda and summer kitchen were then reconstructed.

Heritage Value:

Built by farmer and town constable William Allen (father of local builders William and Fredrick Allen) this one and one half storey frame dwelling was moved using a team of horses and log-rollers from leased Military Reserve lands to its present location in anticipation of the Second World War. The main house is rectangular in plan with its long side facing Wellington Street.

The main facade is divided into five bays with a central doorway and two windows on each side. The doorway has a three light transom. The walls are clad in shiplap siding with plain accenting cornerboards, frieze and water table. A boxed cornice with a returned eave is found on each gable end. Each gable end has an inset brick chimney. A simply designed one storey verandah once ran across the full width of the principal elevation but has been removed.

Heritage Attributes:

Elements that define the historical value of the property include:

- Vernacular frame design representative of mid-19th century construction

Elements that define the architectural value of the property include:

- One and one half storey massing
- Rectangular side gable plan
- Symmetrical five bay facade with regularly spaced rectangular windows
- Central doorway with three-light transom
- Narrow horizontal cladding
- Side chimneys

Elements that define the contextual value of the property include:

- Setback to street
- Orientation to Wellington Street
- Picket fence
- Limestone retaining wall



(Pre-1980)

Appendix B Barriefield listing from Canadian Register of Historic Places

Barriefield Listing from Canadian Register of Historic Places

(accessed April 2015)

DESCRIPTION OF HISTORIC PLACE

The Barriefield Heritage Conservation District (HCD) is an evolving village landscape that has retained much of its historic 19th century character. It sits on a hillside rising from the eastern shore of the Great Cataraqui River, adjacent to the intersection of Highways 2 and 15 near Fort Henry, the Royal Military College and Canadian Forces Base Kingston.

The District was designated by the former Township of Pittsburgh under Part V of the Ontario Heritage Act on April 21, 1980 (By-law 17-80).

HERITAGE VALUE

Barriefield HCD contains a diverse ensemble of buildings, mostly residences, and landscape features of 19th century character, while reflecting two centuries of physical, social, economic and natural change.

Barriefield has a long association with European settlement and military activity in the Kingston area, beginning in 1814, with a detailed townsite plan. The streets were named after military figures from the War of 1812. The village itself was named, in 1820, after Commodore Robert Barrie, Commissioner of the nearby Kingston Naval Dockyard. Barrie's secretary, John Bennet Marks, an early village resident, was elected MPP, in 1836, and first Reeve of Pittsburgh Township, in 1850.

Early growth of the village was associated with the increased activity at the nearby Kingston Naval Dockyard, during the War of 1812, and the construction of Fort Henry, from 1832 to 1837. By the 1840s growth had stabilized, but Barriefield saw further commercial and industrial development in the 19th century, mainly associated with taverns, hotels, boat building and sawmills. Slowly changing from the 1840s to the early 20th century, Barriefield was a reflection of the stable population and economy. In 1886 the Pittsburgh Township Hall, designed by William Newlands, was added to the Village. There was little new construction after 1900. Post 1945, the buildings in the village began to suffer, as the population declined so too did the property values. Since 1977, however, Barriefield has been under increasing development pressure, which led, in part, to the creation of the Heritage Conservation District by Pittsburgh Township, in 1980. While new residences have been built and some existing heritage properties altered, the overall 19th century village character has been retained. Barriefield also has notable archaeological resources.

The distinctive design value of the Barriefield Heritage Conservation District is found in the scale, mass, decorative detailing and siting of its buildings. Most are detached single family residences of frame or stone construction with a few semi-detached houses. There are also a few two-storey buildings, but the overall built environment is typified by low profile, one-and-a-half storey houses. Brick buildings are uncommon with only four 19th century examples. Additions and alterations to properties in the village have reflected continuing use and changing needs and tastes of their owners and occupants over time. Most changes have been sympathetic to the historic character of the buildings.

Views from the approaches along Highway 15 to the north, Highway 2 to the east and downtown Kingston to the west, all afford uninterrupted panoramic views of Barriefield, as it sits prominently upon the hill. As well Barriefield's position provides clear views of the Cataraqui and St. Lawrence rivers, Fort Henry and downtown Kingston. Large grassy open spaces on the north, east and south sides preserve these vistas. The northern entrance to Barriefield is through a stone gate and bordered by a walnut grove. On the northern edge, the prominent landmark of St. Mark's Church is highly visible from a distance. The steeply sloping river bank with its screen of deciduous trees and the mature black willows surrounded by tall wetland grasses along the river edge further define the District and contribute to the rich variety of its natural features. The District's landscape reveals a mix of natural and built features that further contribute to the distinctive overall historic character. These include; the original street grid, dividing the properties into rectangular lots, lilac hedgerows, dry stone walls and other surviving landscape elements that define property boundaries.

Sources: Former Township of Pittsburgh By-law 17-80; Barriefield Heritage Conservation District Plan, May 1992; City of Kingston Heritage Property File CHE-P18-572-2006.

CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Barriefield Heritage Conservation District include its:

- *street names recognizing the War of 1812 and British military officers*
- *proximity to the site of the former Kingston Naval Dockyard and Fort Henry*
- *archaeological resources*
- *cohesiveness of the overall use, scale, siting and building materials in the village*
- *constraining village boundaries of the Military Reserve and river*
- *low-density residential scale of most properties, continuous throughout the history*
- *predominance of 19th and early 20th century buildings, showing evidence of change over time*
- *predominance of one-and-a-half storey buildings typifying the overall form of the District*
- *minimal setback of most buildings*
- *predominance of local limestone and frame construction, with only four 19th century brick buildings*
- *central front gables generally found as original construction on the post-1850 stone houses, and as a later addition in the roofs of some pre-1850 houses*
- *use of squared rubble in the stone buildings, either coursed, un-coursed or broken-coursed*
- *predominance of clapboard or cove siding on frame houses*
- *side gable, centre hall plan and symmetrical three bay façade of most smaller houses, with some exceptions featuring off centre entranceways*
- *five bay façades of the larger two storey dwellings*
- *end gable, side hall plan with off centre doors on the late 19th century frame houses*
- *brick or stone chimneys typically located at either end of the roof ridges*

- *typically vertical rectangular window openings, usually symmetrically arranged on each elevation with untrimmed openings and sills of wood or cut stone, headed with voussoirs on the stone houses*
- *surviving double hung sashes of most original windows*
- *round arched windows in most central front gables*
- *main entrances typically located on the long wall of the end gabled stone houses*
- *rubble foundation walls typically found on the frame houses*
- *plain entranceways—some with transoms—of the frame houses*
- *minimal exterior detailing of the earlier frame houses*
- *one-storey open porches running the full-width of the façades of many houses*
- *its setting on a hillside rising from the riverbank*
- *views from the village towards the Cataraqui and St. Lawrence rivers, Fort Henry and downtown Kingston*
- *grassy open space on the north, east and south sides of the District*
- *street geometry, laid out in a grid following the 1814 townsite plan and forming rectangular lots*
- *more intensive settlement pattern of the core of the village and along the two historical main roads*
- *surviving historic landscape features, such as stone survey markers, dry stone walls, abandoned rights of way—now used as public pathways, hillside streets, lilac hedgerows and mature black locusts*
- *mature black willows, overhanging the water and surrounded by tall wetland grasses along the river's edge*
- *landmark of St. Mark's Church (built 1844), the most prominent building in the District, highly visible from a distance.*
- *landscaped setting, including decorative stone gate posts and dry stone walls marking the entrance and grove of walnut trees at the road which form a distinctive northern gateway to the District*

