



**City of Kingston  
Report to Committee of Adjustment  
Report Number COA-22-069**

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**To:** Chair and Members of the Committee of Adjustment  
**From:** Annemarie Eusebio, Intermediate Planner  
**Date of Meeting:** October 17, 2022  
**Application for:** Minor Variance  
**File Number:** D13-054-2022  
**Address:** 2 Rudd Avenue  
**Owner:** Christopher Lutes and Jessica Brooks  
**Applicant:** Christopher Lutes and Jessica Brooks

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**Council Strategic Plan Alignment:**

Theme: Regulatory & compliance

Goal: 2.3 Implement tools and incentives to accelerate construction following planning approvals.

**Executive Summary:**

This report provides a recommendation to the Committee of Adjustment regarding an application for minor variances for the property located at 2 Rudd Avenue. The site is a corner lot which is located along Rudd Avenue and Carpenter Avenue. A new two-storey single-family dwelling was constructed on the subject property in 2020. A single-family dwelling and detached garage previously existed on the property. The applicant is proposing to construct a one-storey attached garage onto existing dwelling. The total area of the garage will be 49.4 square metres and access to the garage will be obtained from Carpenter Avenue.

The subject property is located within the Rural Lands designated within the Official Plan. Under Zoning By-Law 2022-62, the subject property is located within a Rural Residential 'RUR' Zone. To facilitate the construction of the garage, a minor variance will be required to reduce the minimum rear setback from 7.5 metres to 3.77 metres. A minor variance is also required to reduce the minimum exterior setback from 6.1 metres to 1.5 metres.

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The requested minor variances are consistent with the general intent and purpose of the City of Kingston Official Plan and Zoning By-Law 2022-62. The requested minor variances are desirable for the appropriate development or use of the land, building or structure and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

**Recommendation:**

**That** minor variance application, File Number D13-054-2022, for the property located at 2 Rudd Avenue to construct an attached garage onto the existing single-family dwelling, be approved, as described below:

**Variances – Zoning By-Law 2022-62**

**Variance Number 1: Minimum Rear Setback**

By-Law Number 2022-62:Table 8.4.1, Zoning Provision 5

Requirement: 7.5 metres

Proposed: 3.77 metres

Variance Requested: 3.73 metres

**Variance Number 2: Minimum Exterior Setback**

By-Law Number 2022-62:Table 8.4.1, Zoning Provision 6

Requirement: 6.1 metres

Proposed: 1.5 metres

Variance Requested: 4.6 metres

**That** approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-22-069.

**Authorizing Signatures:**

ORIGINAL SIGNED BY PLANNER

\_\_\_\_\_  
Annemarie Eusebio, Intermediate  
Planner

**In Consultation with the following Management of the Community Services Group:**

Tim Park, Director, Planning Services  
James Bar, Manager, Development Approvals

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**Options/Discussion:**

On August 24, 2022, a minor variance application was submitted by the owners, Christopher Lutes and Jessica Brooks, with respect to the property located at 2 Rudd Avenue. The site is a corner lot which is located along Rudd Avenue and Carpenter Avenue. A two-storey single-family dwelling was constructed on the subject property in 2020. A single-family dwelling and detached garage previously existed on the property. The applicant is proposing to construct a one storey attached garage onto existing dwelling. The total area of the garage will be 49.4 square metres and access to the garage will be obtained from Carpenter Avenue.

Under Zoning By-Law 2022-62, the subject property is located within a Rural Residential 'RUR' Zone. To facilitate the construction of the garage, a minor variance will be required to reduce the minimum rear setback from 7.5 metres to 3.77 metres. A minor variance is also required to reduce the minimum exterior setback from 6.1 metres to 1.5 metres.

In support of the application, the applicant has submitted the following:

- Site Plan, Floor Plan and Elevation Drawings (Exhibit F)

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

**Site Characteristics**

The subject property is located at 2 Rudd Avenue (Exhibit B – Key Map) and has an area of approximately 830 square metres. The site is currently developed with a two-storey single family dwelling. The subject property is designated 'Rural Lands' in the Official Plan (Exhibit D – Official Plan Map). The goal of the Rural Lands designation is to protect the rural community by balancing the environmental, resource protection, community and economic objectives of land use on Rural Lands, and to permit a range and scale of uses that help to promote the long-term growth and viability of the rural community. The site is located within the Rural Residential 'RUR' Zone in Zoning By-Law 2022-62 (Exhibit E – New Zoning By-Law Map).

The subject property is located within the St. Lawrence North Neighbourhood (Exhibit H- Neighbourhood Context Map). The surrounding area is an established rural residential community consisting mainly of single detached dwellings. The St. Lawrence River is located to the east of the property.

**Application**

The review of an application for minor variance(s) is not a simple mathematical calculation, but rather a detailed assessment of whether the variance(s) requested, both separately and together, meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

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## Provincial Policy Statement

In addition to the four tests of a minor variance detailed above, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Policy Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

### 1) The general intent and purpose of the Official Plan are maintained

The subject property is designated Rural Lands in the City of Kingston Official Plan.

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan. The following provides these nine requirements and an assessment of how the proposal is consistent with each.

1. The proposed development meets the intent of Section 2 Strategic Policy Direction, and all other applicable policies of this Plan;

The proposed development will result in a development that is similar in scale, massing and height of existing residential buildings along Rudd Avenue. The proposal is compatible with the surrounding residential uses and will not result in significant impacts or changes to the immediate area. There will be no impact on built and natural resources.

2. The proposed development will be compatible with surrounding uses, buildings or structures and development standards associated with adjacent properties, and if necessary, incorporate means of alleviating adverse effects on abutting land uses as recommended in Section 2.7 of this Plan;

The proposed garage will be located approximately 14.5 metres from the front lot line along Rudd Avenue. There are no existing dwellings that front onto Carpenter Avenue. Legal staff have confirmed that Carpenter Avenue is a public road. There will be no significant visual impacts to the existing streetscape. The proposed development will be compatible with existing residential development along Rudd Avenue in terms of scale, style and massing. The proposed garage will not negatively impact the rural character and/or ecological integrity of the immediate area.

The proposed garage addition will be located approximately 20 metres from the neighbouring dwelling located to the south of the subject property (4 Rudd Avenue) and approximately 41 metres away from the existing dwelling located west of the site (1 Rudd Avenue). There are existing mature trees along Carpenter Avenue which will provide visual screening for the residential property west of the subject site. It is anticipated that there will be no shadowing impacts, visual intrusion or privacy issues. The proposal will not create adverse impacts on surrounding residential properties.

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The proposed application meets the intent and purpose of Section 2.7 by providing a modest form of redevelopment in a manner that is compatible with the established built form and context of the rural residential area.

3. The ability of the site to function in an appropriate manner in terms of access, parking for vehicles and bicycles or any other matter and means of improving such function including considerations for universal accessibility;

Vehicular access into the site will be obtained from Carpenter Avenue. The location of the attached garage will be located close to the rear of the property and will provide for safe access. There will be no significant impact to the function of the site in terms of parking, access routes or universal accessibility.

4. The conformity of the proposal to any applicable urban design policies endorsed by Council, particularly if the site includes or could impact a built heritage resource or is within a Heritage District;

The property is not designated under Part IV or Part V of the Ontario *Heritage Act*, nor is it adjacent to any designated properties. The proposed development is appropriate for the site and purpose.

5. If the site is designated under the *Ontario Heritage Act*, the application shall be reviewed by Heritage Kingston for approval. If the property is adjacent to a designated property under the *Ontario Heritage Act* or shown as a Heritage Area feature, or is affected by the protected views shown on Schedule 9 of this Plan, then a heritage impact statement may be required to assist staff to determine if the resulting development is desirable;

The subject property is not listed or designated under the *Ontario Heritage Act*, nor is it adjacent to any designated properties. A Heritage Impact Statement is not required.

6. The resulting development has adequate municipal water and sewage services within the Urban Boundary, or is capable of providing individual on-site water and sewage services outside the Urban Boundary;

The subject lot is located outside of the Urban Boundary and is developed with sufficient private services.