Appendix C Conservation Guidelines (from 1992 Barriefield Heritage Conservation District Plan)

3.0 Conservation Guidelines

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3.0 CONSERVATION GUIDELINES

3.1 Building Conservation

Owners of a heritage property may be considered as stewards or custodians with a responsibility to transmit to future generations a rich, built-heritage. Maintaining buildings in good physical condition and ensuring viable and satisfactory uses are the cornerstones of conserving older heritage structures.

The deterioration of building elements or materials is a natural phenomenon. It can be significantly slowed by sound repair and maintenance or considerably accelerated by inadequate attention to such factors as water damage, paint failure and so on. The process of *conservation*, which is the remedial measures necessary to prevent decay, must be used to promote the longevity of building materials. Sound maintenance practice is the single most important technique in the promotion of good conservation.

Generally, the conservation issues within the district relate mainly to: the continuing maintenance, repair and restoration of historic building fabric; appropriate alterations and additions to existing heritage structures; and new construction. Repair and maintenance is the minimum conservation action and yet the most effective action required to maintain a building since it often insures against harmful and irreparable damage.

For the purposes of this district plan and its use in the consideration of change and development within the Barriefield village a number of terms are defined to aid the reader. These terms are drawn, in shortened form, from the Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation, *Well Preserved*, (Mark Fram, 1988) and are described on the following page.

- Conservation:** An umbrella term that encompasses a broad range of activities aimed at preventing decay by wisely using heritage resources and purposely intervening to remove or obviate threats to those resources.
- Preservation:** Preservation involves stopping, as permanently as possible, those processes contributing to the deterioration of a building or site and making essential repairs to keep it in its existing state.
- Restoration:** Restoration is the recovery of the forms and details of a property as it appeared at a particular time by removing work of intervening periods and, where necessary, replacing or reproducing missing elements.
- Reconstruction:** Reconstruction involves the re-creation of a vanished building or feature on its original site based on evidence from historical documents.

The following sections offer general guidelines on the maintenance, repair and restoration of existing heritage buildings within the district.

3.2 Foundations

Building foundations which are sound and watertight are essential to the good health of the district's structures. The early discovery of problems can normally be corrected inexpensively and efficiently. If problems are allowed to persist untreated significant damage such as excessive settlement may occur.

The importance of the regular inspection of basements and foundation walls cannot be overstressed. Using a flashlight look for signs of moisture, cracks, deflection of structural members and settlement. Settlement can take years to occur and normally does take place during the first years of the structure's life. Often older buildings which have settled reach an equilibrium. However, changes in ground water levels, excessive spring runoff, earth movements, new tree plantings too close to a structure and disconnected downspouts can result in further destabilization of the structure and foundation. New additions and the construction of new buildings on adjacent properties may also contribute to settlement.

Another problem with basements and foundations is the lack of proper ventilation which can cause fungal growth. Undetected growth can also cause stress through weakening sill plates which may affect the integrity of the basement foundation and the above structural framework. Termites are another problem which should be monitored and corrected.

Repairs to foundation problems should be undertaken only after consultation with a professional engineer or architect who has a knowledge of heritage buildings systems. Make repairs where possible using traditional building practices and using sound building science principles.

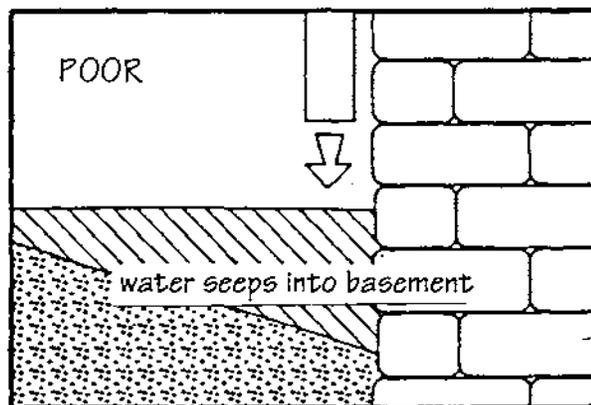
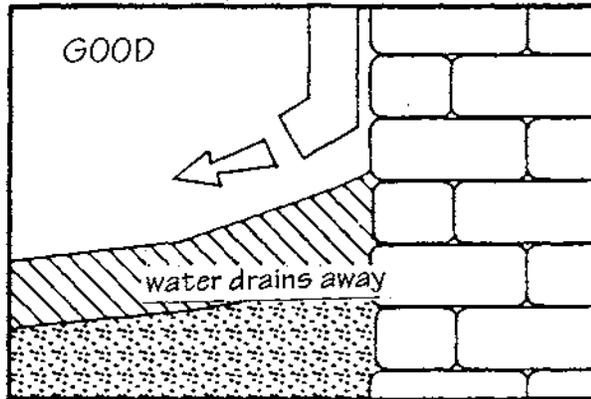
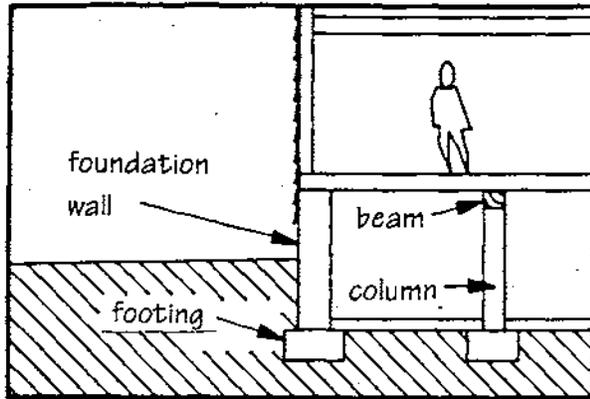
Make sure proper exterior drainage is in place and direct water away from the building. Install drainage tiling if necessary to control excessive moisture. When excavating, remember there may be archaeological concerns that can occur. Excavate in short sections, repair and backfill. If deteriorated mudsills exist, the property owner may consider pouring a new footing or re-instating a new mudsill.

Generally the guidelines for masonry restoration of walling should be applied to any exposed external foundation walls whether they are brick, stone or concrete block. Areas exposed to extreme environment conditions at the lower foundation walling may require a slightly stronger masonry mortar to prevent accelerated deterioration. Conditions may vary requiring expert advice. Refrain from parging exterior foundation walls with cementitious materials as a method of waterproofing. If additions or alterations are being considered it is worth examining methods of construction which spread the load uniformly onto an existing foundation wall or footing. Consolidation of a masonry wall may entail grouting. Seek expert advice and a qualified contractor to undertake the project. Use low sodium grouting mixtures to prevent efflorescence to brick or stone masonry.

3.3 Structure

Structural systems in buildings often vary in size, shape and design. Techniques employed by a variety of builders and designers as well as local availability of materials will also contribute to differences in construction methods and choice of materials.

Wood is the most common building material and has always been relatively inexpensive and readily available in Ontario from the beginning of European settlement. The construction method for frame structures varies greatly as building techniques developed with advancements in technology. The earliest structures were generally log and then heavy timber construction. This was followed by wooden platform framing and balloon framing which relied on machine sawn lumber.



FOUNDATION CONDITIONS

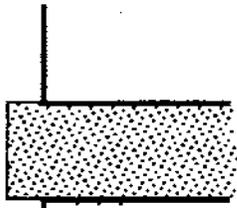
The proper method of conservation for heritage frame structures begins with the assessment of the type of construction employed in the building. This will allow for the development of proper strategies for maintenance, repair and restoration. Knowledge of the construction method is useful in the design of additions and alterations.

Inspect and record structural stability problems; note cracking, deflection, fungal or insect attack; stabilize weakened structural members and systems with a method which can be repaired and reversed if necessary. Another method employs supplementing the existing structure system when damaged or inadequate. Replacement of any structural materials should be made in the same species and of the same dimension and structural capacity where possible. In solid masonry structures the joist pockets and wood/masonry connections should be examined for deterioration and fungal growth due to moisture and a lack of proper ventilation.

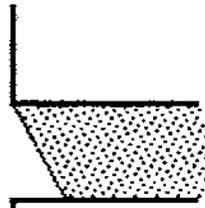
The effects of settlement and problems with leakage or cracks should be monitored for activity before work is considered. Inactive cracks and/ or leaning wall can be in a static state and no longer cause for concern. Often the pattern of settling and self-adjusting in an older structure is complex and may take decades to complete.

It is of the utmost importance to make any *major repairs* to the structural soundness of a building first before completion of work to the exterior elements like stone, brick, stucco and even wood siding. This is very critical in situations where new additions or alterations are being considered. The building owner should also consider supplementing the existing structural system when damaged or inadequate. This solution is preferable in circumstances where braces, splices or fitch plates can be utilized and later removed if necessary.

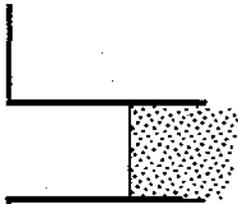
UNACCEPTABLE BRICK POINTING



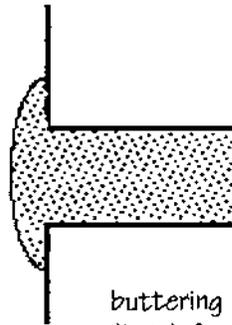
ribbon
(water collects on edge)



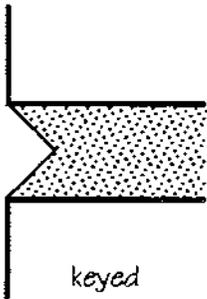
reverse struck
(lets water in)



deeply recessed
(lets water in)



buttering
(brick face obscured)



keyed

When restoring, replace specialized joinery work and unusual or rare engineering or technical innovations only when necessary. Specialized work will require a skilled craftsman, technician or a professional engineer with heritage training or experience. Proper plans and specifications may be required to execute the project. Structural repairs to masonry or stucco should be completed with non-ferrous metal hardware to prevent rusting. The grouting of masonry walls when required should be completed by experienced professional tradespeople.

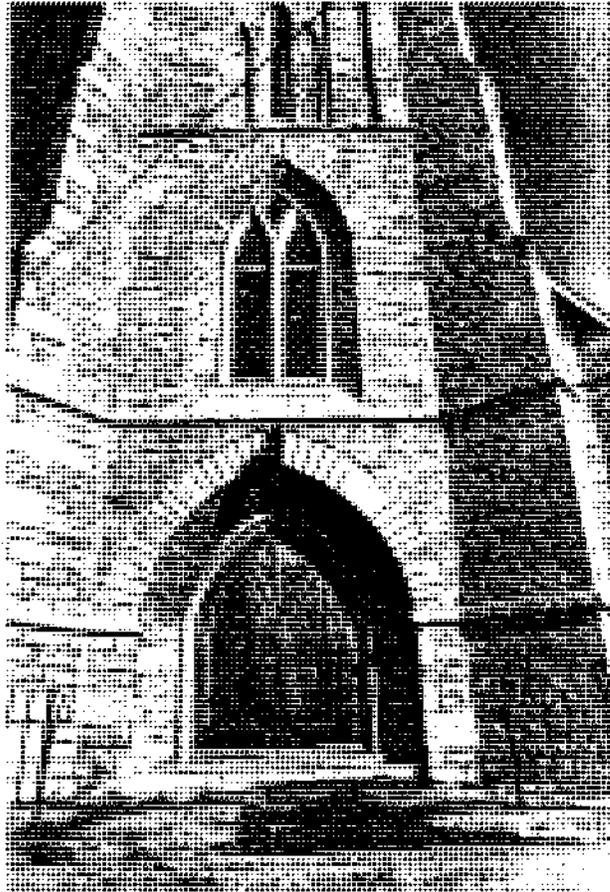
3.4 Exterior Wall Cladding

Generally the historic buildings of Barriefield were built either of stone or in wood siding over a frame structure. A number of brick masonry structures also exist.

Walls should be examined for cracks, brick spalling, stains, leaks, mortar erosion, local distress, leaning or bowing, efflorescence, blisters and loose or falling building fabric. Prioritize the work which must be considered for repair and future maintenance, and then take appropriate action.

3.4.1 Brick and Stone Masonry

Repairs to localized area should match the original as closely as possible in size, colour, texture, surface treatment and strength for reasons of appearance and durability. With brick and stone it is critical that mortar which bonds the original walling units is examined for texture, colour, type of jointing and composition. A good match of the above noted qualities will contribute to a better completed job. The choice of replacement brick must follow similar criteria in terms of type, unit size, colour, texture and composition. Maintain decorative brick



In order to prevent the decay of lower masonry units make sure the surface water drains away from the building. Never spread rock salt near masonry as this will accelerate decay of both stone and brick .

elements. The maintenance of brick walling will help preserve the building fabric. With stone masonry similar criteria should guide the choice of replacement units.

Major restoration should follow guidelines developed in the *Annotated Master Specification for the Cleaning and Repair of Historic Masonry*, available from the Ontario Ministry of Culture and Communications, Heritage Branch, Toronto. This guide provides an excellent source of information on the subject of masonry conservation and repair..