7. Whether the application and the cumulative impact of the proposed variances would be more appropriately addressed by a zoning amendment to the applicable zoning by-law;

The proposed variances are considered minor and the development is consistent with the existing built form along Rudd Avenue. Therefore a zoning by-law amendment is not required.

8. The Committee of Adjustment may attach such conditions as it deems appropriate to the approval of the application for a minor variance including any reasonable requirements, recommendations of City departments, or the submission of studies as listed in Section 9.12 of this Plan that may be required to properly evaluate the application;

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The Committee of Adjustment may require additional conditions as it deems appropriate to the approval of the application. There are several recommended conditions of approval associated with the recommendation, as outlined in Exhibit A.

- 9. The degree to which such approval may set an undesirable precedent for the immediate area.

The proposal is in keeping and compatible with the existing development in the surrounding area and will not set an undesirable precedent.

The proposal meets the intent of the Official Plan, as the proposed garage addition will not result in any negative impacts to adjacent properties or to the neighbourhood.

**2) The general intent and purpose of the zoning by-law are maintained**

Under Zoning By-Law 2022-62, the subject property is located within a Rural Residential 'RUR' zone, which permits single family dwellings.

The proposal requires variances to the following sections:

**Variances – Zoning By-Law 2022-62**

**Variance Number 1: Minimum Rear Setback**

By-Law Number 2022-62:Table 8.4.1, Zoning Provision 5

Requirement: 7.5 metres

Proposed: 3.77 metres

Variance Requested: 3.73 metres

**Variance Number 2: Minimum Exterior Setback**

By-Law Number 2022-62:Table 8.4.1, Zoning Provision 6

Requirement: 6.1 metres

Proposed: 1.5 metres

Variance Requested: 4.6 metres

**Minimum Rear Setback**

Under Zoning By-Law 2022-62, the rear setback is defined as the setback between the rear lot line and the nearest part of any building on the lot. Under the 'Rural Residential 'RUR' Zone, the required minimum rear setback is 7.5 metres. The proposed garage addition will result in a minimum rear setback of 3.77 metres and as such, a minor variance is required. The proposed garage addition will not result in the overdevelopment of the lot. The proposed development will maintain adequate landscaped amenity area and will result in an appropriate separation between buildings along Rudd Avenue.

**Minimum Exterior Setback**

Under Zoning By-Law 2022-62, the exterior setback is defined as the setback between the exterior lot line and the nearest part of any building on the lot. The Rural Residential 'RUR'

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zone indicates that the required minimum exterior setback is 6.1 metres. The proposed garage addition will result in an exterior setback of 1.5 metres and as such, a minor variance is required. The proposed garage addition will be located approximately 20 metres from the neighbouring dwelling located to the south of the subject property (4 Rudd Avenue) and approximately 41 metres away from the existing dwelling located west of the site (1 Rudd Avenue). It is anticipated that the proposed development will not result in the loss of privacy from intrusive overlook onto neighbouring properties. The proposed reduction in the minimum exterior setback will result in a development that is compatible in terms of scale and massing with the surrounding area and the existing street

The proposal conforms to all other zone regulations of both zoning by-laws.

**3) The variance is minor in nature**

The variance is considered minor as there will be no negative impacts on abutting properties or residential and/or uses or structures. The use of the property as a two-storey single-family dwelling will remain unchanged. The requested variances will result in a development that is consistent with the existing built form of rural residential development along Rudd Avenue. There will be no impacts to the existing streetscape.

**4) The variance is desirable for the appropriate development or use of the land, building or structure**

The use of the property as a single-family dwelling and garage is consistent with the Rural Lands designation in the Official Plan. The proposed attached garage is suitable in scale, massing and density in relation to existing built form along Rudd Avenue. The proposed garage will meet the functional needs for the residents of the property as safe access and secure parking will be provided. The proposed development represents a modest form of development. The proposal is appropriate and compatible with the surrounding residential uses and will not result in significant impacts or changes to the immediate area and surrounding rural area.

The variances are desirable and appropriate use of the land.

**Technical Review: Circulated Departments and Agencies**

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Building Services | <input checked="" type="checkbox"/> Engineering Department | <input checked="" type="checkbox"/> Heritage (Planning Services) |
| <input type="checkbox"/> Finance                      | <input checked="" type="checkbox"/> Utilities Kingston     | <input type="checkbox"/> Real Estate & Environmental Initiatives |
| <input checked="" type="checkbox"/> Fire & Rescue     | <input type="checkbox"/> Kingston Hydro                    | <input checked="" type="checkbox"/> City’s Environment Division  |
| <input type="checkbox"/> Solid Waste                  | <input checked="" type="checkbox"/> Parks Development      | <input type="checkbox"/> Canadian National Railways              |
| <input type="checkbox"/> Housing                      | <input checked="" type="checkbox"/> District Councillor    | <input type="checkbox"/> Ministry of Transportation              |
| <input type="checkbox"/> KEDCO                        | <input type="checkbox"/> Municipal Drainage                | <input type="checkbox"/> Parks of the St. Lawrence               |
| <input checked="" type="checkbox"/> CRCA              | <input type="checkbox"/> KFL&A Health Unit                 | <input type="checkbox"/> Trans Northern Pipelines                |
| <input type="checkbox"/> Parks Canada                 | <input type="checkbox"/> Eastern Ontario Power             | <input type="checkbox"/> CFB Kingston                            |
| <input type="checkbox"/> Hydro One                    | <input type="checkbox"/> Enbridge Pipelines                | <input type="checkbox"/> TransCanada Pipelines                   |

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- Building Services
- Engineering Department
- Heritage (Planning Services)
- Kingston Airport

**Technical Comments**

This application was circulated to external agencies and internal departments for their review and comment. Cataraqui Region Conservation Authority (CRCA) staff advised that the property and garage location are within 120 metres of the nearby Madoma Marsh Provincially Significant Wetland but are separated from the wetland and St. Lawrence River by existing residential development and a public road (Rudd Avenue). The garage is proposed in a location where adverse impacts to the wetland, water and other natural heritage features will be avoided. A CRCA permit will be required, which has been included as a condition of approval as indicated in Exhibit A of this report.

Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

**Public Comments**

At the time this report was finalized, no public comments have been received. Any public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

**Previous or Concurrent Applications**

There are no concurrent or relevant historic planning applications on the subject property.

**Conclusion**

The requested variances maintain the general intent and purpose of both the City of Kingston Official Plan and Zoning By-Law 2022-62. The proposal is desirable for the appropriate development or use of the land, building or structure and the requested variances are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and the application is being recommended for approval, subject to the proposed conditions.

Approval of this application will allow for the construction of a one-storey garage addition onto existing single-family dwelling on the subject property.

**Existing Policy/By-Law:**

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province’s and the City’s vision of development. The following documents were assessed:



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**Provincial**

Provincial Policy Statement, 2020

**Municipal**

City of Kingston Official Plan

Zoning By-Law Number 2022-62

**Notice Provisions:**

A Committee of Adjustment Meeting is going to be held respecting this application on October 17, 2022. Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 14 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard.

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

**Accessibility Considerations:**

None

**Financial Considerations:**

None

**Contacts:**

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Annemarie Eusebio, Intermediate Planner, 613-546-4291 extension 3183

**Other City of Kingston Staff Consulted:**

None

**Exhibits Attached:**

Exhibit A Recommended Conditions

Exhibit B Key Map

Exhibit C Public Notification Map

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- Exhibit D Official Plan Map
- Exhibit E New Zoning By-Law 2022-62
- Exhibit F Site Plan, Floor Plan, Elevations
- Exhibit G Site Photos
- Exhibit H Neighbourhood Context Map (2021)

## **Recommended Conditions**

**Application for minor variance and permission, File Number D13-054-2022**

**Approval of the foregoing application shall be subject to the following recommended conditions:**

### **1. Limitation**

That the approved minor variance applies only to the reduction in the required exterior side yard width and reduction in the rear yard depth as shown on the approved drawings attached to the notice of decision.