When replacement brick is to be used, it should be chosen carefully. Salvage brick can be used in areas where exposure to excessive weathering is not likely to occur. It is important to evaluate the strength and durability of "old" bricks when considering them for re-use. Do not employ the use of softer interior bricks for exterior masonry repairs. Building stone should also be chosen for similar reasons of durability.

The retention of original finishes or coatings on masonry including paint, whitewash and parging should be maintained when possible. The cleaning of masonry can be considered useful in the prevention of deterioration and the restoration of original appearance. However, it is critical to the success of a cleaning operation that the "patina" be maintained. The patina of age is part of the building's history. This will involve specialized care by a competent contractor. The "good as new" appearance usually means too aggressive an approach to cleaning is being recommended. Make sure that all cleaning operations are carried out during a frost-free period by skilled operators. Test patches should be completed in inconspicuous areas before any work is undertaken. Be wary of sandblasting in any circumstances and remember caustic chemicals used improperly can be just as harmful to the building and the environment.

Many historic masonry structures were built using more elastic mortars with a high lime and low cement content. Modern mortar is generally harder and its use can be harmful for older buildings when employed with soft or friable masonry materials. A general rule with masonry repointing is to make sure the mortar is weaker than the surrounding masonry. It is easier and cheaper to repoint masonry walling rather than replace historic masonry units.

Repointing is required when it is badly deteriorated or when water penetration is a problem. Do not repoint old mortar sections in good condition. Always clean out deteriorated mortar with a hand chisel back to sound surfaces rather than using power chisels. The composition of the new mortar must match as closely as possible the qualities of the old in strength, colour and texture. Avoid the use of plasticisers or colourants.

Acceptable brick joints include: the flush; the semi-recessed; the rodded or thumbed joint; and the regular struck joint. Stone masonry joints considered acceptable include: sacked and rubbed flush joint; sacked and slightly concave; the shallow struck recessed; shallow recessed; and thumbed.

Unacceptable joints include: the tucked joint; tuck beaded joint; the bleeding joint; ribbon, deeply recessed, keyed reverse struck; and buttered joint.

3.4.2 Stucco

Stucco – sometimes referred to as rough cast – has been a much used exterior cladding in Ontario architecture and is found within the district. It is a type of external plastering or rendering of lime or lime and cement mortar which is placed on lath. Sometimes it is found applied directly to masonry surfaces. It produces a uniform finish which is rain resistant

and which adds architectural effect to the building surface with its texture, detailing and colour. Traditionally stucco was seldom painted but took its colour from the aggregate and any permanent pigment mixed in the finish coat.

Common failures of stucco include bulging, cracking, deterioration at the ground line and at the roofline. Moisture penetration and structural settlement are prime causes in stucco failure. Stucco can be repaired in several ways:

- Ensure that textured or decorated stucco surfaces are accurately recorded before repairs begin. Note the thickness of the stucco relative to the wood trim and maintain this dimension in order not to hide or destroy the function of detailing i.e. sill drips, corner boards.
- New stucco should never be applied over an existing surface since this can hide damaged surfaces and destroy architectural detailing. Remove unsound stucco to lath or a sound base and duplicate original formulation in strength, composition and texture.
- Patching and new stucco surfaces should match the historic finish, colour and texture and any special markings found on original stucco surface.
- Do not paint the stucco surface if it is not already painted.
- To date no effective method of cleaning stucco has been developed. Dirt and dust should be rinsed off with water on a yearly basis.

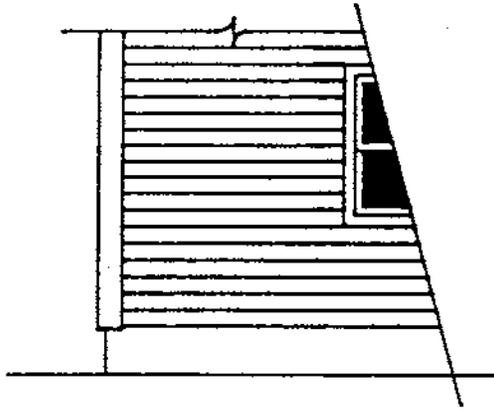
3.4.3 Wooden Siding

Examples of clapboard siding or horizontal wooden cladding and board and batten (generally found on outbuildings) are found in the district as well as some decorative shingle siding. Wood siding should be repaired wherever possible. Small cosmetic repairs or "dutchmen" should be carried out in wood or a combination of wood and glue. New replacement wooden siding should match the original in form, style, dimension, profile and method of installation. Cornerboards should match the original in dimension and profile. Although wood and synthetic siding may appear similar at a distance, the materials are significantly different. The use of real board and batten and *not* applied wood battens over a plywood as a base should be encouraged. Plywood appears similar at a distance but is not an original replacement material. Selection of a skilled craftsman to complete the installation of the materials is recommended.

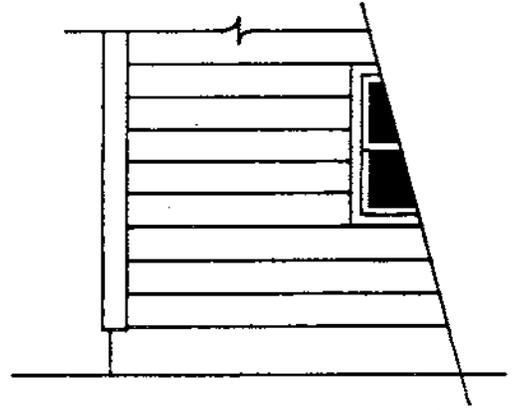
3.4.4 Synthetic Siding

The exterior historic character of a heritage building is largely established by its style and decorative detailing which are in turn influenced by the detail, colour and surface characteristics of the walling material. Wooden siding as well as brick or stone structures are often re-clad in modern synthetic siding rather than renewing the original building material. In the case of historic buildings this can lead to significant changes to the exterior appearance of the building.

Synthetic siding coarsens the visual texture of the building and destroys the architectural scale of a house by altering size and spacing of the original wooden siding. Its application generally means the removal of decorative and other trim such as cornerboards, and window and door trim. Wooden siding and brick units are often damaged by nailing the synthetic siding directly to the original building fabric or by adding

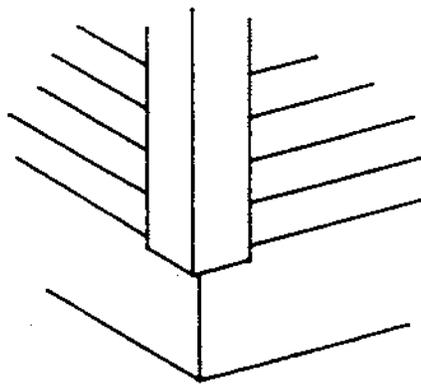


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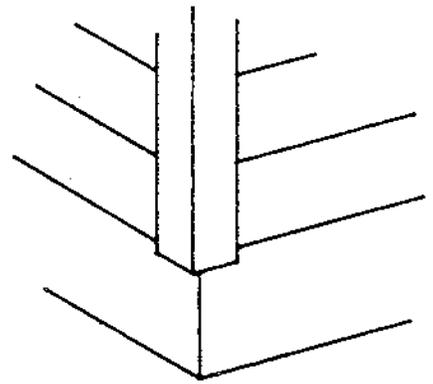


Unacceptable

Historical siding widths, profiles and gauges should be repeated when re-siding with clapboard.



Acceptable



Unacceptable

furring strips to the original walling material. The inability of synthetic sidings to bend often leads to vertical placement in problem areas thus spoiling the original lines of a historic building.

The application of synthetic siding also affects the general maintenance and repair of the historic building by contributing to moisture problems if applied over a building which needs repair and it prevents the inspection of the underlying building fabric. Synthetic siding tends to be prone to denting. It is not maintenance free and its insulation value is not significant. *Its use is not recommended for heritage structures where it is not already extant.*

3.5 Roofing

Respect the original roof configuration, roofing materials and any architectural details such as dormers, cupolas, vents and cresting.

Assess the condition of the roof yearly. Look for or examine: broken, loose or missing shingles, corroded, broken or loose fasteners or seams; the condition of the valley flashing and ridge; level and plumb roof planes. Examine the attic space for signs of moisture and the adequacy of ventilation. With flat roofs, it is important to assess the condition of the tar and gravel covering as well as the drainage. This roof type often has a shorter lifespan.

Repairs should be made before considering entire roof replacement. Even small patch repairs should be carried out in a conscientious manner and match the original material.

Make sure rainwater gutters are regularly cleaned to prevent backup and ice dams. Inspect all flashing for signs of fatigue and erosion. Assess corrosion failure due to atmospheric or galvanic action. Areas



A proper roof inspection should be carried out annually. Sound flashing and operational downspouts and gutters are critical to the long term maintenance of this feature whether it is built of wood, metal or asphalt.

around the chimney and dormers are often vulnerable and apt to fail. Remove affected metal and replace in kind. When sealants have failed due to expansion, age or improper application clean all surfaces and replace sealants as directed.

The choice of roofing material replacement should be carried out after a proper cost analysis taking into account grant monies where applicable. Selection of a modern or alternative roofing material should respect the colour, dimensions and texture as well as visual impact of the original roof and the effect on the streetscape. When replacing asphalt shingle roofing attempt to use basic colours such as red, green or black. The use of brown asphalt shingles should be avoided as a substitute for wooden shingles.

Place new vents or elements such as skylights in discreet locations making sure they are properly flashed and sealed.

When planning a roof restoration, investigate the roof area and/or examine historic photographs and other documentary sources to identify the original roofing material. The main historic roofing materials used within the village area appears to have been wood shingles. Make sure colour, textures and dimensional qualities respect the original material. Purchase the best quality shingles available free from defects and made of heartwood.

The other roof material found in the village was metal. Investigate the type of metal used and the method of installation. Metal roofs can be composed of tin, terneplate, galvanized steel or even painted steel. Hire an experienced contractor familiar with proper installation techniques. Property owners can assist by directing the contractor to certain information sources if there are any questions regarding details for sources of material flashing, ridges and junctions.

Chimneys are masonry roof features which should be examined for stability and soundness annually. This includes making sure the flue liner is operating effectively and that the chimney cap is secure. Flashings often fail in this area and regularly cause roofing material decay. Masonry chimneys should be repaired with the same method and approach discussed in Section 3.4. Decorative chimneys or chimney pots must be restored through repair or replacement in style, profile and dimension where possible. Chimneys must not be simplified in rebuilding if original work or later extant work includes special detailing.

Dis-used chimneys should be capped and maintained. Often they provide a balance for the structure upon which they sit and complement an existing chimney.

When rebuilding a former chimney which has been removed, consult photographic material before designing an appropriate chimney.

3.6 Decorative Wooden Detailing

Decorative wooden detailing and ornamentation such as porches verandahs and dormers, scrollwork, spindles, columns and turned posts, brackets, vergeboards, finials and pendants, dentils etc. are found on even modest historic buildings of the nineteenth and twentieth centuries. They are considered to be an integral part of the building's character and should be retained. Since carved, sawn and turned details are very susceptible to deterioration they should be checked regularly for signs of decay.

Signs of rot, insect infestation, fungi, mechanical damage and structural fatigue are common problems in exterior woodwork. Understanding the nature of decay will allow for a better choice of repair and maintenance

options. Look for blistering paint or a total absence of a surface covering as a signal of a potential problem. Make sure that the fastenings are secure and that they are free from rust.

When undertaking repairs use the gentlest means possible to strip or clean wood or finishes, being mindful not to remove or harm sound wood. Small cosmetic repairs can often be accomplished with compatible wood fillers which are then painted. More serious problems may require wood insertions or splices. When total decay has occurred, new wood should be used to duplicate the original structural or decorative element. Make sure a competent craftperson is hired to undertake the work. Maintenance of wooden elements will require regular inspections to ensure there is no damage from excessive moisture - wood's number one enemy.

In order to restore decorative woodwork, moulding profiles should be taken of all elements in order to ensure that they are properly replicated. It is important to use a skilled craftsperson who has knowledge of practice, tools and wood. All existing structural and decorative elements should be examined for failure and reused when possible. Assessment of the type of repair should be considered in conjunction with historical documentation. The restored elements should be protected by a non-toxic water repellent to prevent future decay. Regular painting is one of the best methods to ensure the protection of exterior woodwork. Do not rely on caulking to prevent water absorption. Properly detailed elements should be self-draining, where possible. With repairs to smaller areas, it is recommended that a filler which contains maximum strength and durability be selected for the patching. Any splicing should be completed in the same type of wood, ensuring the direction of grain is matched.

The reconstruction of elements based on historic photographs should be drawn first before the replication of the element is commissioned. Working or shop drawings are useful when prepared. Conjectural restorations should be avoided.

3.7 Windows and Doors

These important building features are an integral part of the architecture of the district's heritage buildings. They also reflect changes in the original design and often exhibit fine quality craftsmanship.

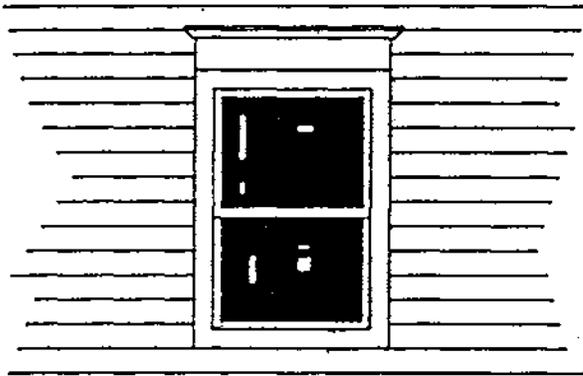
The inspection and assessment of these features for structural soundness and deterioration is of critical importance. Retention and proper repair of original window frames, sash, glass and door panelling is highly recommended. Badly decayed areas in an otherwise sound window or door should be repaired using compatible filler materials or appropriate joinery detailing. Retain existing glazing where possible and save door and window hardware during repairs. Never enlarge window or door openings or make them smaller since this has a negative effect on the heritage character of the building. The one exception is when an original size of the door or window opening is being restored.