### **2. No Adverse Impacts**

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

### **3. Building Permit Application Requirements**

The owner/applicant shall provide to the Building Services a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings, when they make application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

### **4. Standard Archaeological Condition**

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132) and the City of Kingston's Planning Services Department (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Registrar of Cemeteries at the Ministry of Government and Consumer Services (416-326-8404), the Program and Services Branch of the Ministry of Heritage, Sport, Tourism and Culture Industries (416-314-7132), and the City of Kingston's Planning Services Department (613-546-4291, extension 3180) must be immediately contacted


## **5. Cataraqui Region Conservation Authority**

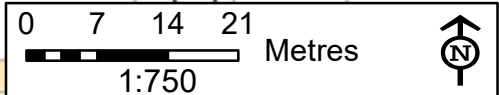
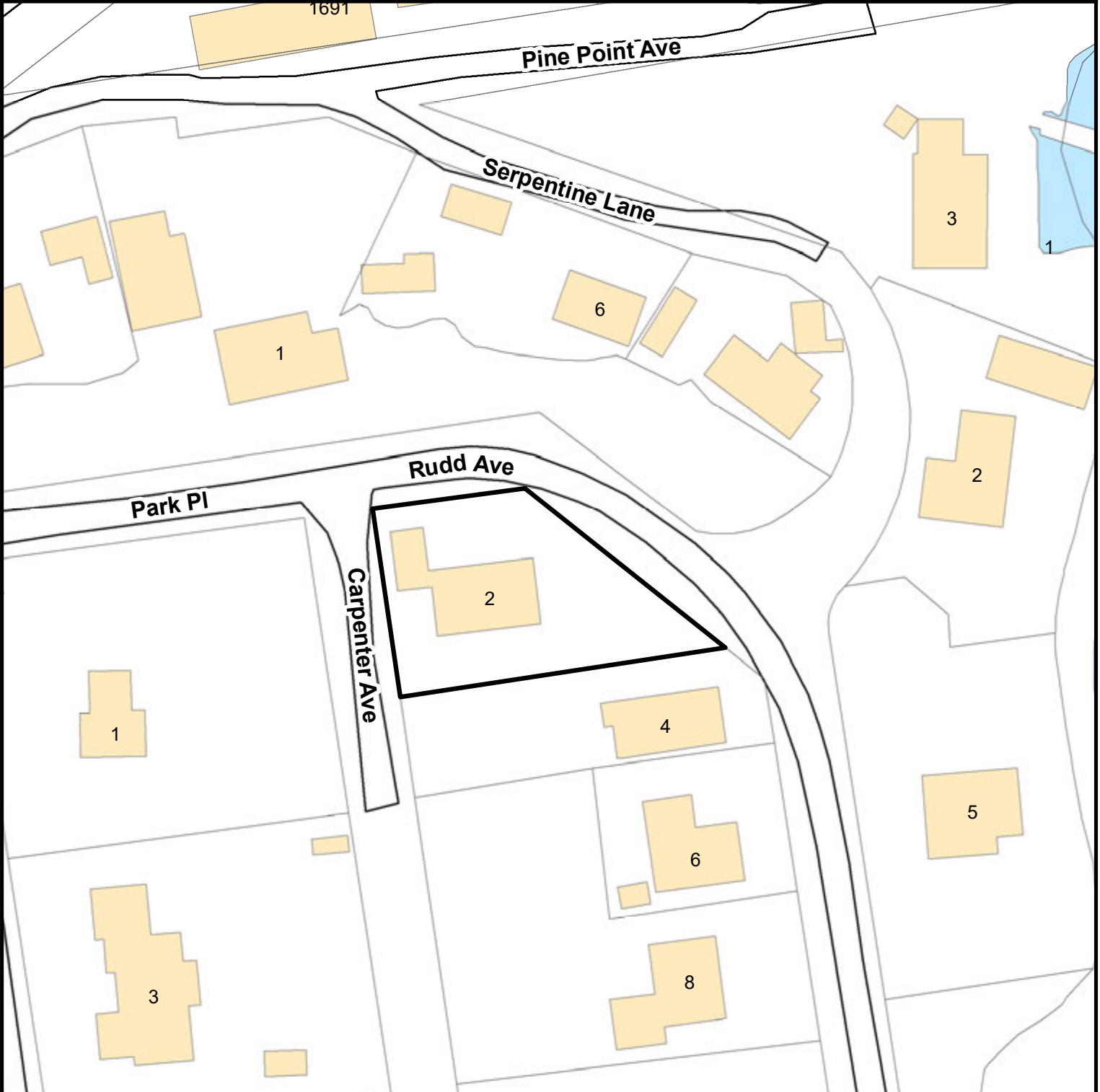
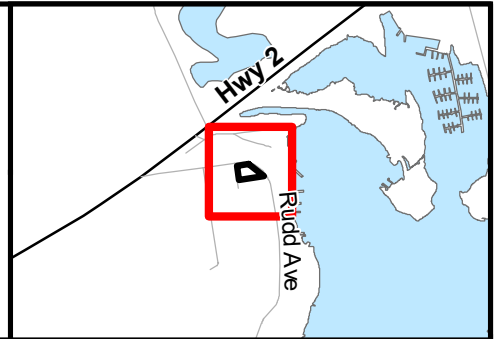
The owner/applicant is advised that all development and site alteration proposed within 120 metres of the lake is subject to permission under Ontario Regulation 148/06: Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses. This will apply to any development, construction, any associated grading, placement of fill or other site alteration. The application package can be downloaded from <https://crca.ca/wp-content/uploads/PDFs/Planning-Policy/2018-148-06-ApplicationPackage.pdf>.



# Committee of Adjustment Key Map

Address: 2 Rudd Avenue  
File Number: D13-054-2022

 Lands Subject to Minor Variance







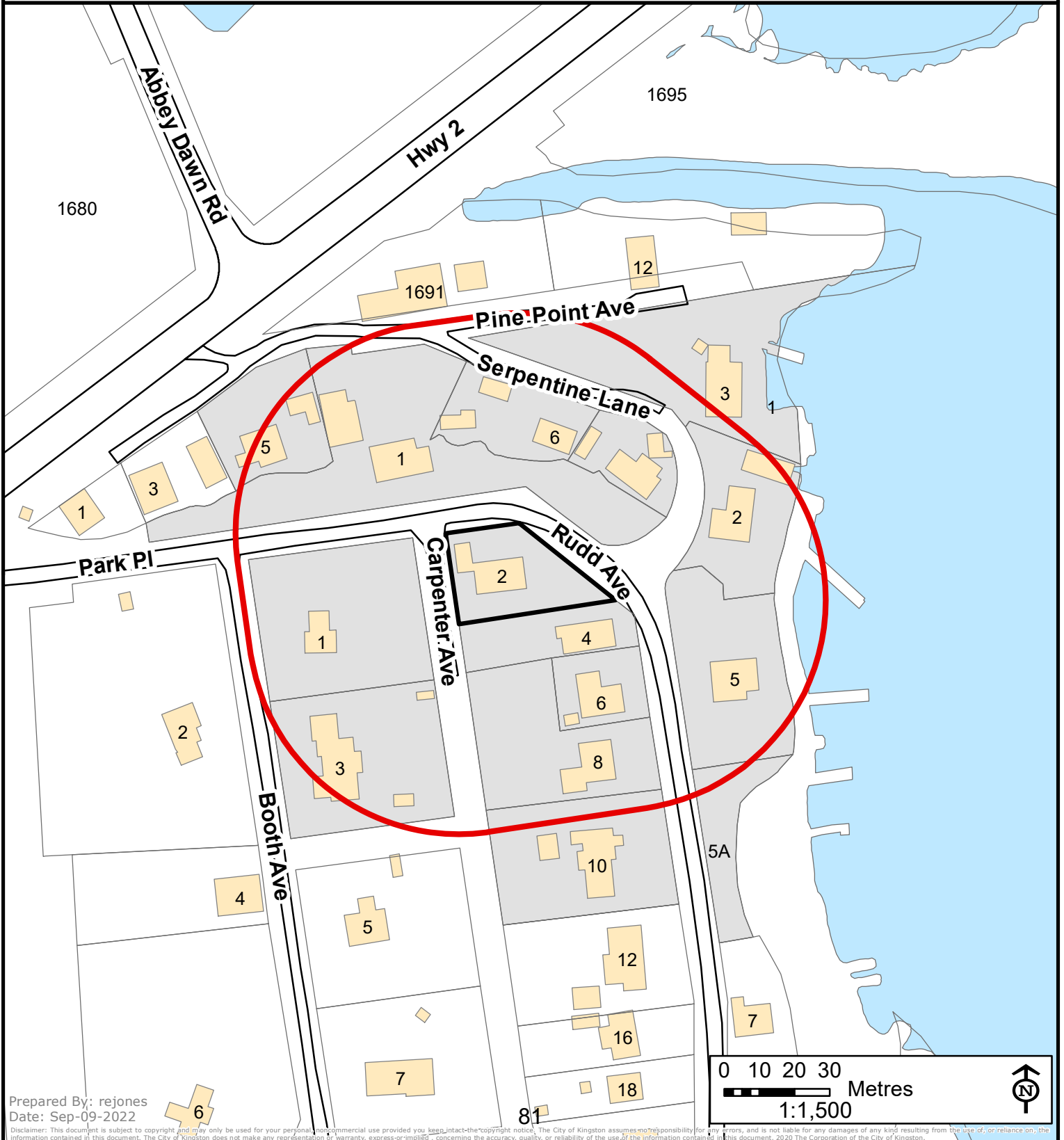
Prepared By: rejonas  
Date: Sep-09-2022