Replacement wooden windows or doors should be completed in kind. Aluminum, coated metal or vinyl units are **not recommended** as replacements. A replacement window or door should match the original in style, shape placement and be based on the use of historic photographs when available to meet the above criteria.

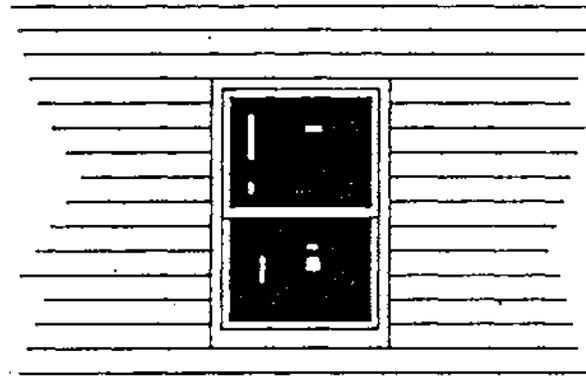
When restoring a building to its original appearance new replacement sash should maintain the muntin profile and dimensions of the original window. This may require new shaping blades or knives to be cut to reproduce the moulding profile. Try to make double hung windows work properly. Storm windows and doors are also-heritage features and should be utilized. When new glazing is required it should resemble some of the qualities of older, single pane glass where possible. Double glazed wood window replacements are not recommended for use on principal facades of existing historic buildings, but may be considered for rear or side facades that are not visible to public view. Double glazed



Maintain the original windows and repair rather than replace. Restore shutters to operational use whenever possible. New shutters should always match the original dimensions and method of construction.

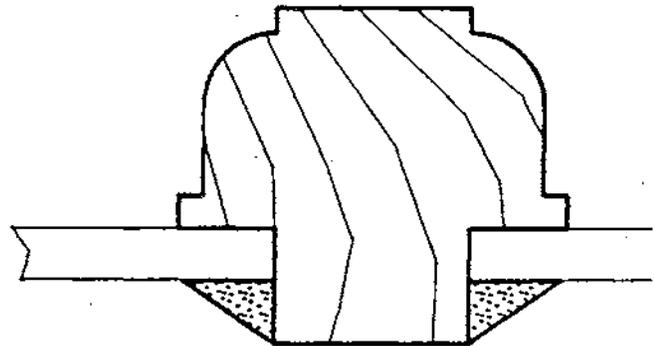
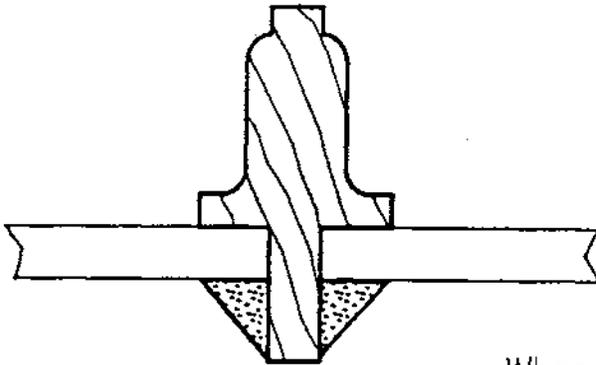


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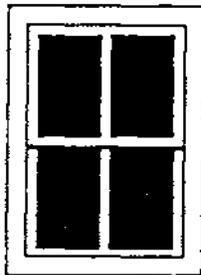


Not acceptable

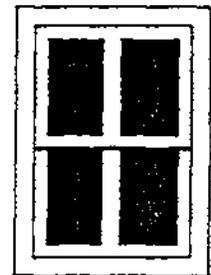
Do not remove window trim when re-siding or installing new windows



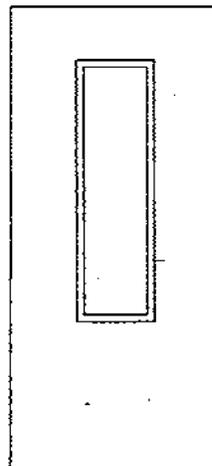
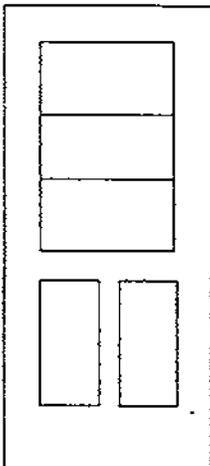
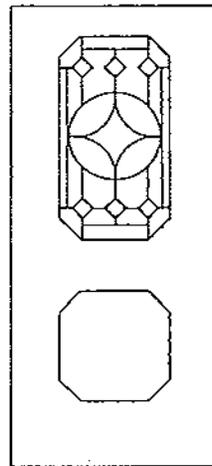
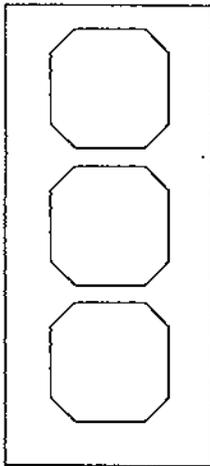
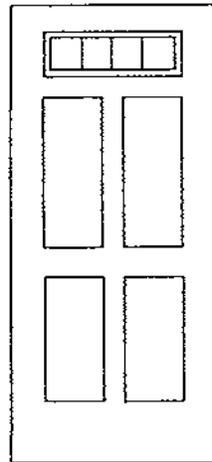
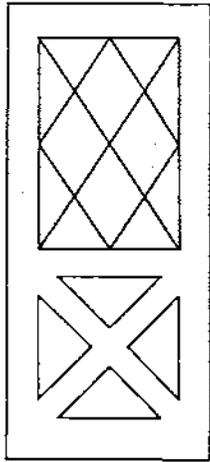
When replacing original windows match the muntin profile where possible



Acceptable



Not acceptable



DOORS TO AVOID

panes are not acceptable for purposes of restoration as original muntin and mullion bars are thin and will not accept the thickness of a sealed, double glazed unit, usually three-quarters-of-an inch to one-inch.