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Committee of Adjustment  
**Public Notice Notification Map**

Address: 2 Rudd Avenue  
 File Number: D13-054-2022

-  60m Public Notification Boundary
-  Subject Lands
-  Property Boundaries
-  14 Properties in Receipt of Notice (MPAC)

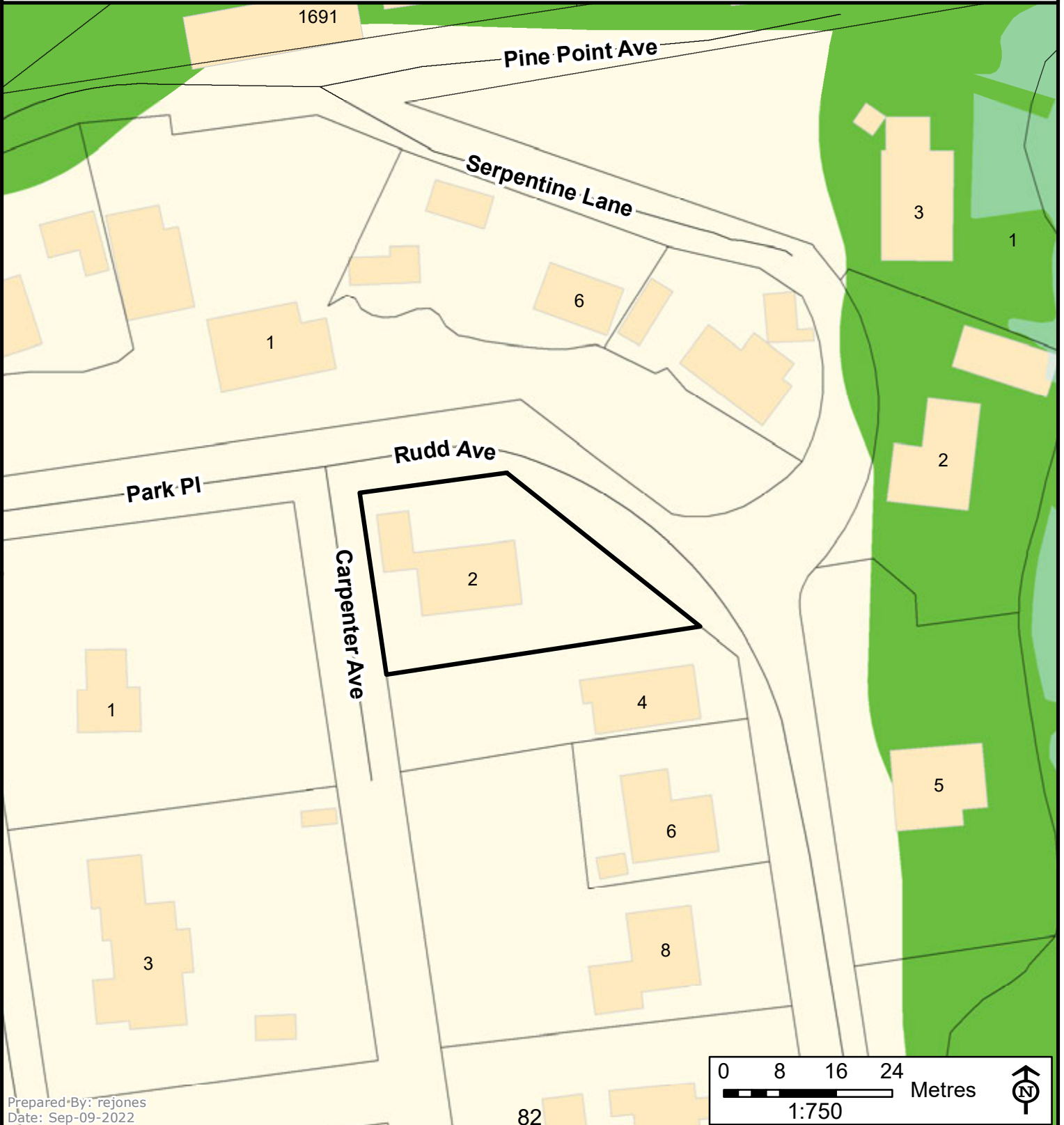




Committee of Adjustment  
**Official Plan, Existing Land Use**

Address: 2 Rudd Avenue  
File Number: D13-054-2022

- Subject Lands
- ENVIRONMENTAL PROTECTION AREA
- RURAL



Prepared By: rejonas  
Date: Sep-09-2022

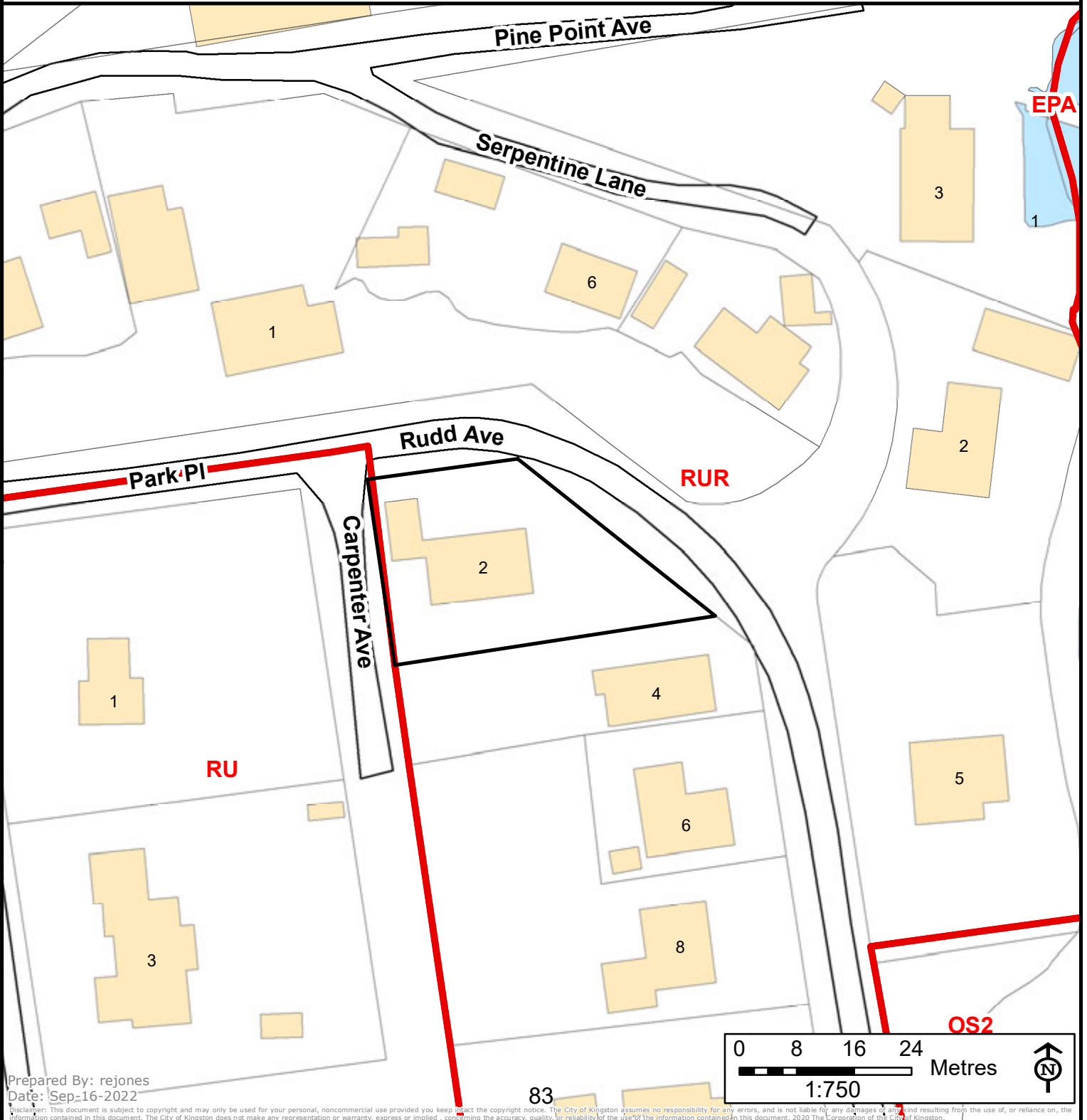
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# Planning Committee Reference Kingston Zoning Bylaw