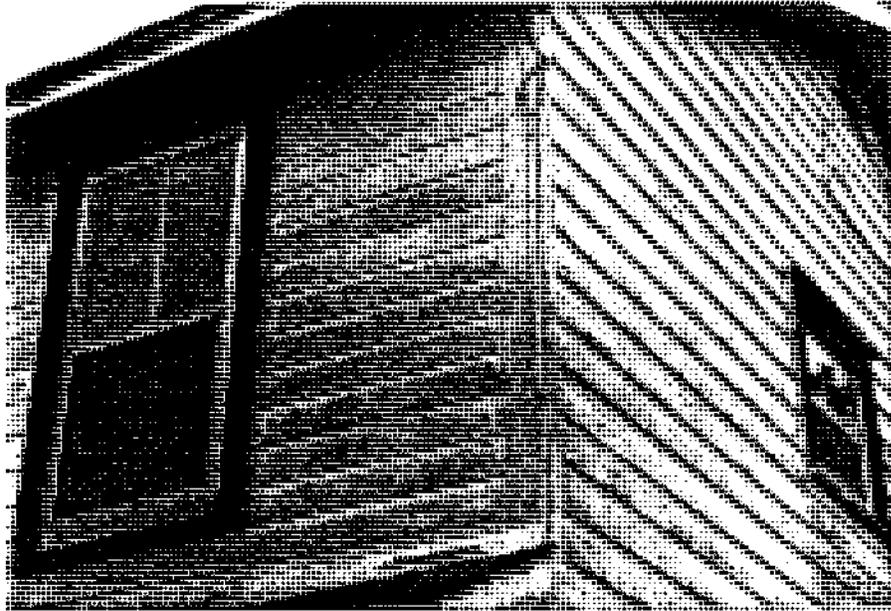
Entrances which include transoms and sidelights often exhibit well executed, fine craftwork. The retention of this fine craftsmanship is desirable and worthy of restoration through proper conservation techniques. The employment of very experienced craftpersons or carpenters experienced in restoration techniques may be necessary to conserve this level of fine craftwork and ensure its proper repair and retention of strength.

Prepare for the restoration of these elements by using original moulding profiles and photographs to develop shop drawings.

3.8 Exterior Paint

Painting is the most common form of maintenance and decoration work completed by property owners. The renewal of painted exterior surfaces on an eight to fifteen year period is generally accepted contingent upon environmental conditions.

Paint renewal should be considered only after a thorough inspection of the surface. Look for signs of mechanical wear, cracking, scaling, peeling, blistering, loss of gloss, soiling, chalking or mildew. With these conditions present prepare the surfaces properly. Realize that new paints can bond poorly to old paints if the surfaces are not prepared by sanding, scraping and the use of a good primer coat. Since paint adheres poorly to burnt wood, it is not advisable to use a blow torch for removal. Always take precautions when removing lead based paints. Lead fumes are toxic.



Wood siding must be kept weather tight. Regular cleaning and painting will be necessary to preserve this form of cladding.

Choose a colour scheme which is sympathetic to the structure and its design elements as well as the neighbourhood. There are many good sources of historic paint colour schemes for homes. Original paint colours may be exposed when removing old paint from historic buildings making it possible to match these earlier colours.

Original paint colours can be determined through paint analysis when carried out by a professional or an informed property owner. If no traces of the original paint exist, representative colours for the period can be determined from contemporary period trade magazines and catalogues.

When restoring a period colour scheme make matches with dry samples. Remember not to confuse a prime coat with finish colours. Also, older paints have a tendency to yellow and/or darken from the original colours.

3.9 Energy Conservation

The owners of older homes will encounter problems with recommended approaches to energy conservation because they often have been developed for new buildings or with new construction in mind.

Older heritage structures can be adversely affected by some of the measures or products used in the search for a better, more energy efficient structure. A very helpful booklet published by the Ontario Ministry of Culture and Communications titled, *Heritage Energy Conservation Guidelines* shows how to be respectful to the older building's architectural merits while upgrading the energy of efficiency and comfort of the structure.

Good energy conservation principles can be practiced in older buildings successfully when an appropriate approach is taken. First, the owner of a heritage building must accept that the building will never be as energy

efficient as a new structure. Second, it is important to understand the inherent energy conservation measures built into our older buildings and make use of them where they exist. Third, consider energy conservation measures which have less impact on the heritage features yet raise the comfort level, i.e. air sealing, weatherstripping and caulking, attic insulation and proper heating plant operation.

The above mentioned booklet presents an approach to energy conservation which includes:

- the completion of an architectural evaluation;
- a technical survey to gain an understanding of how your building works and the problems which exist; and
- how to undertake an energy audit to discover the efficiency of the structure before completing energy conservation measures.

One building element often considered for improved energy conservation efficiency is the window. Original wood windows should never be replaced with double glazed metal or metal clad wood windows. The payback period is often lengthy and cheap metal windows seldom contain the proper thermal breaks. Making older windows function properly through repair, including proper reputtying, frame and trim caulking, weatherstripping and proper painting, is considered preferable to replacement. The same considerations apply to original wooden doors and entrances. When replacing windows and doors choose good quality wood products. Vinyl clad windows should not be used as replacement units.

3.10 Religious and Institutional Structures

St. Mark's Anglican Church and the former Township Hall are important community buildings within the Barriefield heritage conservation district. These larger structures present a variety of conservation issues usually not encountered in residential properties.

Although much of the foregoing advice on conservation also applies to these buildings and structures, their larger size may make even basic tasks, such as inspection or painting, difficult and expensive projects. It is important therefore, to establish regular maintenance routines on a monthly, quarterly, semi annual, annual and five yearly basis or as required to maintain a sound state of repair.

Ongoing maintenance is vital to the conservation of churches and larger buildings. Negligence in this area may contribute to the development of serious problems in the future, accompanied by high financial costs. Accordingly, the following steps should be considered by the appropriate owners:

- establish a permanent building committee;
- obtain professional advice from a professional competent in the field of church conservation;
- identify the building's problems;
- establish and implement a plan of repairs and maintenance.

As a minimum action, full reports should be made every five years in order to revise and update the established maintenance program.

3.10 Religious and Institutional Structures

St. Mark's Anglican Church and the former Township Hall are important community buildings within the Barriefield heritage conservation district. These larger structures present a variety of conservation issues usually not encountered in residential properties.

Although much of the foregoing advice on conservation also applies to these buildings and structures, their larger size may make even basic tasks, such as inspection or painting, difficult and expensive projects. It is important therefore, to establish regular maintenance routines on a monthly, quarterly, semi annual, annual and five yearly basis or as required to maintain a sound state of repair.

Ongoing maintenance is vital to the conservation of churches and larger buildings. Negligence in this area may contribute to the development of serious problems in the future, accompanied by high financial costs. Accordingly, the following steps should be considered by the appropriate owners:

- establish a permanent building committee;
- obtain professional advice from a professional competent in the field of church conservation;
- identify the building's problems;
- establish and implement a plan of repairs and maintenance.

As a minimum action, full reports should be made every five years in order to revise and update the established maintenance program.

3.11 Archaeological Sites

The district's proximity to the Cataraqui River and the documented historical buildings that were once known to have existed suggest that the area has potential to reveal archaeological remains of past human activity. These heritage resources are fragile and non-renewable. Their location, protection and conservation require that only trained and licensed archaeologists may survey and carry out appropriate testing or excavation of such sites.

Due to the nature of these features it is always advisable to seek professional advice or assistance from a licensed archaeologist prior to approval of any major development, especially on previously undisturbed lands. Contact for further information may be made through the Heritage Branch of the Ontario Ministry of Culture and Communications, the Cataraqui Archaeological Research Foundation, and Queen's University Faculties of Anthropology, Art and Architectural History.

Appendix D List of plant material appropriate for the Village of Barriefield

BARRIEFIELD HERITAGE CONSERVATION DISTRICT

List of Plant Material Appropriate for the Village of Barriefield

TREES

Common Name

Botanical Name

Basswood	<i>Tilia americana</i>
Blue Beech	<i>Carpinus caroliniana</i>
Black Walnut	<i>Juglans nigra</i>
Black Locust	<i>Robinia pseudoacacia</i>
Sugar Maple	<i>Acer saccharum</i>
Silver Maple	<i>Acer saccharinum</i>
Mountain Ash	<i>Sorbus aucuparia</i>
Norway Spruce	<i>Picea abies</i>
White Spruce	<i>Picea glauca</i>
Horse Chestnut	<i>Aesculus hippocastanum</i>
Honey Locust	<i>Gleditsia triacanthos</i>
Scots Pine	<i>Pinus sylvestris</i>
White Cedar	<i>Thuja occidentalis</i>
Red Cedar	<i>Juniperus virginiana</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinkapin / Chinquapin Oak	<i>Quercus muehlenbergii</i>
Bitternut Hickory	<i>Carya cordiformis</i>
Shagbark Hickory	<i>Carya ovata</i>
Horsechestnut	<i>Aesculus hippocastanum</i>
Apple	<i>Malus domestica</i>
Crabapple	<i>Malus spp.</i>
Cherry	<i>Prunus spp.</i>
Pear	<i>Pyrus spp.</i>
Plum	<i>Prunus spp.</i>

SHRUBS

Common Name

Botanical Name

Persian Lilac	<i>Syringa x persica</i>
Common Lilac	<i>Syringa vulgaris</i>
Snowball	<i>Viburnum opulus</i>
Grape Holly	<i>Mahonia aquifolium</i>
Fragrant Currant	<i>Ribes odoratum</i>
Slender Deutzia	<i>Deutzia gracilis</i>
Red Osier Dogwood	<i>Cornus sericea</i>
Mock Orange	<i>Philadelphus spp.</i>
Privet	<i>Ligustrum spp.</i>

Japanese Quince
 Rose of Sharon
 Smoke Bush
 Snowberry
 Spindletree
 Vanhoutte Spirea
 Old Fashioned Weigela

Chaenomeles japonica
 Hibiscus syriacus
 Cotinus coggygria
 Symphoricarpos albus
 Euonymus europaeus
 Spiraea x vanhouttei
 Weigela florida

PERENNIALS

Common Name

Monkshood
 Anemone
 Campanula
 Bleeding Heart
 Buttercup
 Carnation
 Columbine
 Primroses
 English Daisy
 Michaelmas Daisy,
 Feverfew
 Foxglove
 Globe Flower
 Gas Plant
 Jacobs Ladder
 Larkspur
 Lily of the Valley
 Daylily
 Lobelia
 Lungwort
 Sweet Alyssum
 Violet
 Everlasting, Pea
 Peony
 Plantain Lily
 Phlox
 Speedwell
 Spiderwort
 Sweet William
 Coreopsis
 Wallflower
 Yarrow
 Yucca
 Christmas Rose

Botanical Name

Aconitum napelius
 Anemone spp.
 Campanula
 Dicentra spectabilis
 Ranunculus repens
 Dianthus sp.
 Aquilegia sp.
 Primula
 Bellis perennis
 Aster sp.
 Chrysanthemum parthenium
 Digitalis orientalis
 Trollius
 Dictamnus albus
 Polemonium caeruleum
 Delphinium
 Convallaria majalis
 Hemerocallis
 Lobelia
 Pulmonaria officinalis
 Alyssum sp.
 Viola cornuta
 Lathyrus latifolius
 Paeonia spp.
 Hosta sp.
 Phlox paniculata
 Veronica spp.
 Tradescantia virginiana
 Dianthus barbatus
 Coreopsis sp.
 Cheiranthus cheiri
 Achillea sp.
 Yucca spp.
 Helleborus niger

BULBS

Common NameBotanical Name

Anemone	Anemone coronaria
Crocus	Crocus
Daffodil (Jonquil)	Narcissus spp.
Dahlia	Dahlia spp.
Fritillaria	Fritillaria spp.
Gladiolus	Gladiolus spp.
Hyacinth	Hyacinthus
Grape Hyacinth	Muscari
Iris	Iris spp.
Madonna Lily	Lilium candidum
Martagon Lily	Lilium martagon
Snowdrop	Galanthus nivalis
Tuberose	Polianthes tuberosa
Tulip	Tulipa

VINESCommon NameBotanical Name

Scarlet Runner Bean	Phaseolus coccineus
Bittersweet	Celastris scandens
Clematis	Clematis sp.
Honeysuckle	Lonicera spp.
Morning Glory	Ipomoea purpurea
Sweet Pea	Lathyrus odorata
Trumpet Creeper	Campsis radicans
Dutchman's Pipe	Aristolochia durior

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FLOWER SEEDS

(ADVERTISED IN THE KINGSTON NEWS, 1845)

Adonis acativalis or vernal	Anaranthus - tricolor
Balsam - fine double or Lady's Slipper	Ballon Vine
Bellflower	Candytuft - White Rocket
Catchfly - Labels White	- Purple
- Crimson	- Two colored
Coxcomb - Great Crimson Velvel	Campion - Rose
Columbina - Double purple	Convolvulus - Major
Cassia - Sensitive	- Minor Tricolor
China Asters - mixed	Coreopsis - Tinctoria
Cypress Vine - Crimson	- Splendor
Adonis or pheasant eye	Centaurea - Large Blue American
Hollyhock - double crimson	Columbian - Pink
- double yellow	Forget-Me-Not
Honesty or Satin flower	Gypsophilia elegans
Jacob's ladder	Hyacinth
Lavatera - red	Ice Plant - Red
Lupin - small Blue, yellow	Larkspur - basal branching
Marvel of Peru - Scarlet sweet scented	Love Lies Bleeding - Crimson, Buff
Morning Glory - Azure, mixed	Marigold - African
Monkey Flower - Monks hand	Mignonette - Sweet scented
Poppy - Double white, mixed	Must Plant
Pink - Carnation	Nastorium - Dwarf, Large flowering
- Chinese Imperial	Prince's Feather
- Maiden	Primrose - rose colored
Primrose - Evening Blue	- night swelling
Rocket - Sweet	Pinke - mixed
Scabiosa - sweet	Rose Campion
Sweet Peas - mixed colors	Silene - Rubella
Snapdragon - scarlet	Sweet Sultan - purple
Stock Gilliflower - scarlet, 10 weeks	Sweet William - mixed colors
- purple, 10 weeks	Venus' Looking Glass
Wallflower - Yellow	Zinnia elegans
- Red	

Researched and compiled for Barrielfield Rock Garden Committee By:

--Fred Williams
 Superintendent of Parks
 City of Kingston

___ With kind assistance Bellvue House Kingston