Address: 2 Rudd Avenue  
File Number: D13-054-2022

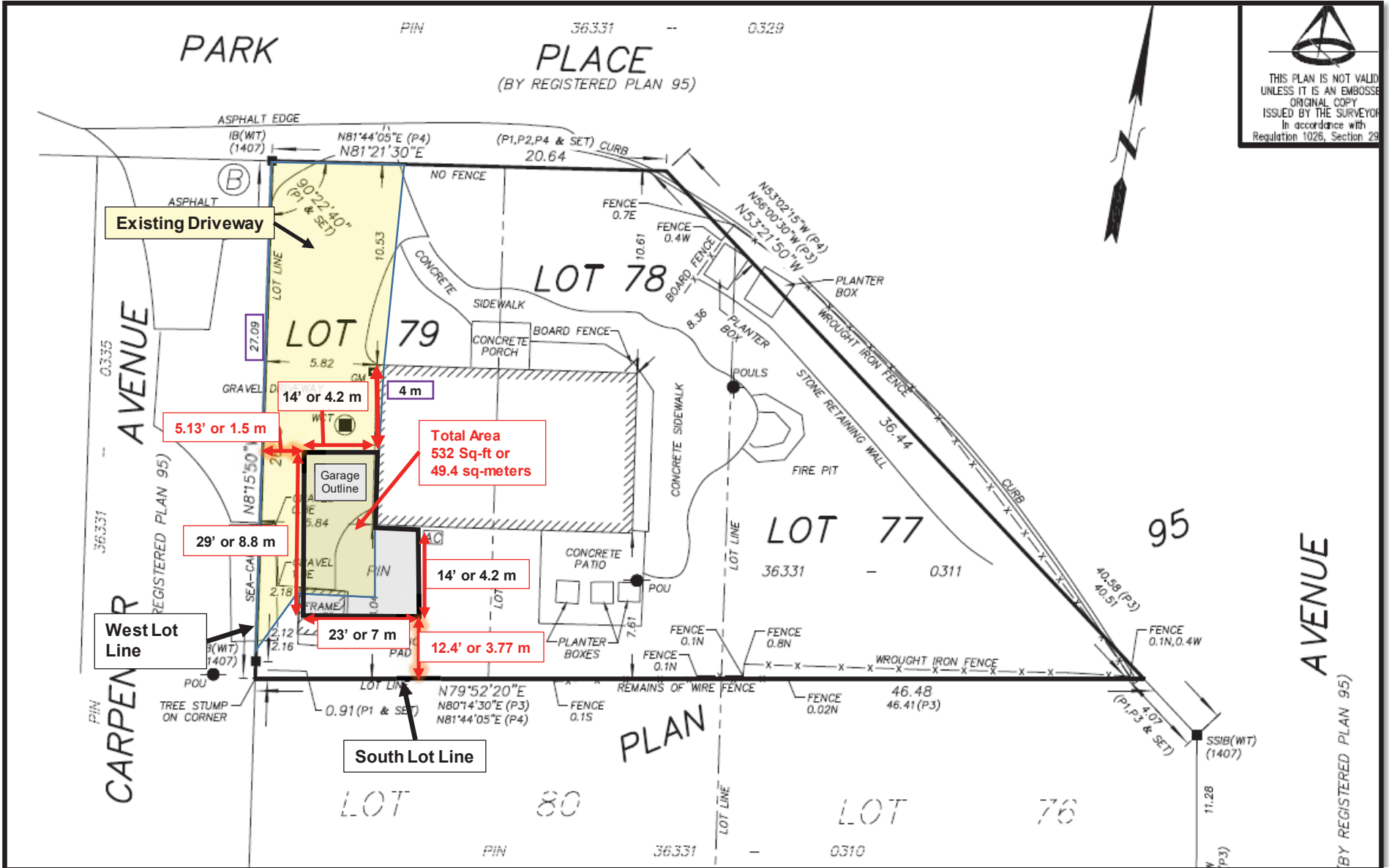
- Subject Lands
- Schedule 1 Zoning Map
- Zone



Prepared By: rejonas  
Date: Sep-16-2022

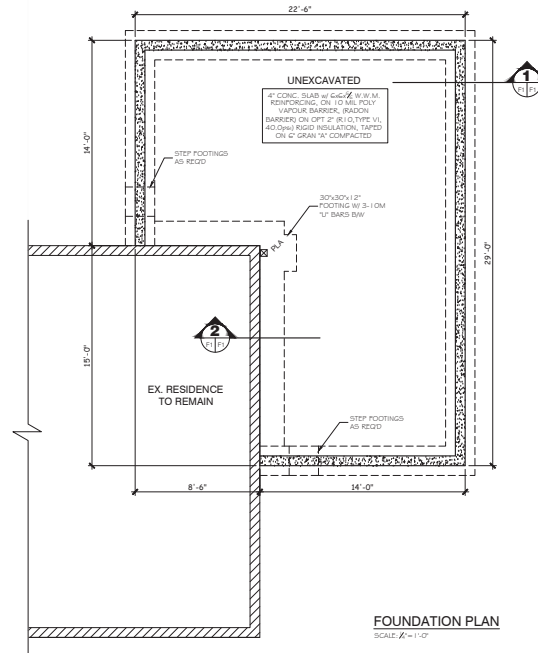
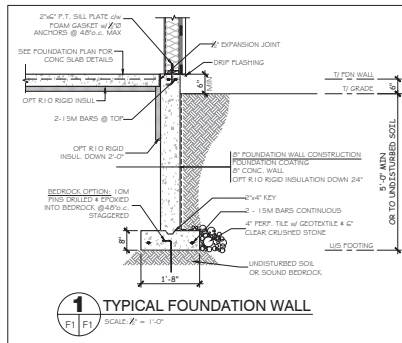
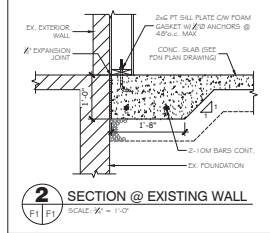
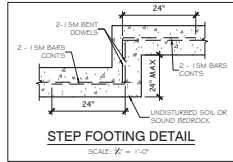
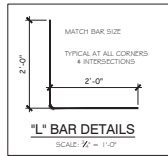
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**GENERAL NOTES:**

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- WHERE NOT NOTED ON DRAWINGS, SPACING ON FRAMING MEMBERS TO BE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- ALL WOOD FRAMING LUMBER SHALL BE GRADE-STAMPED AS SPF No.2 OR BETTER WITH A MOISTURE CONTENT OF 19% OR LESS AT TIME OF CONSTRUCTION.
- ALL EXTERIOR WALL UNITS TO BE 2 - 2 1/4" O" UNLESS OTHERWISE NOTED ON PLANS.
- SELECTED LOCATION CLIMATIC DESIGN DATA BASED ON KINGSTON, ONTARIO.
- ALL FOOTINGS TO HAVE MIN. 5'-0" OF COMPACTED FILL COVER AND BEAR ON UNDISTURBED SOIL OR SOUND BEDROCK, U.N.O.
- CONCRETE FOR FOOTINGS TO BE 20MPa @ 28 DAYS w/ a MAX. SLUMP OF 3".
- CONCRETE FOR FOUNDATION WALLS & FLOOR SLAB TO BE 25MPa @ 28 DAYS w/ a MAX. SLUMP OF 3".
- CONCRETE FOR GARAGE SLAB & EXTERIOR CONCRETE TO BE 30MPa @ 28 DAYS w/ a MAX SLUMP OF 3". AIR CONTENT 0% ± 1%.
- FOOTINGS SHALL BE PLACED ON STABLE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF 75KPa (1750psf) OR GREATER.
- FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE.
- THE WINDOW AND DOOR ROUGH STUD OPENING SIZES INDICATED ARE ALL GENERIC DIMENSIONS AND DO NOT REFLECT A SPECIFIC MANUFACTURER'S ROUGH OPENINGS.
- CONSULT WINDOW AND/OR DOOR SUPPLIER FOR THE REQUIRED ROUGH OPENING SIZES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE HVAC, MECHANICAL & ELECTRICAL DESIGN SPECIFICATIONS.
- ROOF VENTS SHOWN ARE FOR APPROX. LAYOUT ONLY. FINAL ROOF VENT PLACEMENT TO BE BASED ON VENT SIZE & CFM PERFORMANCE.
- MECHANICAL & ELECTRICAL SERVICES SHALL BE LOCATION ON SITE BY OTHERS. CLEARANCES & INSTALLATION SHALL BE AS PER THE ONTARIO BUILDING CODE.
- ALL EXPOSED EXTERIOR STRUCTURAL WOOD ELEMENTS SHALL BE PRESERVE TREATED WITH A PRESERVATIVE TO RESIST DECAY. FIELD CUTS IN PRESERVE TREATED LUMBER SHALL BE PROTECTED WITH A FIELD USE PRESERVATIVE, BRUSHED OR DIPPED ON EXPOSED AREAS.
- ALL FASTENERS USED IN CONTACT WITH PRESERVE TREATED WOOD SHALL BE EITHER HOT DIPPED GALVANIZED, STAINLESS STEEL OR MANUFACTURER'S EQUIVALENT.
- FLUWOOD ROOF SHEATHING SHALL BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGLES TO THE ROOF FRAMING. JOINTS PERPENDICULAR TO ROOF RIDGE SHALL BE STAGGERED WITH EDGES SUPPORTED ON TRUSSES. EDGES PARALLEL TO ROOF RIDGE SHALL BE SUPPORTED BY METAL "W" CLIPS IN EACH TRUSS SPACE.
- PROVIDE SIMPSON STRONG-TIE FACE MOUNT JOIST HANGERS FOR DIMENSIONAL LUMBER OF SINGLE, DOUBLE & TRIPLE FLY FLUSH JOINTS.
- ALL DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE OF EXTERIOR SHEATHING.
- ELECTRICAL LAYOUT IS FOR PLANNING PURPOSES ONLY. CONTRACTOR TO CONFIRM ELECTRICAL DETAILS.
- UTILITY & EQUIPMENT LOCATIONS ARE FOR PLANNING PURPOSES ONLY. FINAL LAYOUT SHALL BE SUBJECT TO MECHANICAL CONTRACTOR.
- ALL FINISH SPECIFICATIONS TO BE APPROVED BY OWNER.
- ALL INTERIOR LOAD BEARING WALLS (WHERE SHOWN AND EXTERIOR WALLS TO BE 2" x 4" STUDS, UNLESS NOTED OTHERWISE).
- ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2" x 4" STUDS, UNLESS NOTED OTHERWISE.
- PROVIDE A SINGLE JACK STUD FOR EACH SIDE OF ALL WINDOW & DOOR OPENINGS, UNLESS NOTED OTHERWISE.
- STUDS, COLUMNS AND KING STUDS ARE ASSUMED TO BE LATERALLY BRACED TO PREVENT BUCKLING IN THE NARROW DIMENSION.
- NAILING RECOMMENDATIONS FOR BUILT-UP MEMBERS:  
2 FLY - FOR 1/2" x 2" PROVIDE MIN. 2 ROWS OF 1/2" DIA PHENOLIC NAILS AT 9" o.c., STAGGERED HALVED FROM ONE SIDE.  
3 FLY - FOR 1/2" x 2" PROVIDE MIN. 3 ROWS OF 1/2" DIA PHENOLIC NAILS AT 9" o.c., STAGGERED HALVED FROM BOTH SIDES.
- PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENINGS w/ SEALANT.
- PROVIDE SELF ADHERING ICE & WATERSHIELD MEMBRANE AT DAVES AND VALLEYS.
- ROOF FLASHING INSTALL AT ALL VALLEYS, WALL INTERSECTIONS AND JUNCTIONS WHERE WATER COULD PENETRATE THE ROOF DECK.
- VENTING TO BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING FOR CROSS VENTILATION, WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE ROOF SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE ROOF SPACE.
- ATTICH OF ROOF SPACES TO BE VENTED A MINIMUM OF 10% OF INSULATED CEILING AREA. REQUIRED VENTS ARE PERMITTED TO BE ROOF TYPE, EAVE TYPE, GABLE END TYPE OR ANY COMBINATION AND SHALL BE UNIFORMLY DISTRIBUTED WITH NOT LESS THAN 25% OF THE REQUIRED OPENING TO BE LOCATED AT THE TOP OF THE SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS TO BE LOCATED AT THE TOP OF THE SPACE.
- A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A HOUSE SHALL BE TIGHT FITTING AND WEATHER-STRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FLAMES. THIS DOOR WAY SHALL BE FITTED WITH A SELF CLOSING DEVICE SHALL NOT LOCATED WITHIN A ROOM INTENDED FOR SLEEPING.
- WALL AND CEILING ASSEMBLIES THAT SEPARATE CONDITIONED SPACES FROM UNCONDITIONED SPACES OR FROM GROUND SHALL HAVE A CONTINUOUS BARRIER TO SEPARATE FROM AIR LEAKAGE. THE CONTINUITY OF THE AIR BARRIER SHALL EXTEND TO THE GROUND.
- POLYETHYLENE SHEET IS USED TO PROVIDE AIR-TIGHTNESS IN THE AIR BARRIER SYSTEM, IT SHALL CONFORM TO CAN/CSG-5.1.34M, "VAPOUR BARRIER, POLYETHYLENE SHEET FOR USE IN BUILDING CONSTRUCTION."
- WHERE THE AIR BARRIER SYSTEM CONSISTS OF AN AIR PERMEABLE PANEL TYPE MATERIAL, ALL JOINTS SHALL BE SEALED AND LAPPED A MINIMUM OF 100mm TO MINIMIZE AIR LEAKAGE.
- WHERE AN INTERIOR FLOOR PENETRATES THROUGH AN EXTERIOR WALL OR EXTENDS TO BECOME AN EXTERIOR FLOOR, CONTINUITY OF THE AIR BARRIER SHALL BE MAINTAINED FROM THE ADJUTING WALLS ACROSS THE FLOOR ASSEMBLY.
- PENETRATIONS THROUGH THE AIR BARRIER SYSTEM SHALL BE SEALED WITH COMPATIBLE MATERIAL SUCH AS TAPE OR CALLUING TO MAINTAIN CONTINUITY.
- AN ACCESS PATCH INSTALLED THROUGH AN ASSEMBLY CONSTRUCTED WITH AN AIR BARRIER SYSTEM SHALL BE WEATHER STRIPPED AROUND THE PERIMETER TO MINIMIZE AIR LEAKAGE.
- WHERE THE FOUNDATION WALL AND FLOOR SLAB ARE USED AS AN AIR BARRIER, THEY SHALL BE CALLED AT ALL JOINTS, INTERSECTIONS AND PENETRATIONS.



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

No.	By	Date	Revisions
1	AGP	2023-05-20	FOR REVIEW
2	AGP	2023-07-02	FOR PERMIT

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DRAWINGS ARE NOT TO BE SCALED



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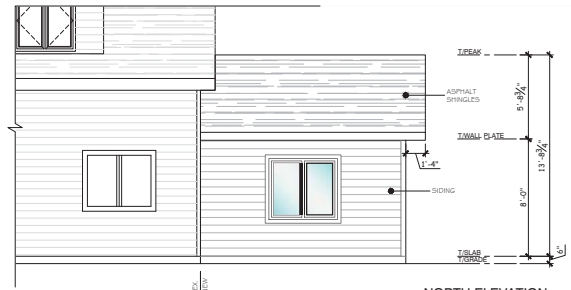
PROJECT:  
**BROOKS / LUTES**  
GARAGE ADDITION  
2 Rudd Avenue, Kingston, ON

Drawing No.:  
**FOUNDATION PLAN,**  
DETAILS & NOTES

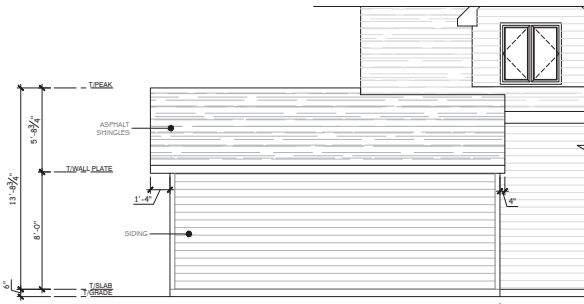
Design	Checked	Approved	Project No.
AGP	AGP	AGP	102866
Design	Checked	Date	Contract No.
AGP	AGP	2023-05-02	



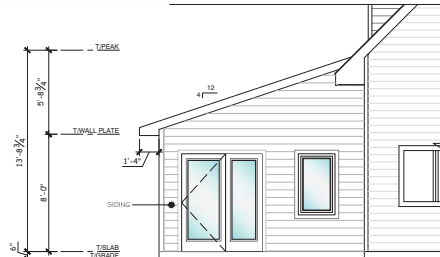
**F1**  
REV. DATE: 03/2023



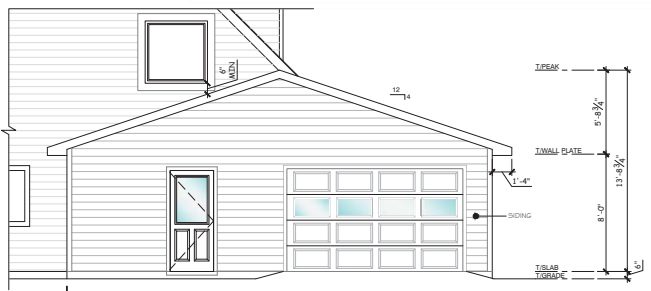
**NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



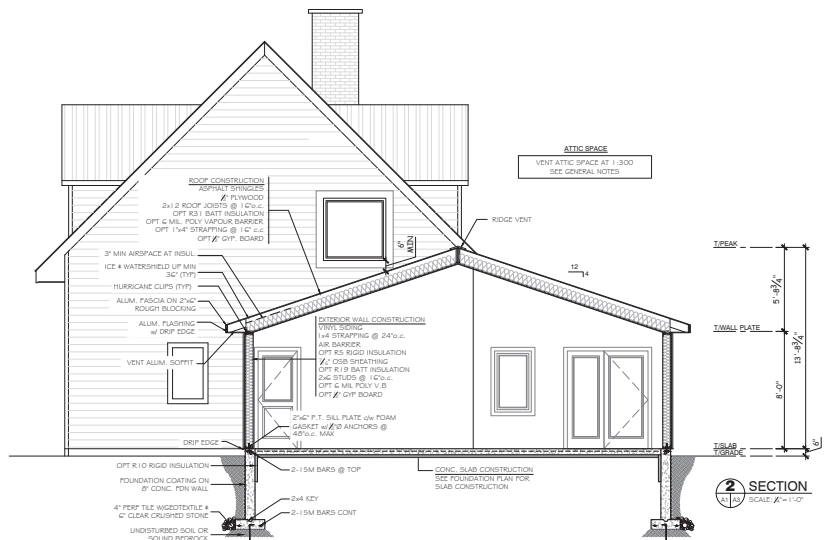
**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**EAST ELEVATION**  
SCALE: 1/4"=1'-0"



**WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**2 SECTION**  
SCALE: 1/4"=1'-0"

AREA SUMMARY	
EX. HOUSE	1,174 sq. ft.
NEW GARAGE	525 sq. ft.
NEW FOOTPRINT	1,699 sq. ft.

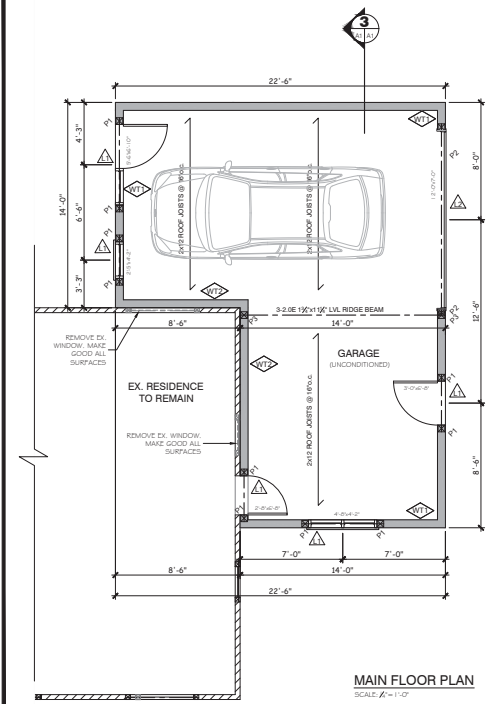
LINTELS & POSTS	
▲	2'-2 1/2" @ 12'-0" ON C.C.
▲	3'-2 DE 1 1/2" @ 12'-0" ON C.C.
P1	2'-2 1/2"
P2	3'-2 1/2"
P3	4'-2 1/2"

NEW / EXISTING WALLS LEGEND	
(Hatched pattern)	EXISTING WALLS TO REMAIN
(Solid grey)	NEW WALLS
(Dashed line)	EXISTING WALLS TO BE REMOVED

TABLE 3.1.1.11 OPTIONAL THERMAL PERFORMANCE REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS	
COMPONENT	THERMAL VALUE
CEILING WITH ATTIC SPACE	R10
CEILING WITHOUT ATTIC SPACE	R3.1
EXPOSED FLOOR	R3.1
WALLS ABOVE GRADE	R19 @ 5.5"
BASEMENT WALLS	R20 @ 5"
SLAB < 24" BELOW GRADE	R10
EDGE OF SLAB < 24" BELOW GRADE	R10
WINDOWS AND SLIDING GLASS DOORS	U0.28 / ERS25

WALL TYPES	
(Symbol)	EXTERIOR WALL CONSTRUCTION TYPE 1 1/4" STRAPPING @ 24" O.C. AIR BARRIER OPT R5 RIGID INSULATION 1/2" OSB SHEATHING 2x6 STUDS @ 16" O.C. OPT 5/8" POLY I.B. OPT 1/2" GYP BOARD
(Symbol)	INTERIOR LOAD-BEARING WALL SYSTEM 2x6 STUDS @ 16" O.C. OPT 1/2" GYP BOARD



**MAIN FLOOR PLAN**  
SCALE: 1/4"=1'-0"

No.	By	Date	Revisions
1	AGP	2023-05-20	FOR PERMIT
2	AGP	2023-07-02	FOR REVIEW

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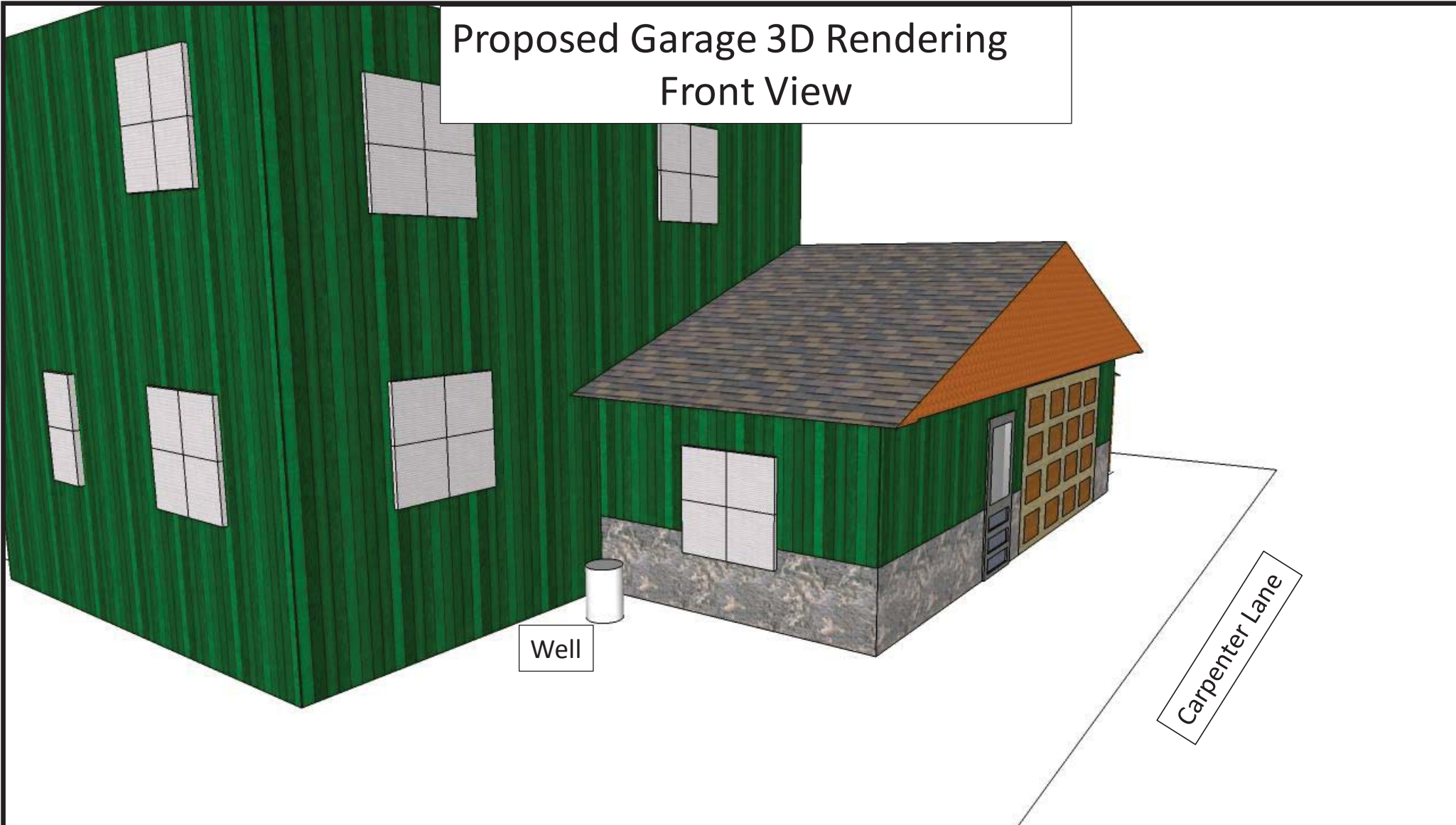
**BROOKS / LUTES GARAGE ADDITION**  
2 Rudd Avenue, Kingston, ON

**FLOOR PLAN, DETAILS, ELEVATIONS & SECTIONS**

Design	Checked	Approved	Project No.
AGP	BCD		12086
Design	Checked	Date	Contract No.
AGP	BCD	2023-05-02	

SCALE: AS SHOWN  
**A1**  
REV DATE: 2023-05-02

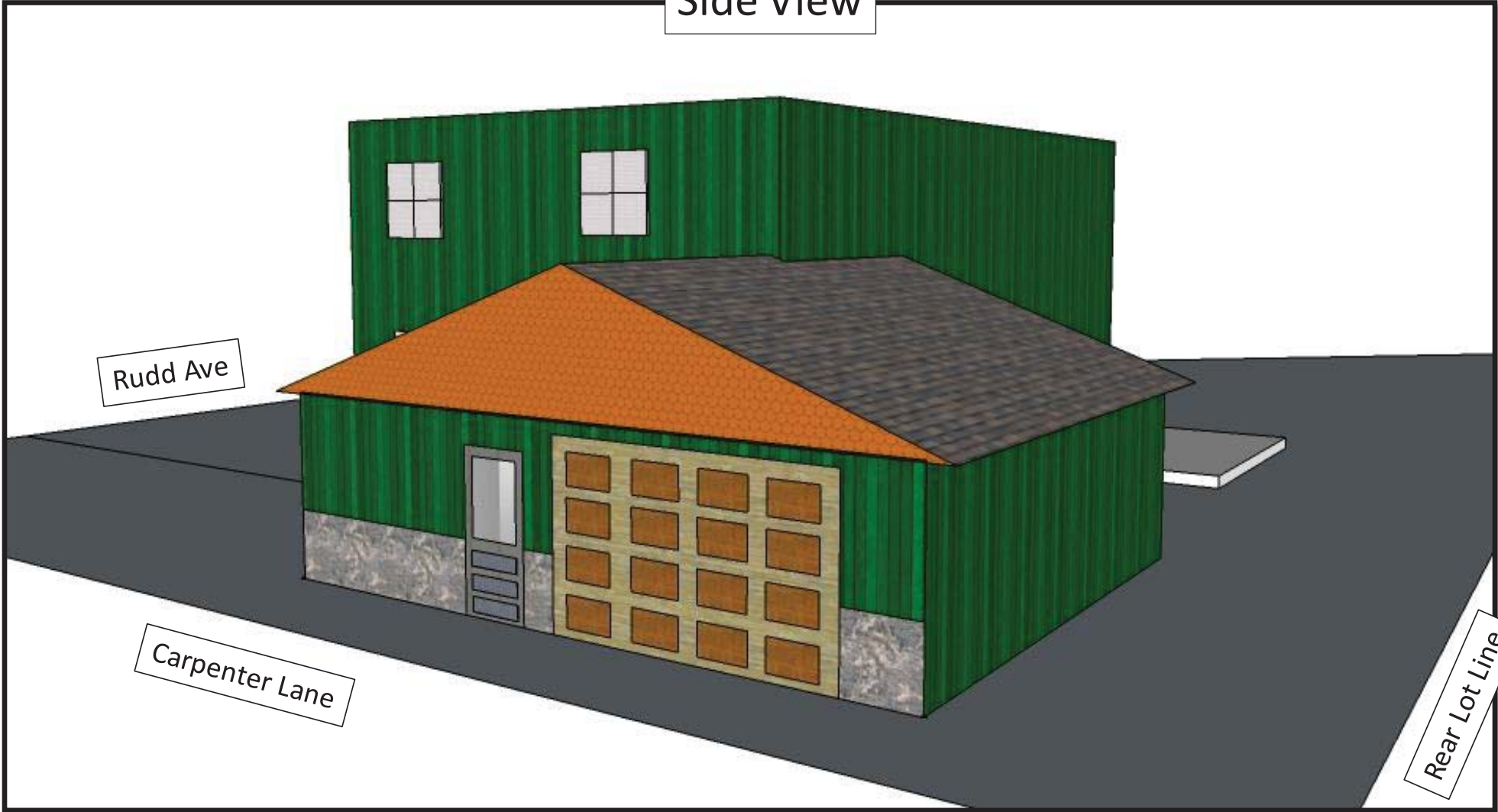
Proposed Garage 3D Rendering  
Front View



Well

Carpenter Lane

Side View





Site Photos









Committee of Adjustment  
**Neighbourhood Context (2021)**

Address: 2 Rudd Avenue  
File Number: D13-054-2022

-  Subject Lands
-  Property Boundaries

